



City of Sandy

Agenda

Planning Commission Meeting
Meeting Date: Monday, April 27,
2020
Meeting Time: 7:00 PM

Page

1. MEETING FORMAT NOTICE

Note: The Planning Commission will conduct this meeting electronically using the Zoom video conference platform. Members of the public may listen, view, and/or participate in this meeting using Zoom. Using Zoom is free of charge. See the instructions below:

Please click the link below to join the webinar:

<https://zoom.us/j/91608570209>

Or Telephone:

+1 669-900-6833

Webinar ID: 916 0857 0209

International numbers available: <https://zoom.us/u/aZ1TGYdoJ>

2. ROLL CALL

3. APPROVAL OF MINUTES

- 3.1. Draft Planning Commission Minutes February 24, 2020

[Planning Commission - 24 Feb 2020 - Minutes - Pdf](#)

3 - 11

4. REQUESTS FROM THE FLOOR - CITIZEN COMMUNICATION ON NON- AGENDA ITEMS

See instructions below for participating.

5. PUBLIC COMMENT

This meeting will include **two public hearings**. If you would like to offer testimony during the hearings, see the instructions below:

Testimony for each public hearing will be called for in three groups: testimony in favor of the proposal, testimony opposed to the proposal, and neutral testimony.

If you are participating online, click the "raise hand" button at the appropriate time and wait to be recognized.

If you are participating via telephone, dial *9 to "raise your hand" at the appropriate time and wait to be recognized.

If you choose to submit testimony in written form, please send to planning@ci.sandy.or.us as soon as possible.

Thank you for your flexibility during the COVID-19 public health emergency. Please call City Hall with any questions: (503) 668-5533.

6. NEW BUSINESS

- | | | |
|------|---|-----------|
| 6.1. | 19-046 MOD/VAR/DEV Sandy Vault Modification | 12 - 160 |
| | 19-046 MOD/VAR/DEV Sandy Vault Storage Major Modification - Pdf | |
| 6.2. | 19-017 DR/VAR/DEV/TREE Trillium Machine | 161 - 254 |
| | 19-017 DR/VAR/DEV/TREE - Pdf | |

7. ITEMS FROM COMMISSION AND STAFF

8. ADJOURN



MINUTES
Planning Commission Meeting
Monday, February 24, 2020 City Hall- Council
Chambers, 39250 Pioneer Blvd., Sandy,
Oregon 97055 7:00 PM

COMMISSIONERS PRESENT: Ron Lesowski, Commissioner, Hollis MacLean-Wenzel, Commissioner, Jerry Crosby, Commissioner, John Logan, Commissioner, Chris Mayton, Commissioner, and Todd Mobley, Commissioner

COMMISSIONERS ABSENT: Don Carlton, Commissioner

STAFF PRESENT: Kelly O'Neill, Development Services Director, Emily Meharg, Senior Planner, Shelley Denison, Associate Planner, and David Doughman, City Attorney

MEDIA PRESENT: Sandy Post

1. Roll Call

Chairman Crosby called the meeting to order at 7:03 p.m.

2. Approval of Minutes

2.1. Draft Planning Commission Minutes February 11, 2020

Motion: To approve minutes for February 11, 2020

Moved By: Commissioner Logan

Seconded By: Commissioner Mayton

Yes votes: All Ayes

No votes: None

Abstentions: None

The motion passed.

3. Requests From the Floor - Citizen Communication on Non- Agenda Items

Makota Lane

37828 Rachel Drive

Sandy, OR 97055

Mr. Lane stated he did not attend the previous meeting but heard that the Planning Commission approved the Bailey Meadows subdivision. He is not happy with the result especially since the City subsidized the development and the developer strong

armed the City of Sandy. He wants the City to stand-up and protect the residents. Mr. Lane said that the applicant's attorney has a history of finding loopholes. He believes the developer will use the profits from the subdivision for luxury items.

4. NEW BUSINESS

4.1. Mairin's Viewpoint Extension (19-047 EXT)

Chairman Crosby opened the public hearing on File No. 19-047 EXT at 7:07 p.m. Crosby called for any abstentions, conflicts of interest, ex-parte contact, challenges to the jurisdiction of the Planning Commission, or any challenges to any individual member of the Planning Commission. No challenges were made, and no declarations were made by the Planning Commissioners.

Staff Report:

Development Services Director Kelly O'Neill Jr. summarized the staff report and addressed the reasons that staff is supporting the tentative plat extension.

Applicant Testimony:

John Mahaffy
13100 SE Sunnyside Road, Suite B
Clackamas, OR 97015

Mr. Mahaffy explained they have a mortgage on the property and have been working with the lender. The lender is working with Mr. Mahaffy to get all of the documents in place to record the plat and move forward with subdivision of the property.

Mr. Crosby asked if the applicant would like to extend the tentative plat to February 24, 2020. Mr. Mahaffy stated that extending the tentative plat to February 24, 2020 would help.

Proponent Testimony:

None

Opponent Testimony:

None

Neutral Testimony:

None

Staff Recap:

O'Neill stated the code changes would be minimal if the subdivision extension

is not approved and the applicant needs to reapply for subdivision approval.

Applicant Rebuttal:

None

Discussion:

Commissioner Mayton said it sounds like the code has not changed much since the original subdivision approval. Commissioner Lesowski said that it is a slippery slope to grant extensions beyond the 1-year. Mayton asked whether it is really a slippery slope. O'Neill stated that legally speaking you would not be setting a precedence, but it might be perceived as setting precedence. Doughman said that any future proposals that are similar could use the subject proposal as a reason for requesting a similar extension. Commission Maclean-Wenzel stated she appreciates Mr. Lesowski's comment but is fine with the extension to February 24, 2020. Commissioner Mobley agreed with Maclean-Wenzel.

Motion: Motion to close the public hearing at 7:21 p.m.

Moved By: Commissioner Mobley

Seconded By: Commissioner Maclean-Wenzel

Yes votes: All Ayes

No votes: None

Abstentions: None

The motion passed at 7:21 p.m.

Motion: Motion to extend the tentative plat for Mairin's Viewpoint to February 24, 2021.

Moved By: Commissioner Mayton

Seconded By: Commissioner Logan

Yes votes: Commissioners Lesowski, Maclean-Wenzel, Logan, Mobley, Mayton, and Crosby

No votes: None

Abstentions: None

The motion passed at 7:23 p.m.

4.2. McCormick Drive Zone Change (19-037 CPA/ZC)

Chairman Crosby opened the public hearing on File No. 19-037 CPA/ZC at 7:23 p.m. Crosby called for any abstentions, conflicts of interest, ex-parte contact, challenges to the jurisdiction of the Planning Commission, or any challenges to any individual member of the Planning Commission. No challenges were made, and no declarations were made by the Planning Commissioners.

Staff Report:

Senior Planner Emily Meharg summarized the proposed location, staff report, and land surplus as explained in the 2017 UGB Expansion document. Meharg also mentioned that the C-2 zone was recently modified to allow residential above commercial.

Commissioner Logan asked about the surplus numbers on the presentation slide and why the numbers are different than in the staff report. Meharg stated that the numbers on the slideshow are the correct numbers. Maclean-Wenzel asked about the surplus. O'Neill stated that during the 2017 UGB expansion staff did not propose large surplus numbers as staff did not want the proposal to be questioned and held up in controversy. Lesowski stated he would like to see connectivity from Highway 26 to McCormick Drive. Meharg stated that connectivity would be required with development.

Applicant Testimony:

Ron Kincaid
12937 NW Skyline Blvd.
Portland, OR 97231

The church was gifted the property and they would like to sell the property for development. They would like to rezone the property so the property can be sold for residential development. Mr. Kincaid said he would appreciate Planning Commission approving the request.

Karl Sonnenberg
15140 SW Gibraltar Court
Beaverton, OR 97007

Has been involved in several projects that include zone changes. The property is difficult to see from Highway 26 and finds that commercial development would be difficult to develop and sell. Feels that multi-family is easier to develop, and a zone change to residential will actually reduce traffic. Finds that the vegetative buffer recommendation would be a good idea. They assume they would need to improve the site with sidewalks along Highway 26.

Chris Hagerman
1140 SW 11th Ave., Suite 500
Portland, OR 97205

Staff has been very helpful during the entire process. The proposal is consistent with the statewide planning goals and the Sandy Development Code. Feels that apartments would be a better use for the site than commercial development. Multi-family development should have better

pedestrian connectivity than commercial development. The Transportation Study finds that residential development would reduce traffic on McCormick Drive. Tree preservation will be easier with residential development than with commercial development.

Proponent Testimony:

None

Opponent Testimony:

Nancy Raschke
39965 Davis Street
Sandy, OR 97055

Main concern is that additional traffic on McCormick Drive will put additional pressure on the intersection of Wolf Drive and Highway 26. Has concerns with multi-family housing and the traffic concerns it raises. The intersections of Wolf Drive at Highway 26 and Langensand Road at Highway 26 are both problematic.

Neutral Testimony:

None

Staff Recap:

Meharg stated she did not have anything else to add.

Applicant Rebuttal:

Karl Sonnenberg stated that multi-family development will produce less traffic than would be possible with commercial development. There is an existing transit route on McCormick and multi-family on a transit route is a great idea.

Discussion:

Mobley said that residential would create less traffic. He added that the property would be difficult to serve if the property was commercial. Maclean-Wenzel said the slope of the site would make it difficult to develop for commercial use and said it would be nice to have multi-family on a transit route. Also stated it would be a nice buffer to the residential already on McCormick Drive. Lesowski said his concern is parking and how that impacts the existing neighborhood.

Sonnenburg stated that based on density the property could have 20 to 35 apartment units.

Commissioner Crosby asked if there are questions or concerns with the proposal. Logan said the bigger issue will be future zone change proposals due to the small surplus of commercial. Maclean-Wenzel said this property could allow for affordable housing. Mayton said that the modifications that were made to the C-2 zoning district with residential above commercial allows for more flexibility. Mayton stated he likes reductions to traffic with the zone change proposal. Mayton does have concerns with the walkability of the site. Lesowski stated that having commercial between the exiting church and Avamere would be odd and that multi-family seems like a better fit. Crosby stated that a zone change will leave us with a surplus at just over one acre. Doughman stated that a City should not drop below the surplus of land for different zoning designations as that could be a reason for action by DLCD. He added that typically when you see proposed zone changes you see other property also get rezoned to account for the change. A city cannot go into a deficit. Options are more limited when the surplus is small, but the City could eventually look at additional zone changes to help the surplus increase. O'Neill stated that more commercial to residential zone changes will most likely be proposed soon. Lesowski asked if this zone change is approved how will that impact future proposals. Doughman provided clarity on future proposals. O'Neill stated the growth rate for residential and commercial was based on a safe harbor approach that was created by Clackamas County. Mayton asked how does a City increase land surplus for different zones? Crosby stated that a willing property owner has to be okay with the zone change.

Crosby stated that Planning Commission is only making a recommendation to City Council.

Motion: Motion to close the public hearing at 8:09 p.m.

Moved By: Commissioner Maclean-Wenzel

Seconded By: Commissioner Mayton

Yes votes: All Ayes

No votes: None

Abstentions: None

The motion passed at 8:09 p.m.

Mayton stated that the subject land is better suited for residential. Lesowski stated that the Commission will face the surplus issue again very soon, but that the subject site is better suited for residential for the surrounding neighborhood than something else like a mini-storage facility. He said the site is topographically challenging. The Commission had consensus about the staff recommendation for the vegetative buffer.

Motion: Motion to recommend approval to City Council with the recommendation to retain the vegetative buffer along Highway 26.

Moved By: Commissioner Mayton

Seconded By: Commissioner Mobley

Yes votes: Lesowski, Maclean-Wenzel, Crosby, Logan, Mobley, and Mayton

No votes: None

Abstentions: None

The motion passed at 8:13 p.m.

Mobley stated the best opportunity for public involvement is when the rules are created. He stated there is an opportunity for that with the upcoming Transportation System Plan update.

4.3. Chapter 17.98 Code Changes (19-043 DCA)

Chairman Crosby opened the public hearing on File No. 19-043 DCA at 8:18 p.m. Crosby called for any abstentions, conflicts of interest, challenges to the jurisdiction of the Planning Commission, or any challenges to any individual member of the Planning Commission. No challenges were made, and no declarations were made by the Planning Commissioners.

Staff Report:

Development Services Director Kelly O'Neill Jr. summarized the proposed code changes and presented a brief slide show. O'Neill stated the City has been requiring too much parking in the downtown. One of the primary proposed code changes eliminates the requirement to provide off-street parking in the C-1 zone district. A reduction to required minimum parking is also proposed for other land uses, including a significant reduction in minimum parking requirements for daycare facilities. O'Neill highlighted Deek Heycamp's, owner of Next Adventure, testimony regarding support for eliminating the off-street parking requirement in the C-1.

Proponent Testimony:

None

Opponent Testimony:

None

Neutral Testimony:

None

Discussion:

The commission discussed parking courts and the 400-foot distance for required on-street parking. Lesowski expressed concerns about the 400-foot distance and recommended parking courts be located more centrally on blocks. Mobley asked whether parking would be restricted (i.e. private parking) if the parking courts are privately owned. Maclean-Wenzel voiced support for reduced parking in the Main Street area. The Commission concluded they prefer leaving the on-street parking distance requirement at 200 feet. O'Neill stated he thought the code update included vegetative buffers specifically for parking courts and asked the Commission if they wanted to add something or if the general landscaping and screening section in Chapter 17.98 suffices. The Commission concluded the general screening section is sufficient. Mayton asked for clarity on cul-de-sac measurements in relation to Tyler and Ray's comments. O'Neill provided clarity on the diagrams. The Commission requested that the cul-de-sac comments be looked into further to make sure the requirements were clarified sufficiently and to clarify the cul-de-sac diagram acronyms.

Motion: Motion to close the public hearing at 9:04 p.m.

Moved By: Commissioner Lesowski

Seconded By: Commissioner Logan

Yes votes: Lesowski, Maclean-Wenzel, Crosby, Logan, Mobley, and Mayton

No votes: None

Abstentions: None

The motion passed at 9:04 p.m.

Motion: Motion to forward recommendation of approval with the following changes: have on-street parking requirement remain at 200 feet.

Moved By: Commissioner Maclean-Wenzel

Seconded By: Commissioner Logan

Yes votes: All Ayes

No votes: None

Abstentions: None

The motion passed at 9:07 p.m.

5. **Items from Commission and Staff**

The next Planning Commission hearing is March 30, 2020, then the following meeting will be April 27. O'Neill sent a Doodle poll for the May meeting due to Memorial Day on the fourth Monday. O'Neill introduced new associate planner Shelley Denison. Staff is anticipating a couple planned developments being applied for very soon. The March 30 meeting will include modifications to Sandy Vault and an expansion to the Trillium Machinery site. The April 27 meeting will include a subdivision proposal with a comprehensive plan map and zone map change, and possibly the Gunderson

Road/parkland annexation.

O'Neill stated he would like to have a work session in May or June with more code changes. O'Neill stated that Space Age Gas Station wants to use steel or metal beams instead of timber beams as approved. The Commission discussed the merits of the requested change, but decided they want heavy timber beams as approved.

Crosby asked if staff could add bookmarks to staff reports in the pdf file. O'Neill stated they will try to add bookmarks. Mayton thinks the Commission could do a better job of educating the public on the Commission's role. Maclean-Wenzel asked if Commissioners are covered if sued. O'Neill stated the City's liability insurance covers volunteers on some things but Doughman will need to weigh in on liability issues.

6. Adjourn

Motion: To adjourn

Moved By: Commissioner MacLean-Wenzel

Seconded By: Commissioner Mobley

Yes votes: All Ayes

No votes: None

Abstentions: None

The motion passed.

Chairman Crosby adjourned the meeting at 9:27 p.m.



Chair, Jerry Crosby



Planning Director, Kelly O'Neill Jr



Staff Report

Meeting Date: April 27, 2020

From Emily Meharg, Senior Planner

SUBJECT: 19-046 MOD/VAR/DEV Sandy Vault Storage Major Modification

Background:

Axis Design Group previously submitted an application on behalf of Sandy Automotive (Mark Benson) for a self-storage facility located on an approximately 5.46-acre site at the NW corner of Champion Way and Industrial Way (File No. 18-047 DR/VAR/ADJ, Exhibit D). The proposal included five (5) self-storage buildings varying in size from 5,324 square feet to 33,178 square feet. The Planning Commission held a hearing on March 19, 2019 and approved the application with conditions. The Planning Commission approved the applicant's request for the following variances and design deviations:

- a. Type II Adjustment to Section 17.90.120(B.3.d.4) to allow up to 36 percent metal siding on the south elevations of Buildings 4 and 5.
- b. Special Variance to Section 17.90.120(A.3) and 17.98.80(A) to allow a second right-out only driveway egress on Champion Way to be spaced less than 150 feet from the existing common access easement driveway, or as otherwise approved by the City Transportation Engineer.
- c. Special Variance to Section 17.90.120(C.1) to allow flat roofs on all buildings.
- d. Special Variance to Sections 17.90.120(E.2) to allow less than the required window coverage on the north elevation of Building 1, the east elevations of Buildings 1 and 2, and the south elevations of Buildings 4 and 5, provided the applicant detail metal awnings above the proposed windows and landscaped trellises in the two proposed sections of metal siding on the south elevations of Buildings 4 and 5.
- e. Special Variance to Section 17.74.40(B.3) to allow a retaining wall in the front yard greater than 6 feet tall. The Planning Commission approves a maximum 8.5 foot wall reveal, as proposed by the applicant.
- f. Special Variance to Section 17.90.120(B.3.d.4) to allow 89.7 percent metal siding on the south elevation of Building 2 and 100 percent metal siding on the north elevation of Building 3, as proposed by the applicant.
- g. Special Variance to Section 17.90.120(D.1) to allow less than 50 percent of the street frontage along Industrial Way to be comprised of buildings within 20 feet of the sidewalk, provided the applicant expand the wetland natural area by planting a mix of native groundcover, shrubs, and trees in the areas between Buildings 4 and 5 and the Industrial Way right-of-way.
- h. Special Variance to Section 17.90.120(G) to allow 250 square feet of civic space rather than the 1,727 square feet required.

- i. Design deviation to Section 17.90.120(D.3 and 7) to not require a public entrance and connecting walkway on Buildings 2-5.

The Planning Commission denied the applicant's request for a Special Variance to Section 17.90.120(E.2) to allow less than the required window percent coverage on the east elevation of Building 5 and the west elevations of Buildings 3 and 4.

With this application (File No. 19-046 MOD/VAR/DEV) the applicant is requesting a major modification to the previously approved design. The applicant is requesting the following:

- Type III Special Variance to Section 17.90.120(B.3.d.4) to increase the percentage of metal siding on Buildings 1-4 to 80 percent;
- Type III Special Variance to Section 17.90.120(E.2) to reduce the required window coverage for Buildings 1 and 4; and,
- Type III Design Deviation to Section 17.90.120(D.7) to reduce the activated frontages on Buildings 1 and 4 as previously identified and approved by Planning Commission.

The applicant is also proposing to add additional new structures (i.e. modular units) to the site; however, that request would be processed as a separate design review and the applicant opted to not provide the additional information and fees that would be needed to process that request with this application (Exhibit M). The proposed modular units do not meet the requirements of Chapter 17.90. The applicant did not request variances or deviations to Chapter 17.90 for the modular units so staff cannot evaluate these structures as part of File No. 19-046 MOD/VAR/DEV.

Recommendation:

Staff recommends the Planning Commission deny the applicant's request to place 34 new modular storage units on the subject property.

Staff recommends the Planning Commission review the previously approved elevations and associated conditions of approval and compare them to the currently proposed elevations and determine if they want to approve a further increase in the use of metal siding on any elevations.

Staff recommends the Planning Commission review the previously approved elevations and associated conditions of approval and compare them to the currently proposed elevations and determine if they want to approve a further decrease in the percent of windows on the north elevation of Building 1 and the south elevation of Building 4.

The applicant is requesting that the Planning Commission reinterpret their previous interpretation regarding activated frontages such that only a small portion of the north frontage of Building 1 and a small portion of the frontage of Building 4 be considered

activated. Staff recommends the Planning Commission determine if they want to change their previous interpretation regarding activated frontages.

Code Analysis:

See Attached

Budgetary Impact:

None

**PLANNING COMMISSION STAFF REPORT
(DRAFT FINDINGS OF FACT and FINAL ORDER
TYPE III DESIGN REVIEW DECISION)**

AGENDA DATE: April 27, 2020

FILE NO.: 19-046 MOD/VAR/DEV

PROJECT NAME: Sandy Vault Storage Major Modification

APPLICANT: Axis Design Group

OWNER: Sandy Automotive, LLC (Mark Benson)

LEGAL DESCRIPTION: T2S R4E Section 15A, Tax Lot 209

The above-referenced proposal was reviewed as a Type III Design Review Major Modification with Variances and Design Deviations. The following Findings of Fact are adopted supporting approval of the plan in accordance with the Sandy Municipal Code.

EXHIBITS:

Applicant's Submittals:

- A. Land Use Application
- B. Design Review Narrative
- C. Plan Set
 - General
 - Sheet G000 – Cover Sheet, Vicinity Map, Project Info
 - Civil
 - Sheet 1 – Cover Sheet and Notes
 - Sheet 2 – Existing Conditions
 - Sheet 3 – Site Plan West
 - Sheet 4 – Site Plan NW Corner
 - Sheet 5 – Site Plan East
 - Sheet 6 – Grading Plan West
 - Sheet 7 – Grading Plan East
 - Sheet 8 – Spot Grading Plan NE
 - Sheet 9 – Spot Grading Plan SE
 - Sheet 10 – Spot Grading Plan West
 - Sheet 11 – Utility Plan North East
 - Sheet 12 – Utility Plan South East
 - Sheet 13 – Utility Plan West
 - Sheet 14 – Private Road
 - Sheet 15 – Private Road Profile

- Sheet 16 – Champion Way
- Sheet 17 – Industrial Way
- Sheet 18 – Profiles
- Sheet 19 – Concrete Grading Details
- Sheets 20-23 – Details

Landscape

- Sheets L-1 – L-2 – Landscape Plan

Architectural

- Sheet A-101 – Site Plan
- Sheet A-102 – A-103 – Enlarged Site Plan
- Sheet A-104 – Site Details
- Sheet A-121 – Building 1 – Main Floor Plan
- Sheet A-122 – Building 1 Lower Floor Plan
- Sheet A-123 – Building 2 – Floor Plan
- Sheet A-124 – Building 3 – Floor Plan
- Sheet A-125 – Building 4 – Floor Plan
- Sheet A-221 – Building 1 – Exterior Elevations
- Sheet A-222 – Building 2 – Exterior Elevations
- Sheet A-223 – Building 3 – Exterior Elevations
- Sheet A-224 – Building 4 – Exterior Elevations
- Sheet A-5 – Glazing Diagrams

D. Final Order for File No. 18-047 DR/VAR/ADJ

E. Correspondence with City Engineer

F. Premanufactured Modular Units Photo

G. Color Palette

H. Material Sample

I. Retaining Wall Detail

Agency Comments:

J. Fire Marshal (March 6, 2020)

K. Public Works Director (March 6, 2020)

Additional Documents Submitted by Staff:

L. Final Order 18-027 INT Highway 26 Storage Code Interpretation

M. Correspondence from Applicant RE: Completeness (January 28, 2020)

N. Applicant's Glazing Diagrams from File No. 18-047 DR/VAR/ADJ

O. Applicant's Elevations from File No. 18-047 DR/VAR/ADJ

P. Email from Applicant Regarding Proposed Metal Percent (March 5, 2020)

FINDINGS OF FACT

General

1. These findings are based on the applicant's submittal received on November 15, 2019 and additional information received on January 10, 2020 and January 28, 2020. The City sent an incompleteness letter to the applicant on December 13, 2019. The applicant submitted a letter on January 28, 2020 stating they will not be providing additional information and would like

the City to declare their application complete (Exhibit M). Following the letter from the applicant the application was deemed complete on January 28, 2020 and the 120-day deadline is May 27, 2020.

2. This final order is based upon the Exhibits listed above, as well as agency comments and public testimony.
3. The subject site is approximately 5.46 acres and is located south of Highway 26, west of Champion Way, and north of Industrial Way.
4. The parcel has a Comprehensive Plan Map designation of Light Industrial and a Zoning Map designation of I-1, Industrial Park.
5. Axis Design Group previously submitted an application on behalf of Sandy Automotive (Mark Benson) for a self-storage facility located on an approximately 5.46-acre site at the NW corner of Champion Way and Industrial Way (File No. 18-047 DR/VAR/ADJ, Exhibit D). The proposal included five (5) self-storage buildings varying in size from 5,324 square feet to 33,178 square feet. The Planning Commission held a hearing on March 19, 2019 and approved the application with conditions. The Planning Commission approved the applicant's request for the following variances and design deviations:
 - a. Type II Adjustment to Section 17.90.120(B.3.d.4) to allow up to 36 percent metal siding on the south elevations of Buildings 4 and 5.
 - b. Special Variance to Section 17.90.120(A.3) and 17.98.80(A) to allow a second right-out only driveway egress on Champion Way to be spaced less than 150 feet from the existing common access easement driveway, or as otherwise approved by the City Transportation Engineer.
 - c. Special Variance to Section 17.90.120(C.1) to allow flat roofs on all buildings.
 - d. Special Variance to Sections 17.90.120(E.2) to allow less than the required window coverage on the north elevation of Building 1, the east elevations of Buildings 1 and 2, and the south elevations of Buildings 4 and 5, provided the applicant detail metal awnings above the proposed windows and landscaped trellises in the two proposed sections of metal siding on the south elevations of Buildings 4 and 5.
 - e. Special Variance to Section 17.74.40(B.3) to allow a retaining wall in the front yard greater than 6 feet tall. The Planning Commission approves a maximum 8.5 foot wall reveal, as proposed by the applicant.
 - f. Special Variance to Section 17.90.120(B.3.d.4) to allow 89.7 percent metal siding on the south elevation of Building 2 and 100 percent metal siding on the north elevation of Building 3, as proposed by the applicant.
 - g. Special Variance to Section 17.90.120(D.1) to allow less than 50 percent of the street frontage along Industrial Way to be comprised of buildings within 20 feet of the sidewalk, provided the applicant expand the wetland natural area by planting a mix of native groundcover, shrubs, and trees in the areas between Buildings 4 and 5 and the Industrial Way right-of-way.
 - h. Special Variance to Section 17.90.120(G) to allow 250 square feet of civic space rather than the 1,727 square feet required.
 - i. Design deviation to Section 17.90.120(D.3 and 7) to not require a public entrance and connecting walkway on Buildings 2-5.

The Planning Commission denied the applicant's request for a Special Variance to Section 17.90.120(E.2) to allow less than the required window percent coverage on the east elevation of Building 5 and the west elevations of Buildings 3 and 4.

6. With this application (File No. 19-046 MOD/VAR/DEV) the applicant is requesting a major modification to the previously approved design. The applicant is requesting the following:
 - Type III Special Variance to Section 17.90.120(B.3.d.4) to increase the percentage of metal siding on Buildings 1-4 to 80 percent;
 - Type III Special Variance to Section 17.90.120(E.2) to reduce the required window coverage for Buildings 1 and 4; and,
 - Type III Design Deviation to Section 17.90.120(D.7) to reduce the activated frontages on Buildings 1 and 4 as previously identified and approved by Planning Commission.

The applicant is also proposing to add additional new structures (i.e. modular units) to the site; however, that request would be processed as a separate design review and the applicant opted to not provide the additional information and fees that would be needed to process that request with this application (Exhibit M). The proposed modular units do not meet the requirements of Chapter 17.90. The applicant did not request variances or deviations to Chapter 17.90 for the modular units so staff cannot evaluate these structures as part of File No. 19-046 MOD/VAR/DEV.

7. Notification of the proposed application was mailed to property owners within 500 feet of the subject property on February 24, 2020 and to affected agencies on February 21, 2020. A legal notice was published in the Sandy Post on March 11, 2020.
8. The hearing for this land use application was originally scheduled for March 30, 2020. However, due to concerns related to COVID-19, the hearing was cancelled.
9. On March 31, 2020, an updated notice of this proposal with the rescheduled hearing date was mailed to property owners within 500 feet of the subject property. A legal notice was published in the Sandy Post on April 8, 2020.
10. No written public comments were received. Agency comments were received from the Sandy Fire District #72 Fire Marshal and the Public Works Director.
11. The Fire Marshal (Exhibit J) submitted comments regarding fire apparatus access and firefighting water supplies. **The applicant shall confer with Sandy Fire District to ensure compliance with the requirements of the Sandy Fire Marshal as contained in Exhibit J. The applicant shall provide construction documents detailing compliance with fire apparatus access and fire protection water supply requirements to the Sandy Fire District for review and approval upon building permit submittal. The applicant shall comply with all applicable Oregon Fire Code requirements. A key box for building or gate access may be required. If required, Sandy Fire District No. 72 uses KNOX brand boxes. To order a KNOX lock box or KNOX key switch please visit Sandy Fire's website for ordering information.**

12. The Public Works Director (Exhibit K) noted that the utilities plan shows the discharge from the southern stormwater detention and treatment system daylighting into the sanitary sewer easement. The grading plan isn't detailed enough to demonstrate that this stormwater discharge will flow to the existing stormwater easement / drainage channel. **The stormwater discharge pipe shall be extended to the existing stormwater easement / drainage channel.** In addition, the Public Works Director notes that street frontage improvements required in Section 15.20 of the Sandy Municipal Code include the unimproved Industrial Way frontage of Parcel 4 of Partition Plat 2018-112. Street frontage improvements are required on all street frontages per File No. 18-047 DR/VAR/ADJ.
13. **All conditions from Final Order 18-047 DR/VAR/ADJ shall be met unless specifically modified by this Final Order.**
14. **Prior to submitting construction plans or building permits, including grading and erosion control permits, the applicant shall update the plan set and associated documents based on the conditions of approval from File No. 18-047 DR/VAR/ADJ as modified by File No. 19-046 MOD/VAR/DEV and shall submit two (2) full sets to Planning Division staff for review and approval.**

17.74 – Accessory Development

15. Section 17.74.40(B) contains height requirements for fences and retaining walls in commercial and industrial zones. The subject property is zoned Industrial Park (I-1). The maximum combined height of any proposed retaining walls/fences in the front yard is 6 feet and the maximum combined height in the side and rear yards is 8 feet. The applicant is proposing two changes to retaining walls as compared to the previous submittal (File No. 18-047 DR/VAR/ADJ). The retaining wall north of Building 3 is no longer being proposed and there is a new retaining wall being proposed around the parking and trash enclosure to the east of Building 4. The applicant submitted additional information on the new retaining wall (Exhibit I) that details the maximum wall height at 3'-6 7/8", which complies with the height requirements of Section 17.74.40(B).

17.90 – Design Standards

16. The applicant proposes a major modification to a previously approved land use decision within the I-1 zoning district. As such the application is subject to the provisions of Chapter 17.90, Design Standards.
17. Section 17.90.70 specifies that **design review approval shall be void after two (2) years from the date of the Final Order, unless the applicant has submitted plans for building permit approval.**
18. Section 17.90.120 contains design standards for the I-1 zone. Only code sections that include proposed changes since the previous approval (File No. 18-047 DR/VAR/ADJ) are included for review in this design review modification order.
19. In addition to the applicant's requested design modifications (i.e. the Special Variance and Design Deviation requests), the applicant's major modification submittal includes 34 newly proposed modular outdoor storage units. On January 15, 2020, staff informed the applicant

that new structures cannot be processed under the requested major modification file type but rather would need to be processed as a new design review. The applicant opted to not include any additional information regarding the newly proposed modular units, nor did the applicant pay the design review fee to process the review of these structures. The proposed modular units do not meet the requirements of Chapter 17.90 and the applicant did not request variances or deviations to Chapter 17.90 for the modular units. Therefore, staff is not able to process the request for new modular structures as part of the current application. **Staff recommends the Planning Commission deny the applicant's request to place 34 new modular storage units on the subject property. The applicant shall update the Plan Set to remove the 34 proposed modular outdoor storage units. If the applicant would like to locate new structures on the subject property in the future, the applicant shall submit a separate land use application for a design review.**

20. Section 17.90.120(B.3.d.4) specifies that metal siding shall be used as an accent only, comprising not more than 30 percent of the surface area of the building elevation. The applicant previously applied for a variance to increase the percent of metal siding above 30 percent on multiple building elevations as part of File No. 18-047 DR/VAR/ADJ. With this application (File No. 19-046 MOD/VAR/DEV), the applicant is requesting a Special Variance to increase the percent of metal siding on Buildings 1-4 to 80 percent. The Special Variance request is reviewed in Chapter 17.66 of this document.
21. Section 17.90.120(C.1) requires that primary roof forms on buildings with a span of 50-feet or less contain a minimum roof pitch of 6:12. The proposed building span for Building 1 is greater than 50 feet so the building is not required to be constructed with a pitched roof. The proposal does include a pitched roof over the primary entrance on Building 1. Buildings 2-5 have a span of 42 feet, which is less than 50 feet and, therefore require pitched roofs. With File No 18-047 DR/VAR/ADJ, the applicant requested a Type II Variance to allow a flat roof on Buildings 2-5 similar to the roof on Building 1; however, the request was processed as a Type III Special Variance since it was of the applicant's making. The Planning Commission approved the request for flat roofs on all buildings based on the proposal. The elevations submitted with File No. 18-047 DR/VAR/ADJ detailed flat roofs on all buildings with stepped parapets per Section 17.90.120(C.8.b.1). The submitted plans with the subject modification do not include parapets. The applicant did not request an additional Special Variance to not provide parapets nor did the applicant's narrative specify that the applicant is proposing a change to the approved roof. **The applicant shall update the elevations to detail parapets on the flat roofs of all buildings in compliance with Section 17.90.120(C.8.b) and consistent with the approval with File No. 18-047 DR/VAR/ADJ.**
22. Section 17.90.120(D) contains standards related to building orientation and entrances. Section 17.90.120(D.1) states that buildings shall be oriented to a public street or civic space. With File No. 18-047 DR/VAR/ADJ, the Planning Commission previously approved a Special Variance to allow less than 50 percent of the Industrial Way frontage to be comprised of buildings within 20 feet of the right-of-way provided the applicant expand the wetland natural area by planting a mix of native groundcover, shrubs, and trees in the areas between Buildings 4 and 5 and the Industrial Way right-of-way. The Planning Commission also required the applicant to submit a landscape plan for the areas between Buildings 4 and 5 and

the Industrial Way right-of-way for staff review and approval. These conditions remain in effect.

23. Section 17.90.120(D.7) states that buildings shall provide at least one (1) elevation where the pedestrian environment is “activated.” An elevation is “activated” when it meets the window transparency requirements in subsection 17.90.120(E), below, and contains a public entrance with a pedestrian shelter extending at least five (5) feet over an adjacent sidewalk, walkway or civic space. The applicant previously applied for a code interpretation (File No. 18-027 INT, Exhibit L). The Planning Commission determined the activated frontages of each building as follows:

- The north elevation of Building 1 will be visible from Highway 26.
- The east elevations of Buildings 1 and 2 will be visible from Champion Way.
- The south and west elevations of Building 4, and west elevation of Building 3 will be visible from Industrial Way.

At the time of the previous code interpretation hearing for File No. 18-027 INT, the applicant withdrew their proposal to include Building 5 so the Planning Commission did not discuss activated frontages on Building 5. The subsequent design review application (File No. 18-047 DR/VAR/ADJ) included Building 5; however, the current design modification application (File No. 19-046 MOD/VAR/DEV) does not include Building 5.

With this application (File No. 19-046 MOD/VAR/DEV), the applicant is requesting a design deviation to reduce the area of activated frontage on the north side of Building 1 and the south side of Building 4. The applicant’s narrative (Exhibit B) states, “Building 1 & 2 will have activated ‘street’ facades on the east which wrap partially on the north and south sides. Buildings 3 & 4 will have activated ‘street’ facades on the west side which wrap partially on the north and south sides.” As previously mentioned, the Planning Commission determined that the north elevation of Building 1 and the south elevation of Building 4 are both activated frontages. **The applicant is requesting that the Planning Commission reinterpret their previous interpretation regarding activated frontages such that only a small portion of the north frontage of Building 1 and a small portion of the frontage of Building 4 be considered activated. Staff recommends the Planning Commission determine if they want to change their previous interpretation regarding activated frontages.**

24. Section 17.90.120(E) contains standards for construction and placement of windows. The intent of windows is to promote business vitality, public safety, and aesthetics through effective window placement and design. The Planning Commission previously approved a variance request to reduce required window percentage on many of the activated elevations. The applicant is requesting a further reduction in window percent on the north elevation of Building 1 and the south elevation of Building 4, both of which are discussed further in Chapter 17.66 of this document.

17.98 – Parking

25. Section 17.98.100 contains standards for driveways. The upper floor of Building 1, which includes the main office, will gain access via a driveway from the existing 30 foot wide common access easement connecting to Champion Way. During review of File No. 18-047 DR/VAR/ADJ, the City’s Transportation Engineer submitted comments detailing concerns with the proposed driveway intersecting with the common access easement. The City’s

Transportation Engineer found that the proposed configuration may result in traffic conflicts between the customers and employees of Sandy Vault and those of nearby properties. The resulting traffic conflicts could produce stoppages in the shared driveway and even on Champion Way. He further stated that, while traffic volumes are low, the stoppages are a predictable outcome that could result in unsafe conditions. To minimize the chance of conflict between eastbound traffic on the shared common access easement driveway and inbound traffic to the Sandy Vault site, the City's Transportation Engineer recommended that the ingress to the Sandy Vault office and Building 1 be located opposite the existing drive aisle between the Arco station and the convenience store, and estimated that distance to be approximately 120 feet west of the west curb of Champion Way. Based on subsequent email correspondence between the applicant, the City, and the City's Transportation Engineer (Exhibit E), it was determined that the proposed driveway location would be fine provided the applicant install hatched striping and "do not block intersection" signage in front of the storage facility driveway in the eastbound lane of the common access drive. The applicant's updated site plan submitted with this application (Exhibit C, Sheet A-102) details "do not block" intersection striping in the common access drive at the entrance to the storage facility as required by the City Transportation Engineer.

17.66 – Adjustments and Variances

26. The Planning Commission may grant a special variance waiving a specified provision under the Type III procedure if it finds that the provision is unreasonable and unwarranted due to the specific nature of the proposed development. In submitting an application for a Type III Special Variance, the proposed development explanation shall provide facts and evidence sufficient to enable the Planning Commission to make findings in compliance with the criteria set forth in this section while avoiding conflict with the Comprehensive Plan.

One of the following sets of criteria shall be applied as appropriate.

- A. The unique nature of the proposed development is such that:
 - 1. The intent and purpose of the regulations and of the provisions to be waived will not be violated; and
 - 2. Authorization of the special variance will not be materially detrimental to the public welfare and will not be injurious to other property in the area when compared with the effects of development otherwise permitted.
- B. The variance approved is the minimum variance needed to permit practical compliance with a requirement of another law or regulation.
- C. When restoration or replacement of a nonconforming development is necessary due to damage by fire, flood, or other casual or natural disaster, the restoration or replacement will decrease the degree of the previous noncompliance to the greatest extent possible.

27. The applicant is requesting the following Special Variances:

- Type III Special Variance to Section 17.90.120(B.3.d.4) to increase the percentage of metal siding on Buildings 1-4 to 80 percent; and
- Type III Special Variance to Section 17.90.120(E.2) to reduce the required window coverage for Buildings 1 and 4.

28. METAL SIDING SPECIAL VARIANCE

Section 17.90.120(B.3.d.4) states: “Where metal siding is used, it shall be used as an accent only, comprising not more than 30 percent of the surface area of the building elevation (e.g., wainscoting or other accent paneling).”

Previous Request: In File No. 18-047 DR/VAR/ADJ, the applicant proposed to use metal siding as follows:

- South elevation of Building 2: 89.7 percent
- North elevation of Building 3: 100 percent
- South elevation of Building 4: 36 percent
- South elevation of Building 5: 36 percent

The Planning Commission approved the applicant’s request for a Special Variance to Section 17.90.120(B.3.d.4) to allow 89.7 percent metal siding on the south elevation of Building 2 and 100 percent metal siding on the north elevation of Building 3 and approved a Type II Adjustment to allow 36 percent metal siding on the south elevations of Buildings 4 and 5 provided the applicant detail landscaped trellises in the two proposed sections of metal siding on the south elevations of Buildings 4 and 5.

Current Request: With this application (File No. 19-046 MOD/VAR/DEV), the applicant’s narrative states, “The applicant is requesting a variance to increase the percentage of the surface of buildings 1-4 to 80%.” The applicant did not provide percent metal calculations for each elevation with the initial submittal, making it difficult to evaluate the requested changes. Staff reached out to the applicant and requested more specific calculations for percent metal. The applicant provided staff with the following percent metal requests (Exhibit P):

- Building 1 North Elevation: 47 percent
- Building 1 South Elevation: 63 percent
- Building 1 East Elevation: 0 percent
- Building 1 West Elevation: 86 percent
- Building 2 North Elevation: 34 percent
- Building 2 South Elevation: 76 percent
- Building 2 East Elevation: 24 percent
- Building 2 West Elevation: 86 percent
- Building 3 North Elevation: 85 percent
- Building 3 South Elevation: 39 percent
- Building 3 East Elevation: 86 percent
- Building 3 West Elevation: 0 percent
- Building 4 North Elevation: 55 percent
- Building 4 South Elevation: 70 percent
- Building 4 East Elevation: 89 percent
- Building 4 West Elevation: 0 percent

Note: Building 5 is no longer being proposed.

The intent of Section 17.90.120(B) is “to provide building facades, materials and colors consistent with the Sandy Style.” Section 17.90.120(B.3) states “exterior building materials shall convey an impression of strength and durability consistent with the Sandy Style” and then goes on to list specific requirements related to building materials, including Section 17.90.120(B.3.d.4), which limits the use of metal siding to 30 percent of the surface area of the building elevation. To meet Special Variance criteria A, the Planning Commission would need to make a determination that the intent and purpose of the regulations and of the provisions to be waived will not be violated. **Staff recommends the Planning Commission review the previously approved elevations and associated conditions of approval and compare them to the currently proposed elevations and determine if they want to approve a further increase in the use of metal siding on any elevations.**

29. WINDOW COVERAGE SPECIAL VARIANCE

Section 17.90.120(E.2) states: The ground floor elevation of all new buildings shall contain ground floor display areas, windows, and doorways on the ‘activated’ frontage as follows:

Building Size	Percentage Windows Required
0 - 10,000 sq. ft.	30 percent of elevation
10,000 sq. ft. - 30,000 sq. ft.	25 percent of elevation
Greater than 30,000 sq. ft.	20 percent of elevation

Previous Request: In File No. 18-047 DR/VAR/ADJ, the applicant proposed window coverage as follows (Exhibit N):

- North elevation of Building 1 – request to provide 13 percent instead of 20 percent
- East elevation of Building 2 – request to provide 21 percent instead of 30 percent
- West elevation of Building 3 – request to provide 23 percent instead of 30 percent
- South elevation of Building 4 – request to provide 20 percent instead of 30 percent
- West elevation of Building 4 – request to provide 23 percent instead of 30 percent
- South elevation of Building 5 – request to provide 20 percent instead of 30 percent
- East elevation of Building 5 – request to provide 23 percent instead of 30 percent

The Planning Commission previously approved the applicant’s request for a Special Variance to Section 17.90.120(E.2) to allow less than the required window coverage on the north elevation of Building 1, the east elevation of Building 2, and the south elevations of Buildings 4 and 5, provided the applicant detail metal awnings above the proposed windows and landscaped trellises in the two proposed sections of metal siding on the south elevations of Buildings 4 and 5. The Planning Commission denied the applicant’s request for a Special Variance to Section 17.90.120(E.2) to allow less than the required window percent coverage on the east elevation of Building 5 and the west elevations of Buildings 3 and 4 and required the applicant to update the elevations to detail one (1) additional window on the east elevation of Building 5 and the west elevations of Buildings 3 and 4 to meet the 30 percent window coverage requirement.

Current Request: With this application (File No. 19-046 MOD/VAR/DEV), the applicant is requesting to further reduce the window percent on the following elevations:

- North elevation of Building 1 – request to provide 7.3 percent instead of 20 percent
- South elevation of Building 4 - request to provide 7.2 percent instead of 30 percent

Note: Building 5 is no longer being proposed.

Compared to the previous submittal, the applicant is proposing 7.3 percent windows on the north elevation of Building 1 (down from 13 percent with the previous application), and 7.2 percent windows on the south elevation of Building 4 (down from 20 percent with the previous application). The intent of Section 17.90.120(E) is “to promote business vitality, public safety and aesthetics through effective window placement and design, consistent with the Sandy Style.” Section 17.90.120(E.2) specifies that “the ground floor elevation of all new buildings shall contain ground floor display areas, windows, and doorways on the “activated” frontage” and then lists percentage windows required based on building size as well as specifications regarding types of windows required. To meet Special Variance criteria A, the Planning Commission would need to make a determination that the intent and purpose of the regulations and of the provisions to be waived will not be violated. **Staff recommends the Planning Commission review the previously approved elevations and associated conditions of approval and compare them to the currently proposed elevations and determine if they want to approve a further decrease in the percent of windows on the north elevation of Building 1 and the south elevation of Building 4.**

The applicant’s narrative also states: “The applicant has added one additional window to the facades of [sic] west facades of Buildings 3 and 4, bringing the total glazed area on those walls to 33.75%, exceeding the minimum of 30%.” However, the updated elevations don’t reflect the addition of the additional window on the west elevations of Buildings 3 and 4. **The Planning Commission previously denied the applicant’s request for a Special Variance to the window coverage requirement for the east elevation of Building 5 and the west elevations of Buildings 3 and 4 in Final Order 18-046 DR/VAR/ADJ. Per the conditions of approval from Final Order 18-047 DR/VAR/ADJ, the applicant shall update the elevations to detail one (1) additional window on the east elevation of Building 5 (if proposed again in the future) and the west elevations of Buildings 3 and 4 to meet the 30 percent window coverage requirement.**

15.30 – Dark Sky Ordinance

30. Chapter 15.30 contains the City of Sandy’s Dark Sky Ordinance. **All exterior lighting shall conform to the requirements of Chapter 15.30.**
31. The applicant did not submit an updated photometric plan with this application. As a condition of approval for File No. 18-047 DR/VAR/ADJ, the applicant is required to submit an updated photometric plan, an updated proposal for parking area lights, and updated lighting cut-sheets; all of these conditions still apply. **If the proposed exterior lighting plan changes as a result of the current proposal, the updated submittals required by File No. 18-047 DR/VAR/ADJ shall include all proposed changes.**

RECOMMENDATIONS

Staff recommends the Planning Commission deny the applicant’s request to place 34 new modular storage units on the subject property.

Staff recommends the Planning Commission review the previously approved elevations and associated conditions of approval and compare them to the currently proposed elevations and determine if they want to approve a further increase in the use of metal siding on any elevations.

Staff recommends the Planning Commission review the previously approved elevations and associated conditions of approval and compare them to the currently proposed elevations and determine if they want to approve a further decrease in the percent of windows on the north elevation of Building 1 and the south elevation of Building 4.

The applicant is requesting that the Planning Commission reinterpret their previous interpretation regarding activated frontages such that only a small portion of the north frontage of Building 1 and a small portion of the frontage of Building 4 be considered activated. Staff recommends the Planning Commission determine if they want to change their previous interpretation regarding activated frontages.

DRAFT CONDITIONS OF APPROVAL (IF PROPOSAL IS APPROVED)

A. All conditions from Final Order 18-047 DR/VAR/ADJ shall be met unless specifically modified by this Final Order.

B. Prior to submitting construction plans or building permits, including grading and erosion control permits, the applicant shall update the plan set and associated documents based on the conditions of approval and shall submit two (2) full sets to Planning Division staff for review and approval, including the following:

1. Submit a revised Site Plan and supplemental Plans to include all changes as identified in this Order including:
 - a. Remove the 34 proposed modular outdoor storage units. If the applicant would like to locate new structures on the subject property in the future, the applicant shall submit a separate land use application for a design review.
 - b. Extend the stormwater discharge pipe to the existing stormwater easement / drainage channel.
2. Submit revised elevations to include the following:
 - a. Detail one (1) additional window on the east elevation of Building 5 (if proposed again in the future) and the west elevations of Buildings 3 and 4 to meet the 30 percent window coverage requirement.
 - b. Detail parapets on the flat roofs of all buildings in compliance with Section 17.90.120(C.8.b) and consistent with the approval with File No. 18-047 DR/VAR/ADJ.
3. If the proposed exterior lighting plan changes as a result of the current proposal, the updated submittals required by File No. 18-047 DR/VAR/ADJ shall include all proposed changes.

C. Prior to Certificate of Occupancy, the applicant shall provide construction documents detailing compliance with fire apparatus access and fire protection water supply requirements to the Sandy Fire District for review and approval upon building permit submittal.

D. General Conditions

1. Design review and adjustment/variance/special variance/deviation approval shall be void after two (2) years from the date of the Final Order, unless the applicant has submitted plans for building permit approval.
2. Utility and frontage improvement plans are submitted solely to comply with the submission requirements of Section 17.90.100 of the Sandy Municipal Code. Land use approval does not connote approval of utility or street frontage improvement plans, which are subject to a separate submittal and review process.
3. Place all onsite overhead electrical and communications wires underground in conformance with Section 15.20. All utilities including franchise utilities shall be installed to City standards. All utilities are required to be placed underground in accordance with Section 17.100.250.
4. All landscaping shall be continually maintained, including necessary watering, weeding, pruning, and replacing. Maintain all unlandscaped and/or revegetated areas for a period of two years following the issuance of the Certificate of Occupancy for the facility.
5. The applicant shall comply with the requirements of Section 13.18 of the Sandy Municipal Code and the City of Portland Stormwater Management Manual.
6. All new lighting shall be in compliance with Chapter 15.30, Dark Sky Ordinance.
7. Any additional design deviations or variances shall be reviewed by the Planning Commission.
8. The applicant shall confer with Sandy Fire District to ensure compliance with the requirements of the Sandy Fire Marshal as contained in Exhibit J. The applicant shall comply with all applicable Oregon Fire Code requirements. A key box for building or gate access may be required. If required, Sandy Fire District No. 72 uses KNOX brand boxes. To order a KNOX lock box or KNOX key switch please visit Sandy Fire's website for ordering information.
9. The applicant shall obtain a permit for any proposed signage.
10. Successors-in-interest of the applicant shall comply with site development requirements prior to the issuance of building permits.
11. Comply with all other conditions or regulations imposed by Clackamas County, Fire District No. 72, or state and federal agencies. Compliance is made a part of this approval

and any violations of these conditions and/or regulations may result in the review of this approval and/or revocation of approval.

Jerry Crosby
Planning Commission Chair

Date



LAND USE APPLICATION FORM

(Please print or type the information below)

Planning Department
39250 Pioneer Blvd.
Sandy OR 97055
503-489-2160

Name of Project Sandy Vault

Location or Address Champion Way, Sandy, OR 97055

Map & Tax Lot Number T 24E, R 15A, Section _____; Tax Lot(s) 00209

Request: Resubmit modified design review proposal for self-storage facility in the II Zone

I am the (check one) owner lessee of the property listed above, and the statements and information contained herein are in all respects true, complete and correct to the best of my knowledge and belief.

Applicant (if different than owner) Jonathan Konkol AICP	Owner Mark Benson
Address 11104 SE Stark St.	Address P.O. BOX 241057
City/State/Zip Portland, OR 97216	City/State/Zip HONOLULU HI 96824
Phone (503)946-5027	Phone
Email jonathank@axisdesigngroup.com	Email mlbenson911@aol.com
Signature 	Signature

If signed by Agent, owner's written authorization must be attached.

File No. <u>19-046 DR/M</u> Date <u>11/15/19</u>	Rec. No.	Fee \$ <u>3,239.00</u>
Type of Review (circle one): Type I Type II <u>Type III</u> Type IV		

* see detailed receipt



Exhibit B

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NOV 15 2019

CITY OF SANDY

ARCHITECTURAL DESIGN INTERIOR DESIGN MASTER PLANNING LAND USE PLANNING

DESIGN REVIEW NARRATIVE

SANDY VAULT

Champion Way, Sandy Oregon 97055

Overview

The applicant is resubmitting this application, which was submitted in January 2019 and approved with conditions on April 4, 2019. The applicant's narrative is submitted here as Exhibit 1 and the City's Findings of Fact and Final Order is submitted as Exhibit 2 for reference.

The applicant requested discretionary approval for six items; five special variances and one design deviation. In addition, city staff identified two additional variance items, which were approved by the Planning Commission.

The substantive differences in this submittal derive from the applicant's reinterpretation of the portions of the façade that should be considered "active" to include a much smaller area. In consultation with City Staff, the applicant is requesting a Design Deviation to the standard established by 17.90.120.D.7, which requires that buildings adjacent to the street have activated elevations with public entrances.

The previous submittal erroneously treated the drive along the lot line north of Building 1 as a right-of-way, for the purpose of determining which walls must comply with the standards for active facades. In consultation with City staff, the applicant now understands that this private drive is not a legal street or right-of-way, therefore walls facing it are not subject to active façade standards. A detailed response to this code item follows below in the code narrative.

The majority of the changes in this resubmittal flow directly from this interpretation.

Since the previous series of variance requests was largely sustained by the Commission, this resubmittal revisits only items that have changed quantifiably in our revised proposal or where requests were denied previously. This application stands upon all other prior narrative arguments and descriptions. The following table summarizes the Variances and Deviations requested in this application and the previous application:

Previous Submittal	Description	Current Submittal Action
Code Chapter 17.90.120(B.3.d.4)	Allow > 30% metal siding	Resubmit with revised narrative and quantitative changes
17.98.80(A)&17.90.120.(A.3)	Reduce min 150' driveway spacing	Resubmit previous response + City engineer's agreement (exhibit 3)
17.90.120(C.1)	Allow flat roofs on buildings < 50' wide	Resubmit previous response
17.74.40(B.3)	Allow front yard retaining wall > 6'	Resubmit previous response
17.90.120(E.2)	Reduce ground floor window coverage	Resubmit with revised narrative and quantitative changes
17.90.120(D3 & 7)	Not provide entries on all active frontages	Resubmit with revised narrative and quantitative changes

CITY OF SANDY

NOV 15 2019

RECEIVED

Items added to application by staff:

- | | |
|----------------|---|
| 17.90.120(D.1) | Provide < 50% of st. frontage as bldgs w/in 20' of sidewalk |
| 17.90.120(G) | Reduce civic space from 1,727sf to 250sf |

Additional Site Development Proposed:

In addition to the scope proposed in the previous submittal, the applicant proposes to add 34 pre-manufactured modular storage units. These units will be located adjacent to the truck turn-around provided on the connection between Industrial Way and the rear of the adjacent property where Tractor Supply Company is located, as shown on A-101 Site Plan and A-103 Enlarged Site Plan. The modular units will be located between Building 3 and the parallel retaining wall located to the north.

The applicant has identified an unfilled niche in the market for storage in the Sandy area for small scale storage. There is demand for locker type facilities where winter sports visitors from Portland and elsewhere can store recreational equipment in a facility where it is convenient to access on their way to Mt. Hood. The addition of these units will advance the city's economic development goals by attracting outdoor recreation tourists to stop in Sandy. Users stopping at the facility will support retail and eating and drinking establishments and help to grow Sandy's economy.

The pre-manufactured units are by Universal Storage Containers product name "Greenlite." The metal wall panels will be painted to match the color of the MBCI metal panels "Saddle Tan" Pantone matching color "4645 C"

There will be

- (23) 5x8 units
- (5) 8x16 units
- (6) 8x20 units.

The units on the north side of the drive aisle will sit on or over the property line. This will be addressed at building permit; the applicant will accept, as a condition of approval, the requirement that he obtains and records an access easement on the portion of the abutting property south of the retaining wall. In addition, the applicant will seek a waiver to the building code for applicable criteria where structures abut lot lines.

Examples of products by Universal Storage Containers are provided in Appendix 4.

Narrative Responses

17.90.120.(B.3.d.4)

Where metal siding is used, it shall be used as an accent only, comprising not more than 30 percent of the surface area of the building elevation (e.g., wainscoting or other accent paneling). Metal must be architectural grade and have a non-reflective (burnished or painted) finish conforming to the Color Palette in Appendix C. Metal may also be used for flashing, gutters, downspouts, brackets, lighting, and signage and similar functional elements.

Response: The applicant is requesting a variance to increase the percentage of the surface of buildings 1-4 to 80% The intent of this code section is that "Exterior building materials shall convey an impression of strength and durability consistent with the Sandy Style." The applicant contends that the selected material MBCI Masterline 16, Saddle Tan color, is visually and functionally equivalent to approved materials such as Hardie lap siding. The applicant has submitted a large sample of the material in question for staff and commissioners to evaluate.

17.98.80(A)&17.90.120.(A.3)

ACCESS TO ARTERIAL AND COLLECTOR STREETS & SITE LAYOUT AND ACCESS.

RESPONSE: The applicant concurs with the Commission's findings on this item as previously submitted. Please refer to prior submittal – Exhibit 1.

17.90.120(C.1)

Roof Pitch, Materials, and Parapets

RESPONSE: The applicant concurs with the Commission's findings on this item as previously submitted. Please refer to prior submittal

17.74.40(B.3)

Fences - Commercial/Industrial

RESPONSE: The applicant concurs with the Commission's findings on this item as previously submitted. Please refer to prior submittal

17.90.120(E.2)

1. Ground Floor Windows. The ground floor elevation of all new buildings shall contain ground floor display areas, windows, and doorways on the "activated" frontage. as follows:

Building Size	Percentage Windows Required
0-10,000 sq. ft.	30 percent of elevation
10,000 sq. ft. - 30,000 sq. ft.	25 percent of elevation
Greater than 30,000 sq. ft.	20 percent of elevation

RESPONSE: The applicant concurs with the Commission's findings on this item as previously submitted as regards the north elevation of Building 1, the east elevation of Building 2 and the south elevation of Building 4. The applicant has provided elevation details for metal awnings above the proposed windows on Building 4 as well as for landscaped trellises for Building 4 per the conditions outlined in the Final Order (Exhibit 2). The applicant has added one additional window to the facades of west facades of Buildings 3 and 4, bringing the total glazed area on those walls to 33.75%, exceeding the minimum of 30%. Please refer to prior submittal (Exhibit 1) for details and comparison.

17.90.120(D3)

Building Orientation and Entrances

3. Ground floor spaces shall face a public street or civic space and shall be connected to it by a direct pedestrian route (i.e., avoid out-of-direction travel).

RESPONSE: The applicant concurs with the Commission's findings on this item as previously submitted. Please refer to prior submittal

17.90.120(D.7)

Building Orientation and Entrances

7. Buildings shall provide at least one (1) elevation where the pedestrian environment is "activated". An elevation is "activated" when it meets the window transparency requirements in subsection 17.90.120(E), below, and contains a public entrance with a pedestrian shelter extending at least five (5) feet over an adjacent sidewalk, walkway or civic space.

RESPONSE: The applicant concurs with the Commission's findings on this item as previously submitted. However, as this application is based on a different interpretation of 120.91.120(D.7) and makes quantitative changes to the facades in question, this application offers the following response to supplement the previously submitted narrative:

In consultation with City Staff, the applicant is requesting a Design Deviation to the standard established by 17.90.120.D.7, which requires that buildings adjacent to the street have activated elevations with public entrances. The proposed use, self-storage, is incompatible with this requirement, despite being an allowed use in the I-1 zone. The applicant has attempted to follow the intent of this standard to the extent that it is feasible by locating the active use, the office, at the street facing end of Building One. This is the public face of the project, and includes a prominent

entry and civic space, as shown on renderings and site plans. To maintain a consistent appearance across the four buildings, we propose activating the primary, street-facing façades for each building, and deviating from the standard on the mostly non-visible portions of the buildings. Because the remainder of the buildings contain no active uses, the applicant contends that a deviation from this standard is appropriate. Building 1 & 2 will have activated “street” facades on the east which wrap partially on the north and south sides. Buildings 3 & 4 will have activated “street” facades on the west side which wrap partially on the north and south sides.

The private drive located adjacent, and parallel, to the north wall of Building 1 is not a legal street or right-of-way, therefore walls facing it are not subject to active façade standards. However, there is a partial line of site to the building from portions north of the ARCO site from US 26. As indicated on Sheet A5 Glazing Diagrams, the upper half (approx.) of Building 1 is visible in places where structures on the intervening lot do not completely block views.

Special variances approved by Planning Commission, not included in original application

17.90.120(D.1)

Building Orientation and Entrances

1. Buildings shall be oriented to a public street or civic space. This standard is met when at least 50 percent of the subject site’s street frontage is comprised of building(s) placed within 10 feet of a sidewalk or an approved civic space and not more than 20 percent of the off-street parking on a parcel as required by SDC 17.98, tract or area of land is located between a building’s front façade and the adjacent street(s).

RESPONSE: The applicant concurs with the Commission’s findings on this item. Please refer to Exhibit 2 – Final Order.

17.90.120(G.1)

Civic Space

Not less than three (3) percent of the ground floor area of every development shall be improved as civic space.

RESPONSE: The applicant concurs with the Commission’s findings on this item. Please refer to Exhibit 2 – Final Order.

EXHIBIT 1 – Prior Submittal January 2019

Deviation, Adjustment and Variance Narrative

As a part of this response to the City's Notice Regarding Completion of Submittal, dated, 10/29/2018, the applicant is requesting consideration for the following deviations, adjustments and variances. The applicant is requesting one design deviation and four Type II Variances as outlined below.

17.90 – SUBMISSION REQUIREMENTS - TYPE II AND TYPE III

17.90.100.C Design Deviations

Project Narrative documenting compliance with applicable code criteria. If the application involves any deviations from the Code standards (i.e., Type III Design Review), the narrative shall describe how the proposal meets or exceeds the intent of the standard(s) for which a deviation is requested.

Design Deviation requested:

17.90.120.D

7. Buildings shall provide at least one (1) elevation where the pedestrian environment is "activated". An elevation is "activated" when it meets the window transparency requirements in subsection 17.90.120(E), below, and contains a public entrance with a pedestrian shelter extending at least five (5) feet over an adjacent sidewalk, walkway or civic space.

RESPONSE: The applicant is requesting a Design Deviation to the standard established by 17.90.120.D.7, which requires that buildings adjacent to the street have activated elevations with public entrances. The proposed use, self-storage, is incompatible with this requirement, despite being an allowed use in the I-1 zone. The applicant has attempted to follow the intent of this standard to the extent that it is feasible by locating the active use, the office, at the street facing end of building one. This is the public face of the project, and includes a prominent entry and civic space, as shown on renderings and site plans. Because the remainder of the buildings contain no active uses, the applicant contends that a deviation from this standard is appropriate.

17.66.10 – TYPE II AND TYPE III VARIANCE CRITERIA

The authority to grant a variance does not include authority to approve a development that is designed, arranged or intended for a use not otherwise approvable in the location. The criteria are as follows:

- A. The circumstances necessitating the variance are not of the applicant's making.
- B. The hardship does not arise from a violation of this Code, and approval will not allow otherwise prohibited uses in the district in which the property is located.
- C. Granting of the variance will not adversely affect implementation of the Comprehensive Plan. 17.66 - 3

D. The variance authorized will not be materially detrimental to the public welfare or materially injurious to other property in the vicinity.

E. The development will be the same as development permitted under this code and City standards to the greatest extent that is reasonably possible while permitting some economic use of the land.

F. Special circumstances or conditions apply to the property which do not apply generally to other properties in the same zone or vicinity, and result from lot size or shape (legally existing prior to the effective date of this Code), topography, or other circumstances over which the applicant has no control.

17.90.120.A – Site Layout and Access

3. Off-street parking shall be located to the rear or side of buildings with no portion of the parking lot located within required setbacks or within 10-feet of the public right-of-way, as shown in Figure 17.90.120-A. When access must be provided directly from a public right-of-way, driveways for ingress or egress shall be limited to one per 150 ft. For lots with frontage of less than 150 ft. or less, shared access may be required.

AND

17.98.80 ACCESS TO ARTERIAL AND COLLECTOR STREETS

- A. Location and design of all accesses to and/or from arterials and collectors (as designated in the Transportation System Plan) are subject to review and approval by the City Engineer. Where practical, access from a lower functional order street may be required. Accesses to arterials or collectors shall be located a minimum of 150 ft. from any other access or street intersection. Exceptions may be granted by the City Engineer.

RESPONSE: The applicant is requesting a Type II variance in order to locate a drive way 101' south of the existing access easement/drive curb cut. Site conditions prohibit moving Building 2 any farther to the south – to do so would encroach on a mapped wetland at the southern portion of the site. This long, sloping site has limited access to adjacent roads due to the small frontages it has on Industrial Way and Champion Way. Champion way is the logical entry point because Industrial Way is a little-used dead end street. The proposed use generates relatively few vehicle trips, as described in the Sandy Vault Trip Generation Letter by Firwood Design Group, dated September 17, 2018, submitted with this application. Therefore, the addition of a second one-way driveway, which will be limited to right turn/exiting function will not violate the intent of this provision. The proposed second driveway has been sited to align with the driveway of the adjacent property on the opposite side of Champion Way. For these reasons, the City should find that a Type II variance is appropriate.

CRITERIA:

A. The circumstances necessitating the variance are not of the applicant's making.

Access to the site is constrained by existing conditions. The distance between the existing access easement and the wetland to the south (measured from top of bank) is approximately 176'. There is not adequate distance to accommodate all the requisite site features and place the drive between the proposed buildings where it can serve both structures. Since these circumstances are not of the applicant's making, the city should find that this condition is met.

B. The hardship does not arise from a violation of this Code, and approval will not allow otherwise prohibited uses in the district in which the property is located.

The proposed drive aisle is not created by a violation of Sandy's Code. It has no effect on the proposed use categories; the building is allowed by right in this zone. The city should find that this criterion is met.

C. Granting of the variance will not adversely affect implementation of the Comprehensive Plan.

Allowing the driveway to be constructed in the proposed location would have negligible impacts on the right of way and adjacent properties due to the very low number of vehicles using it on any given day. Therefore comprehensive plan implementation would not be adversely affected. The City should find that this criterion is met.

D. The variance authorized will not be materially detrimental to the public welfare or materially injurious to other property in the vicinity.

The result of a small number of vehicles exiting onto Champion way at this location, as opposed to a location 49' south of the proposed driveway will have no material impact on adjacent properties. The city should find that this criterion is met.

E. The development will be the same as development permitted under this code and City standards to the greatest extent that is reasonably possible while permitting some economic use of the land.

The development of the project will be completely consistent with I1 base zone standards, with the only deviation being the aforementioned relocation of site elements to conform to natural features of the property. Therefore the city should find that this criterion is satisfied.

F. Special circumstances or conditions apply to the property which do not apply generally to other properties in the same zone or vicinity, and result from lot size or shape (legally existing prior to the effective date of this Code), topography, or other circumstances over which the applicant has no control.

As noted above, the purpose of this variance request is to permit a use allowed by right on a site which does not have adequate frontage on the right of way to permit placement of circulation according to code. The reason for the diminished frontage is the presence of an existing access drive and easement and a designated wetland area. The applicant has no control over these circumstances. Therefore the City should find that this criterion is met.

17.90.120.B – Building Facades, Materials, and Colors

3. **3. Building Materials.** Exterior building materials shall convey an impression of strength and durability consistent with the Sandy Style, as follows:
 - 4) Where metal siding is used, it shall be used as an accent only, comprising not more than 30 percent of the surface area of the building elevation (e.g., wainscoting or other accent paneling). Metal must be architectural grade and have a non-reflective (burnished or painted) finish conforming to the Color Palette in Appendix C. Metal may also be used for flashing, gutters, downspouts, brackets, lighting, and signage and similar functional elements.

RESPONSE: On Buildings 2,3,4 we the Applicant proposes to increase the use of metal siding to 36% - an increase of 20% above the standard - on portions of facades that will be hidden from view by retaining walls , trees and / or other buildings. The metal siding to be used is visually indistinguishable from Hardiboard lap siding. It will have a matching profile, smooth finish, and identical City-approved color. The proposed metal siding is supplied by Metallion Industries as recommended by the City of Sandy. Since the visual impact of this deviation will be negligible, the City should find that a Type II Variance is acceptable.

Site Conditions for various buildings:

Building Two- The south façade furthest from Champion Way hidden from view by tree foliage.

Building Three - north façade screened from view by a 16' high retaining wall that is along the south boundary of the Tractor Supply development

Building Four - The south façade furthest from the driveway from Industrial Way hidden from view by tree foliage.

17.90.120.C – Roof Pitch, Materials, and Parapets

2. Except as provided in subsections 17.90.120(C)(8), below, pitched (gabled or hipped) roofs are required on all new buildings with a span of 50-feet or less.

b. Flat Roof: Flat roofs shall comply with the following standards:

- 1) Sandy Style stepped parapets and detailed coursing shall be provided on those elevations visible from a public street. Parapets shall be varied so that the length 17.90- 32 Revised by Ordinance 2013-04 effective 07/03/13 of a parapet does not exceed 40 feet without a change in the parapet height of at least 2 feet or as necessary to hide rooftop equipment.
 - 2) Average parapet height shall not exceed 15 percent of the supporting wall height, and the maximum parapet height shall not at any point exceed one-third (1/3) of the height of the supporting wall;
 - 3) A cornice projecting at least six (6) inches from the building face shall be provided at the roofline of all elevations visible from public rights-of-way;
 - 4) Parapet corners shall be stepped and the parapet be designed to emphasize the center or primary entrance(s), unless the primary entrance is at the corner of the building;
-

RESPONSE: The applicant is proposing a flat roof on Building 1, which is allowed per the exception provided in this section. Its slope is approximately 5%. As indicated on elevation drawings, the parapets comply with the above design parameters. The applicant is proposing similar roof profiles and parapet treatment for buildings 2-5, which measure 42' in section. A Type II variance is appropriate for this deviation because it would avoid creating visual disharmony by having differing roof forms on the site. Application of gable roofs to buildings 2-5 would cause them to be significantly higher than Building 1. The proposal creates a consistent appearance for all buildings.

CRITERIA:

A. The proposed development will not be contrary to the purposes of this chapter, policies of the Comprehensive Plan, and any other applicable policies and standards adopted by the City;

The purpose of the policy in question is to enhance the city's quality of life and image, encourage a functional, safe and aesthetically pleasing development, and implement the Sandy Style. The applicant contends that creating a consistent appearance that unifies the site design better accomplishes the intent of these goals than a site with differing roof profiles. A mixture of different roof profiles would detract from the goal of an aesthetically pleasing development and would not result in a proper application of the Sandy Style. Therefore the City should find that this criterion is met.

B. The proposed development will not substantially reduce the amount of privacy enjoyed by users of nearby structures when compared to the same development located as specified by this Code;

The proposed roof design will have no impact on the privacy of occupants of adjacent structures. The City should find that this criterion is satisfied.

C. The proposed development will not adversely affect existing physical systems and natural systems, such as traffic, drainage, dramatic land forms, or parks; and

The proposed change to roof form will have no impacts on physical and natural systems, such as traffic, drainage, dramatic land forms, or parks. Therefore, Therefore the City should find that this criterion is met.

D. Architectural features of the proposed development will be compatible to the design character of existing structures on adjoining properties and on the proposed development site.

Both flat and sloped roofs are permitted under the Sandy Style. Existing development consists of both flat and sloped roofs. The roof profile will be similar to the structure to the south, while combining façade elements and projections very similar to those on the structure to the north. Therefore this proposal will engage its context appropriately. The city should find that this criterion is satisfied.

17.90.120.E – Windows

3. Ground Floor Windows. The ground floor elevation of all new buildings shall contain ground floor display areas, windows, and doorways on the “activated” frontage. as follows:

Building Size	Percentage Windows Required
0-10,000 sq. ft.	30 percent of elevation
10,000 sq. ft. - 30,000 sq. ft.	25 percent of elevation
Greater than 30,000 sq. ft.	20 percent of elevation

RESPONSE: As indicated on Sheet A5, only one of the proposed activated facades meets the standard for glazing area. The applicant contends that the glazing proposed is consistent with the intent of the code, to the extent that it is possible for a self-storage facility. This typology is allowed by right in the I-1 zone. However, the fundamental nature of this use precludes glazing on most areas. The building is used for secure storage, and window openings for spaces that will not be occupied is impractical and poses a security risk. The applicant has proposed faux windows, where glazing is set in exterior walls and a framed wall is located behind the glass, so it does not provide access to the interior of the building. This creates the appearance of glazing when viewed from the street, thus complying with the code’s purpose of creating an attractive streetscape. Additional glazing would be inconsistent with the proposed use, therefore it is appropriate for the City to grant a Type III Special Variance.

CRITERIA:

A. The unique nature of the proposed development is such that:

1. The intent and purpose of the regulations and of the provisions to be waived will not be violated;

The purpose of the regulation in question is “to promote business vitality, public safety and aesthetics through effective window placement and design, consistent with the Sandy Style.” As noted above, the applicant contends that the quantitative standards for window area are in conflict with the nature of the use, which is nevertheless

allowed by right in this zone. The proposal makes every feasible attempt to convey the appearance of an open, transparent set of buildings which present an attractive image to the public realm. The buildings will not appear to be opaque nor will their appearance be detrimental to business vitality or public safety. Every attempt has been made to render the proposed storage facility in a visual language that is harmonious with the Sandy Style. Therefore, the City should find that this criterion is met.

2. Authorization of the special variance will not be materially detrimental to the public welfare and will not be injurious to other property in the area when compared with the effects of development otherwise permitted.

The reduction in glazing area proposed will have no material impact on public welfare. The construction of the proposed self-storage facility, as designed, will not be in any way injurious compared to other types of light industrial or commercial buildings that could be constructed here in compliance with the code. The City should find that this criterion is satisfied.

17.74.40 Fences And Windscreens

B. Fences - Commercial/Industrial

2. Fences in a front yard (Commercial). The height of a fence or retaining wall in a front yard shall not exceed 4 ft.

RESPONSE: As indicated on the site plan and civil drawings the topography of the site and location of the buildings requires construction of retaining walls in the front yard area to prevent soil erosion. This is due to the natural topography of the site, which is a situation beyond the applicant's control. The area supported by the retaining walls will be terraced and landscaped in an attractive manner as shown on the Landscape Plan. Additionally, the wall itself will be constructed of an attractive, architectural material keyed to the building façades. Since it is constructed perpendicular to the slope of the land, the wall will step down and thus the maximum height of 8'-6" (Approx.) will only occur at the end of each step and the average height of each segment will be lower. Given the fact that this approach is the most practical response to natural existing conditions, it is appropriate for the City to grant a Type III Special Variance.

CRITERIA:

A. The unique nature of the proposed development is such that:

1. The intent and purpose of the regulations and of the provisions to be waived will not be violated;

The purpose of the regulation in question is create an attractive streetscape and avoid obscuring yards and buildings. The proposal is the most attractive practical solution to the topography of the site and will be designed to incorporate attractive architectural materials that respond the building's material pallet. Additionally, the walls will be softened with landscaping. They will not interrupt line of sight to the buildings, which will be situated above sidewalk grade. Therefore the City should find that this criterion is met.

2. Authorization of the special variance will not be materially detrimental to the public welfare and will not be injurious to other property in the area when compared with the effects of development otherwise permitted.

The construction of the proposed retaining walls, as designed, will not be in any way injurious to other properties in the vicinity. The City should find that this criterion is satisfied.

SUPPLEMENTAL NOTE – RIGHT OF WAY DEDICATION

Conditions of Approval

The applicant acknowledges that the location of the lot lines on Champion Way and Industrial way do not allow sufficient room to construct the required sidewalks within existing rights-of-way. The applicant agrees to execute an access easement or dedication of right-of-way at the City's discretion as a condition of approval for this application.

SHEET INDEX

SHEET NUMBER	SHEET TITLE	DESIGN REVIEW	REVISION
GENERAL			
G-000	COVER SHEET, VICINITY MAP, PROJECT INFO	X	
CIVIL			
1	COVER SHEET AND NOTES	X	
2	EXISTING CONDITIONS	X	
3	SITE PLAN WEST	X	
4	SITE PLAN NW CORNER	X	
5	SITE PLAN EAST	X	
6	GRADING PLAN WEST	X	
7	GRADING PLAN EAST	X	
8	SPOT GRADING PLAN NE	X	
9	SPOT GRADING PLAN SE	X	
10	SPOT GRADING PLAN WEST	X	
11	UTILITY PLAN NORTH EAST	X	
12	UTILITY PLAN SOUTH EAST	X	
13	UTILITY PLAN WEST	X	
14	PRIVATE ROAD	X	
15	PRIVATE ROAD PROFILE	X	
16	CHAMPION WAY	X	
17	INDUSTRIAL WAY	X	
18	PROFILES	X	
19	CONCRETE GRADING DETAIL	X	
20	DETAILS	X	
21	DETAILS	X	
22	DETAILS	X	
23	DETAILS	X	
LANDSCAPE			
L-1	LANDSCAPE PLAN	X	
L-2	LANDSCAPE PLAN	X	
ARCHITECTURAL			
A-101	SITE PLAN	X	
A-102	ENLARGED SITE PLAN	X	
A-103	ENLARGED SITE PLAN	X	
A-104	SITE DETAILS	X	
A-121	BUILDING 1 - FIRST FLOOR PLAN	X	
A-122	BUILDING 1 - SECOND FLOOR PLAN	X	
A-123	BUILDING 2 - FLOOR PLAN	X	
A-124	BUILDING 3 - FLOOR PLAN	X	
A-125	BUILDING 4 - FLOOR PLAN	X	
A-221	BUILDING 1 - EXTERIOR ELEVATIONS	X	
A-222	BUILDING 2 - EXTERIOR ELEVATIONS	X	
A-223	BUILDING 3 - EXTERIOR ELEVATIONS	X	
A-224	BUILDING 4 - EXTERIOR ELEVATIONS	X	
A-5	GLAZING DIAGRAMS	X	

LEGEND:
 X= ISSUED AS PART OF SET
 ◊ = NOT PART OF ISSUED SET
 * = ISSUED FOR INFORMATION ONLY

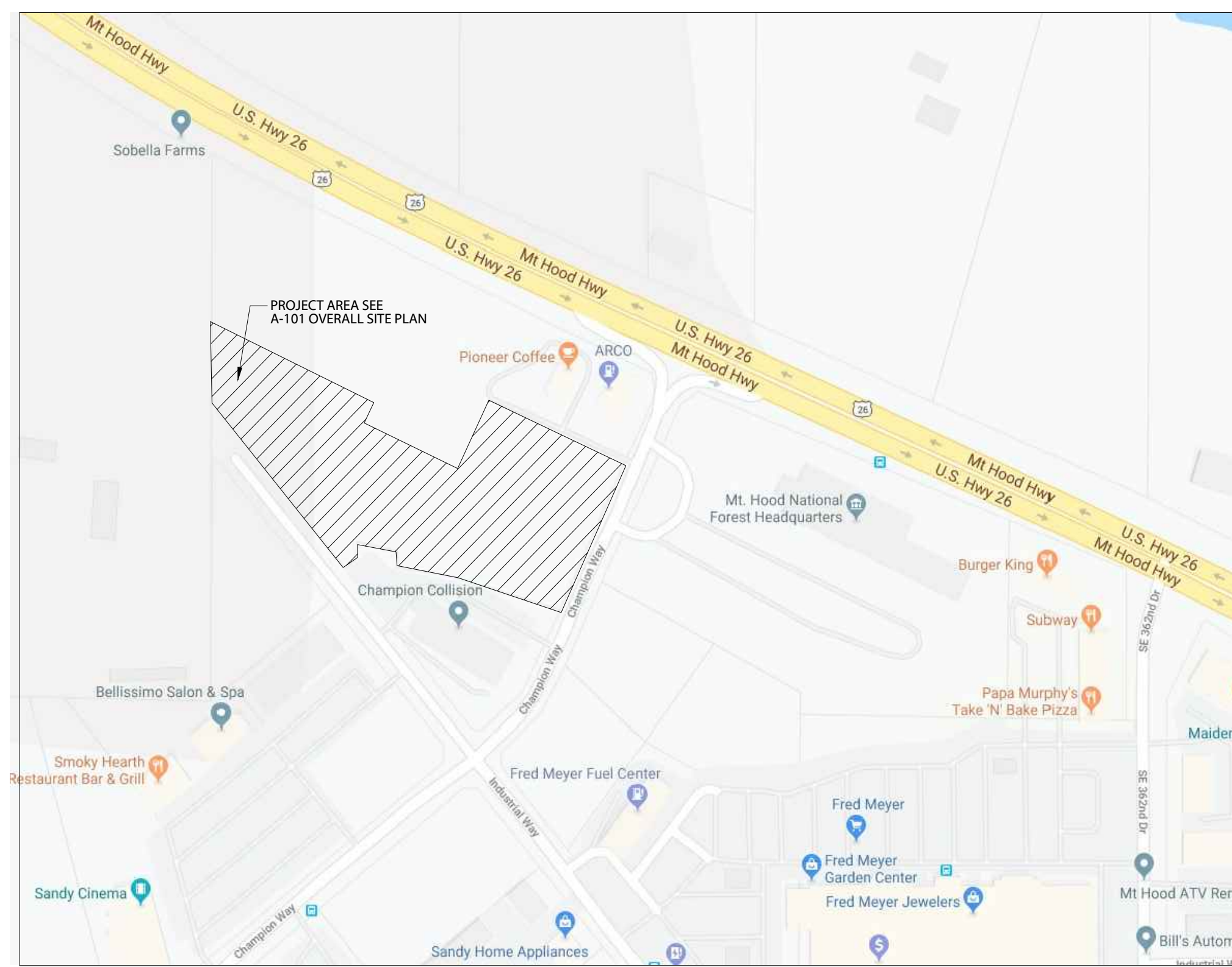
SANDY VAULT DESIGN REVIEW

CHAMPION WAY, SANDY OREGON 97055



PERSPECTIVE

SCALE: NOT TO SCALE



VICINITY MAP
SCALE: NTS

Exhibit C

PROJECT TEAM:

OWNER: SANDY VAULT, LLC.
 P.O. BOX 241037
 HONOLULU HI 96824
 CONTACT: MARK BENSON
 PH: ?
 ARCHITECT: AXIS DESIGN GROUP
 ARCHITECTURE & ENGINEERING, INC.
 320 NORTH MAIN AVENUE, SUITE 203
 GRESHAM, OR 97030
 PH: (503) 667-4252
 FAX: (503) 846-9276
 CONTACT: DEAN HOQUE
 GENERAL CONTRACTOR: TBD

GENERAL PROJECT INFORMATION

A. PROJECT ADDRESS: CHAMPION WAY
 SANDY, OR 97055
 B. IDENTIFICATION: TAX LOT NO. - 24E15A 00209
 C. ZONING OF SITE: I-1 - INDUSTRIAL
 D. JURISDICTION: CITY OF SANDY
 E. DESCRIPTION OF USE: SELF STORAGE
 F. OCCUPANCY GROUP: S-1 STORAGE & B OFFICE
 G. CONSTRUCTION TYPE: SN
 H. BUILDING SIZE: BLDG. ONE - 1ST FLOOR - 16,532 SF
 2ND FLOOR - 16,646 SF
 BLDG. TWO: 6,760 SF
 BLDG. THREE: 6,973 SF
 BLDG. FOUR & FIVE: 5,324 SF
 TOTAL BUILDING AREA: 57,559 SF
 I. BUILDING HEIGHT: BUILDING ONE - 2 STORY 16' TO 25'-6"
 BUILDING TWO - 1 STORY 16'
 J. AREA (APPROX.): PROPERTY - (4.3 ACRES)
 K. SPRINKLERED: NOT SPRINKLERED
 L. PARKING: 7 PARKING SP
 M. BIKE PARKING: 2 SPACES

SITE CONDITIONS

SITE AREA:

TOTAL SITE AREA: 187,585 SF 4.3 AC (100%)
 PVIOUS AREAS:
 LANDSCAPED AND NATURAL AREAS: 111,362 SF (59.4%)

IMPERVIOUS AREAS:
 CIVIC SPACE & SIDEWALKS AREAS (CONCRETE): 600 SF 0.003%
 DRIVEWAYS & PARKING LOT AREA (ASPHALT): 34,710 SF (18.5%)
 BUILDING FOOTPRINTS: 40,913 SF (21.8%)
 TOTAL IMPERVIOUS AREA: 76,223 SF (40.6%)

LANDSCAPE AREAS:
 GENERAL LANDSCAPE AREA: 111,362 SF (59.4%)

AUTO PARKING:
 MINIMUM REQUIRED AUTO PARKING:
 OFFICE USE: 1 SP / 1,000SF = 5 SPACES
 PROPOSED AUTO PARKING: 7 SPACES
 BIKE PARKING:
 REQUIRED BIKE PARKING (OFFICE): 2 SPACES
 PROPOSED BIKE PARKING: 2 SPACES

LEGAL DESCRIPTION

TAX LOT 24E15A 00209 TAX MAP 25-4E15A
 CITY OF SANDY, CLACKAMAS COUNTY, OREGON

APPLICABLE CODES

WORK TO COMPLY WITH CURRENT FEDERAL, STATE, COUNTY, CITY BUILDING &
 ADA CODES & REGULATIONS.

OREGON BUILDING CODES:

- 2014 OREGON STRUCTURAL SPECIALTY CODE
- 2014 OREGON FIRE CODE
- 2014 OREGON ENERGY EFFICIENCY SPECIALTY CODE
- 2014 OREGON MECHANICAL SPECIALTY CODE
- 2014 OREGON ELECTRICAL SPECIALTY CODE
- 2014 OREGON PLUMBING SPECIALTY CODE

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 APPROVAL OF AXIS DESIGN GROUP.



SANDY VAULT
 CHAMPION WAY
 SANDY, OR 97055

REVISIONS

No.	Description	Date

DRAWN BY: FN
 CHECKED BY: DH
 JOB NO: 17-034
 DATE: 06/19/2019
 ISSUED FOR: 75% PROGRESS

SHEET TITLE
 COVER SHEET

SHEET NO.

G-000

SANDY VAULT SELF STORAGE

LOCATED AT CHAMPION WAY AND INDUSTRIAL WAY, SANDY OREGON

GENERAL NOTES:

- ALL WORK AND MATERIALS SHALL CONFORM TO THESE PLANS AND THE APPLICABLE PROVISIONS OF THE CITY OF SANDY PUBLIC WORKS STANDARDS. IMPROVEMENTS DEPICTED ON THESE PLANS ARE IN CONFORMANCE WITH THE CITY LAND USE ACTION CASEFILE NO. 18-047 SUB/MOD.
- IN ORDER TO PROTECT UNDERGROUND FACILITIES, EXCAVATORS PERFORMING THE WORK SET FORTH ON THESE PLANS MUST COMPLY WITH THE PROVISIONS OF ORS 757.541 TO 757.571 (REQUIRES CONSTRUCTOR TO NOTIFY UTILITIES AT LEAST 48 HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, PRIOR TO ANY EXCAVATION).
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY AND SHOWN FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED PRIOR TO COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
- VERTICAL DATUM: CITY OF SANDY BENCHMARK #14, ELEVATION=820.61
- TRENCHES WITHIN THE RIGHTS OF WAY SHALL BE BACKFILLED WITH AN APPROVED GRANULAR MATERIAL CONFORMING TO APWA CLASS B SPECIFICATIONS.
- TRENCHES OUTSIDE OF RIGHTS OF WAY MAY BE BACKFILLED IN ACCORDANCE WITH NATIVE MATERIAL AND COMPACTION SPECIFICATIONS FOR APWA CLASS A BACKFILL.
- VEGETATION AND TOPSOIL ARE TO BE STRIPPED TO MINERAL EARTH (AND INSPECTED BY THE PROJECT ENGINEER OR GEOTECHNICAL ENGINEER) PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS.
- IN ADDITION TO ANY REQUIRED COMPACTION TESTING, THE CITY MAY REQUIRE A PROOF ROLL WITH A FULLY LOADED 10-YARD DUMP TRUCK TO CHECK SUBGRADE COMPACTION PRIOR TO PLACEMENT OF ROCK SUBBASE AND AGAIN AT THE COMPLETION OF THE PLACEMENT OF THE BASE ROCK PRIOR TO PAVING THE FIRST LIFT OF ASPHALT.
- ASPHALTIC CONCRETE MIX IS TO BE BATCHED FROM A MIX FORMULA APPROVED BY OSHD FOR MATERIAL USED. PAVING CONTRACTOR SHALL PROVIDE A CERTIFICATE OF COMPLIANCE FROM ASPHALT PAVEMENT PLANT.
- SUBSEQUENT SETTLEMENT OR CRACKING OF FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE CONSIDERED TO BE A FAILURE OF THE SUBGRADE AND REPAIRED AT NO COST TO THE CITY AND IN A MANNER ACCEPTABLE TO THE CITY. A PERFORMANCE BOND IS REQUIRED TO GUARANTEE REPAIRS UNDER THE WARRANTY PERIOD.
- THE CONTRACTOR SHALL CONTROL TRAFFIC THROUGH THE PROJECT SITE IN CONFORMANCE WITH THE LATEST EDITION OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "OREGON SUPPLEMENTS". THE CONTRACTOR SHALL AT ALL TIMES MAINTAIN LOCAL ACCESS FOR HOMEOWNERS ALONG THE PROJECT SITE.
- THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL HAVE A MINIMUM OF ONE (1) SET OF APPROVED CONSTRUCTION PLANS ON THE JOB SITE AT ALL TIMES DURING THE CONSTRUCTION PHASES.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF TREES, STUMPS, BRUSH, ROOTS, TOPSOIL AND OTHER MATERIAL ENCOUNTERED DURING THE CONSTRUCTION OF THE ROADWAY AND WHERE INDICATED ON THE PLANS. MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, REGIONAL AND STATE REGULATIONS AT FACILITIES AUTHORIZED TO ACCEPT SUCH MATERIAL.
- CONTRACTOR SHALL CAREFULLY MAINTAIN BENCHMARKS, PROPERTY CORNERS, MONUMENTS AND OTHER REFERENCE POINTS. IF SUCH POINTS ARE DISTURBED OR DESTROYED BY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND PAY FOR THEIR REPLACEMENT BY EMPLOYING A PROFESSIONAL LAND SURVEYOR TO RESET PROPERTY CORNERS AND OTHER SUCH MONUMENTS.
- EXCESS EXCAVATED MATERIAL SHALL BE HAULED AND DISPOSED OF AT SITES PROVIDED BY THE OWNER AND APPROVED PURSUANT TO AN APPROPRIATE GRADING PERMIT. FILL SITES SHALL BE LEVELED AND GRADED TO DRAIN. THE CONTRACTOR SHALL CORRECT ANY FILL RELATED CONDITIONS.
- FINAL CLEANUP - PRIOR TO FINAL ACCEPTANCE AND PAYMENT, THE CONTRACTOR SHALL CLEAN THE WORK SITE AND ADJACENT AREAS OF ANY DEBRIS, DISCARDED ASPHALTIC CONCRETE MATERIAL OR OTHER ITEMS DEPOSITED BY THE CONTRACTORS PERSONNEL DURING THE PERFORMANCE OF THIS CONTRACT.
- A PERMIT IS REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY, CONTACT THE CITY OF SANDY PUBLIC WORKS DEPARTMENT OR VISIT www.ci.sandy.or.us FOR PERMIT APPLICATION FORMS.
- ALL WORK MUST COMPLY WITH CITY OF SANDY GRADING AND EROSION CONTROL PERMIT #xxx GR/EC ISSUED XX/XX/XX AND THE NPDES 1200C PERMIT ISSUED BY THE OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY ON 03/29/19. ALL WORK MUST COMPLY WITH THE MOST STRINGENT REQUIREMENTS IN BOTH PERMITS.
- ALL WORK MUST COMPLY WITH THE CITY OF SANDY'S EROSION CONTROL STANDARDS. CONTRACTOR TO SCHEDULE INSPECTIONS 48 NORMAL BUSINESS HOURS IN ADVANCE.
- PRIOR TO DEMOLITION OF ANY OF THE EXISTING STRUCTURES ON-SITE, A DEMOLITION PERMIT IS REQUIRED FROM THE CITY OF SANDY.
- ANY EXISTING DOMESTIC OR IRRIGATION WELLS SHALL BE ABANDONED IN CONFORMANCE WITH OAR 690-220-0030. SUBMIT COPY OF WRD ABANDONMENT FORM TO THE CITY. ANY EXISTING ON-SITE SEWAGE DISPOSAL SYSTEM SHALL BE ABANDONED IN CONFORMANCE WITH CLACKAMAS COUNTY WES REGULATIONS. THE CONTRACTOR SHOULD SUBMIT COPY OF THE CERTIFICATES FOR WELL ABANDONMENT AND SEPTIC TANK REMOVAL TO THE CITY.
- IF, AT ANYTIME DURING THE ON-SITE CONSTRUCTION, THE CONTRACTOR OBSERVES AN ENVIRONMENTAL IMPACT ON-SITE SUCH AS OIL TANKS, CONTAMINATION RESIDUE OR HAZARDOUS MATERIALS, SPILLAGE, ETC... IT MUST BE REPORTED, INSPECTED, AND TREATED IN CONFORMANCE WITH THE APPROPRIATE AGENCY'S REQUIREMENTS.

SANITARY SEWER NOTES:

SANITARY SEWER GENERAL NOTES:

- SEWER PIPE AND FITTINGS TO BE GREEN PVC GRAVITY SEWER PIPE CONFORMING TO ASTM D-3034, SDR 35 WITH RUBBER RING TYPE JOINTS CONFORMING WITH ASTM D-3212. SUBMIT CERTIFICATE OF COMPLETION OF 95% MANDREL TEST ON ALL PIPES AFTER COMPACTION.
- PIPE BEDDING, PIPE ZONE MATERIALS SHALL BE 3/4" MINUS CRUSHED ROCK. BACKFILL WITHIN THE RIGHT-OF-WAY SHALL BE 3/4" MINUS CRUSHED ROCK COMPACTED TO 95 % OF AASHTO T-180 (ASTM D-1557).
- LATERALS SHALL BE 6" 3034 PVC PIPE, GREEN IN COLOR, AND SHALL BE INSTALLED AT 2 % MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- SETTLEMENT OF THE FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE CONSIDERED TO BE A RESULT OF IMPROPER COMPACTION AND SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- ALL AC SAWCUT LINES SHALL BE STRAIGHT. ALL EDGES SHALL BE SEALED AND SANDED UPON COMPLETION.
- ALL SERVICE LATERALS SHALL EXTEND 5 FT. BEYOND THE PROPERTY LINE. THE END SHALL BE MARKED WITH A SINGLE 2X4 WHICH EXTEND 2 FT. ABOVE FINISH GRADE. THE EXPOSED PORTIONS OF THE 2X4 SHALL BE PAINTED WHITE. DEPTH OF LATERAL SHALL BE PAINTED ON THE 2X4.
- SANITARY LATERAL LOCATIONS SHALL BE STAMPED WITH AN "S" ON THE CURB FACE FOR FUTURE LOCATION.
- SEWER AND WATERLINE CROSSINGS MUST MEET THE REQUIREMENTS OF OAR 333-061-0050(9)
- PRIOR TO CONSTRUCTION, OBTAIN APPROVAL FOR THE SANITARY SEWER SYSTEM FROM THE OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ) AS PER OAR 340-052 AND SUBMIT A COPY OF THE APPROVAL TO THE CITY (ENGINEER TO APPLY FOR APPROVAL).

UTILITY NOTES:

- THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF SANDY PRIOR TO BEGINNING CONSTRUCTION.

NOTIFICATION:

GENERAL - THE CONTRACTOR SHALL, AS A MINIMUM, COORDINATE THE PROPOSED CONSTRUCTION ACTIVITIES WITH THE OWNER AND LOCAL PUBLIC AGENCIES, UTILITIES AND COMPANIES DURING CONSTRUCTION TO AVOID DAMAGE AND TO PREVENT THE INTERRUPTION OF SERVICES AND UTILITIES TO RESIDENTS AND BUSINESSES:

OREGON UTILITY NOTIFICATION CENTER
1-503-246-6699

CLACKAMAS COUNTY
(503) 353-4400

CITY OF SANDY ENGINEERING DEPT. (503) 688-5533
BUILDING DIVISION INSPECTIONS (503) 688-6941

PORTLAND GENERAL ELECTRIC
(503) 226-8111

VERIZON NORTHWEST (TELEPHONE)
1-800-483-4100

NORTHWEST NATURAL GAS
(503) 226-4211

CHARTER COMMUNICATIONS (CABLE TV)
1-866-731-5420

STREET AND STORM DRAINAGE NOTES:

- STREET AND STORM DRAIN IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF SANDY STANDARDS AND REQUIREMENTS.
- ALL TRENCH EXCAVATION SHALL CONFORM TO STANDARD STORM SEWER SPECIFICATIONS AND SHALL BE UNCLASSIFIED.
- PIPE BEDDING AND PIPE ZONE SHALL CONFORM TO THE EXCAVATION AND BACKFILL DETAILS, AND SHALL BE 3/4"-0" CRUSHED ROCK.
- THE CITY REQUIRES COMPACTION WITHIN THE RIGHT-OF-WAY TO BE 95 % OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180. CONTRACTOR TO DETERMINE TYPE OF EQUIPMENT AND METHOD USED TO ACHIEVE REQUIRED COMPACTION.
- TRENCH BACKFILL OUTSIDE OF RIGHTS OF WAY OR PAVED AREAS MAY BE EXCAVATED TRENCH MATERIAL. TRENCH BACKFILL IN PAVED AREAS SHALL BE AN APPROVED GRANULAR MATERIAL.
- MATERIAL IN SOFT SPOTS WITHIN THE ROADWAY SHALL BE REMOVED TO THE DEPTH REQUIRED TO PROVIDE A FIRM FOUNDATION AND SHALL BE REPLACED WITH 1-1/2"-0" CRUSHED ROCK. THE ENTIRE SUBGRADE SHALL BE THOROUGHLY COMPACTED TO 95 % AASHTO T-180.
- CONTRACTOR SHALL NOTIFY THE ENGINEER AND CITY OF SANDY WHEN SUBGRADE IS COMPLETE AND 24 HOURS PRIOR TO PLACEMENT OF ROCK BASE MATERIAL AND 24 HOURS PRIOR TO FINAL PAVING FOR AN INSPECTION OF THE WORK. FAILURE TO DO SO WILL MAKE ANY SUBGRADE FAILURE PROBLEMS THE RESPONSIBILITY OF THE CONTRACTOR. A PROOF ROLL WITH A FULLY LOADED 10-YARD DUMP TRUCK MAY BE REQUIRED TO CHECK SUBGRADE COMPACTION PRIOR TO PLACEMENT OF ROCK SUBBASE AND AGAIN AT THE COMPLETION OF THE PLACEMENT OF THE BASE ROCK PRIOR TO PAVING THE FIRST LIFT OF ASPHALT.
- ALL SAWCUT JOINTS SHALL BE STRAIGHT, TACKED AND SAND SEALED UPON PAVING.
- THE CITY REQUIRES A SUCCESSFUL MANDREL PULL ON ONE SECTION OF EACH DIAMETER OF STORM PIPE USED.
- ASPHALT COMPACTION SHALL BE PERFORMED USING NUCLEAR GAUGE. THE RICE DENSITY TESTS SHALL EET 91% FOR THE BASE LIFT AND 92% FOR THE TOP LIFT IN ACCORDANCE WITH ODOT TM305 OR AASHTO T-209. SUBMIT TESTING REPORTS TO THE CITY.
- STORM DRAIN LATERALS SHALL BE 4" 3034 PVC AND WHITE IN COLOR. PLACE 2X4 WOODEN PIPE MARKER AT END OF EACH LATERAL.

GRADING NOTES:

- FILLS SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY IN THE BUILDING ENVELOPE AND 92 PERCENT OF MAXIMUM DENSITY ON THE REMAINDER OF THE LOT AS DETERMINED BY ASTM TEST SD 1557-91, METHOD A, OR AN EQUIVALENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THE NECESSARY ARRANGEMENTS FOR SUCH TESTING AND FOR SUPPLYING THE RESULTS TO THE CITY OF SANDY.
- ALL CUTS SHALL BE MADE CONSISTENT WITH THE DETAILS NOTED IN THE PLANS. NO CUT SHALL EXCEED A GRADE OF 2 HORIZONTAL TO 1 VERTICAL UNLESS APPROVED BEFOREHAND BY THE ENGINEER AND THE CITY OF SANDY.
- APPROPRIATE BENCHING OF FILLS IS REQUIRED FOR FILLS OVER 5 FEET IN HEIGHT ON SLOPES IN EXCESS OF 5 HORIZONTAL TO 1 VERTICAL. BENCHING MUST BE DONE AS PER THE APPROVED PLANS. THE CITY OF SANDY SHALL INSPECT BENCHES PRIOR TO FILL PLACEMENT.
- CUT AND FILL SLOPES SHALL BE PROTECTED FROM EROSION. SUCH CONTROL MAY CONSIST OF APPROPRIATE REVEGETATION OR OTHER ACCEPTABLE MEANS AND METHODS. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO EARTHWORK OR SITE STRIPPING.
- THE CONTRACTOR SHALL COORDINATE WITH CITY PERSONNEL BY CALLING (503) 688-6941 OR (503) 688-5533 ANYTIME FOR REQUIRED INSPECTIONS AT THE FOLLOWING STAGES OF CONSTRUCTION:

PROJECT LOCATION



VICINITY MAP
APPROX SCALE: 1" = 600'

SHEET INDEX

- COVER SHEET AND NOTES
- EXISTING CONDITIONS
- SITE PLAN WEST
- SITE PLAN NW CORNER
- SITE PLAN EAST
- GRADING PLAN WEST
- GRADING PLAN EAST
- SPOT GRADING PLAN NE
- SPOT GRADING PLAN SE
- SPOT GRADING PLAN WEST
- UTILITY PLAN NORTH EAST
- UTILITY PLAN SOUTH EAST
- UTILITY PLAN WEST
- PRIVATE ROAD
- PRIVATE ROAD PROFILE
- CHAMPION WAY
- INDUSTRIAL WAY
- PROFILES
- CONCRETE GRADING DETAIL
- DETAILS
- DETAILS
- DETAILS



PRELIMINARY

EXPIRES: 06/30/19
SIGNATURE DATE: _____

COVER SHEET AND NOTES
SANDY SELF STORAGE
SANDY, OREGON

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23

E16-055 COVER SHEETS.dwg 16:38 06/05/2019

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SCALE: AS SHOWN	DATE: JUN 2018	
PROJECT NO. E16-055		
DATE:	NO.	REVISION

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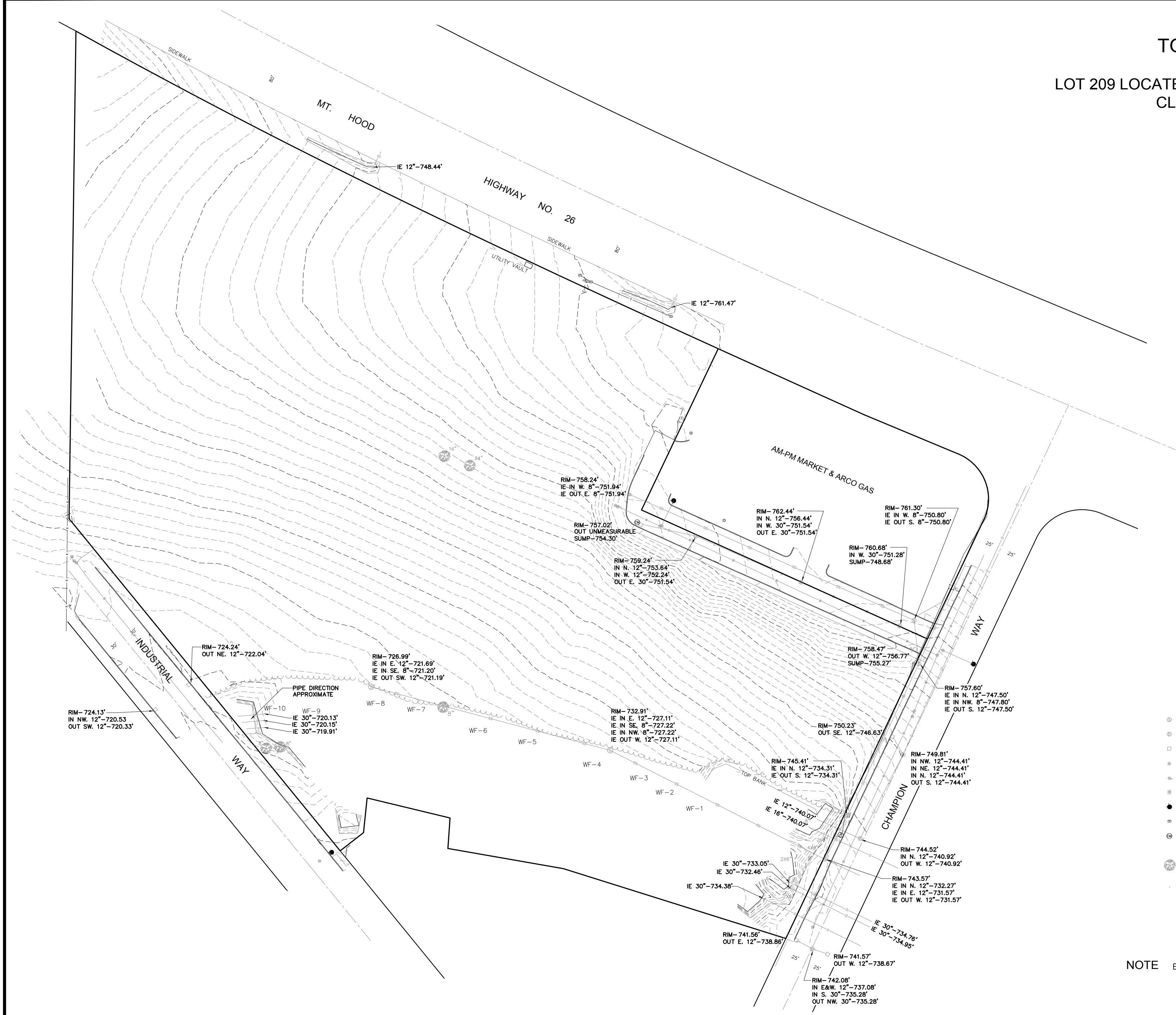
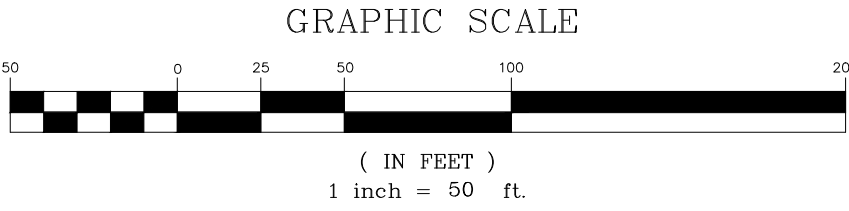
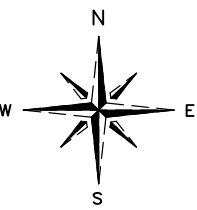
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MARK BENSON
SANDY, OREGON

TOPOGRAPHIC SURVEY

LOT 209 LOCATED IN THE SE 1/4 , SECTION 15A, T-2S, R-4E
CLACKAMAS COUNTY, OREGON

SCALE 1" = 50'



LEGEND

- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN
- WATER VALVE
- IRRIGATION VALVE
- WATER METER
- FIRE HYDRANT
- COMMUNICATION RISER
- COMMUNICATION VAULT
- SIGN
- EVERGREEN TREE
- DECIDUOUS TREE
- UTILITY POLE
- GUY ANCHOR
- LIGHT POLE
- WF-1 WETLAND FLAG
- SEWER LINE
- STORM LINE
- WATERLINE
- UNDER GROUND COMMUNICATION
- EDGE OF VEGETATION LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL

NOTE ELEVATIONS SHOWN ARE FROM CITY OF SANDY BENCHMARK NO. 14, ELV-820.61'



PRELIMINARY

EXISTING CONDITIONS
SANDY SELF STORAGE
SANDY, OREGON

EXPIRES: 06/30/19
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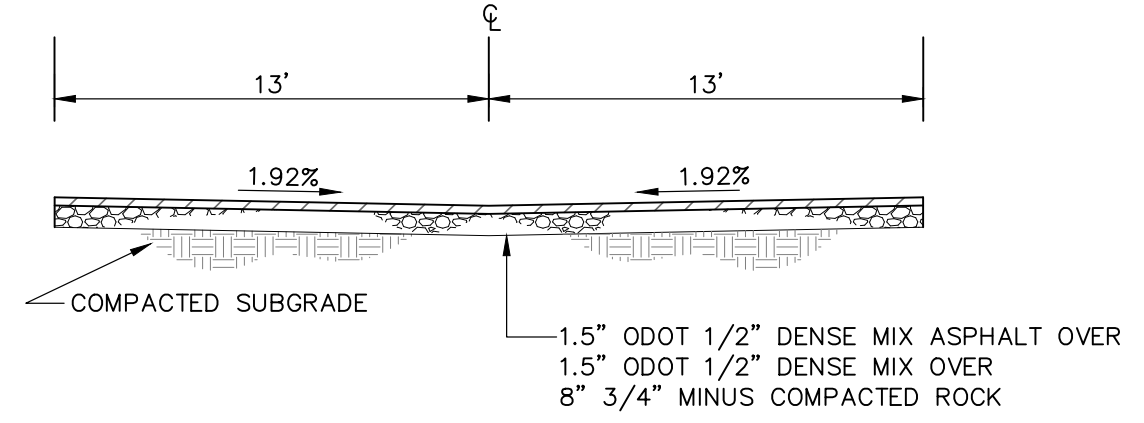
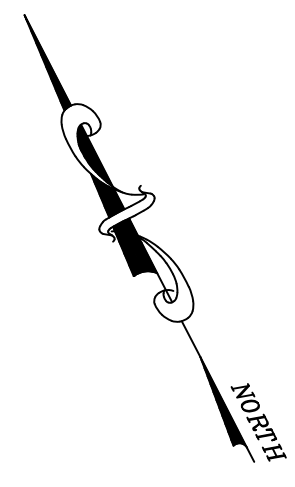
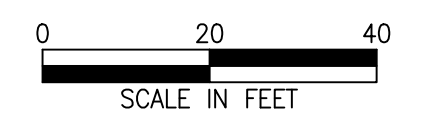
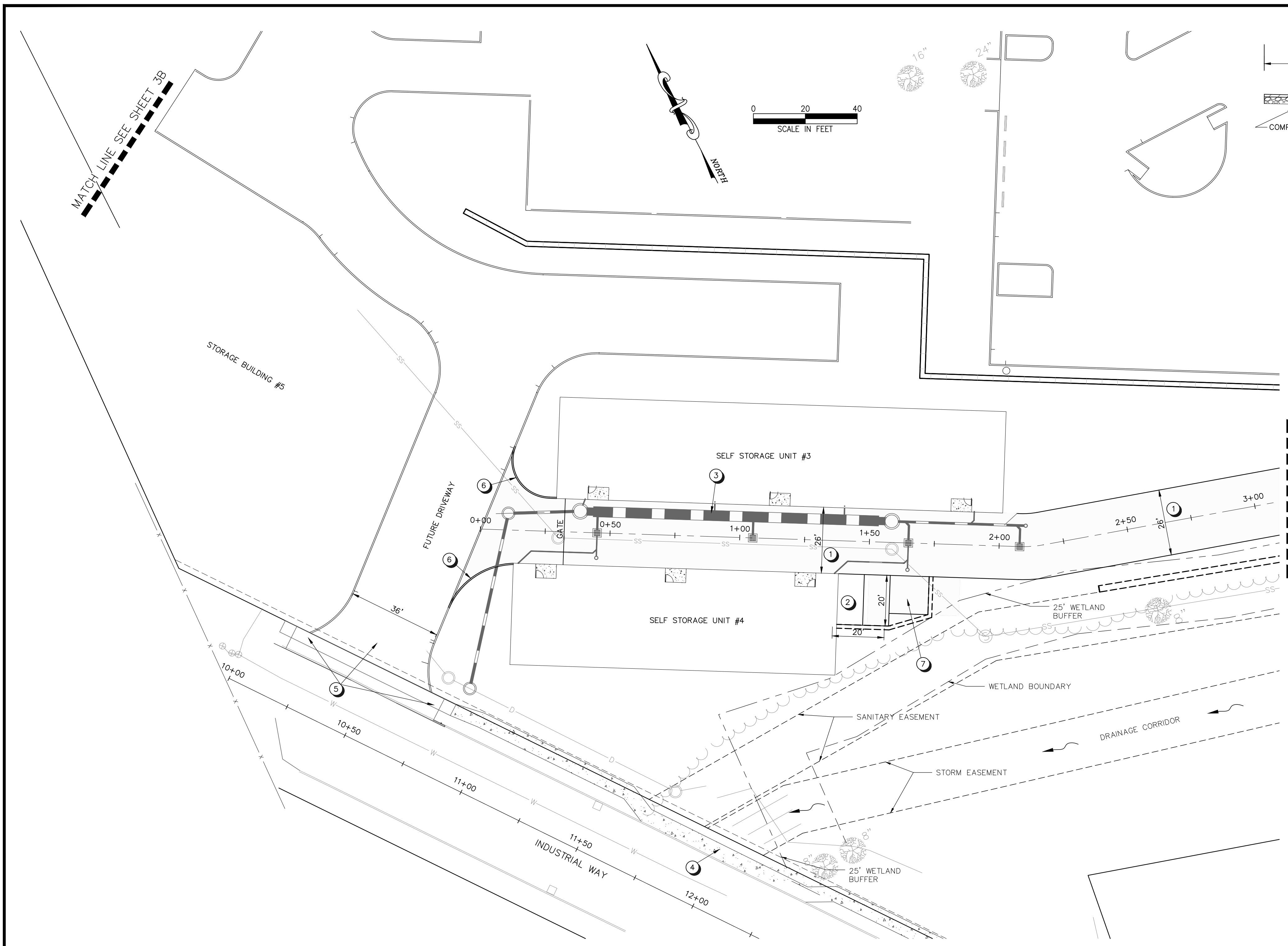
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TYPICAL ASPHALT SECTION
SCALE: NTS

KEY NOTES

- ① 26' WIDE ASPHALT DRIVELANE, SEE CROSS TYPICAL ASPHALT SECTION THIS SHEET
- ② ASPHALT PARKING STALLS (2 TOTAL)
- ③ STORM DETENTION SYSTEM, SEE SHEET 13
- ④ 5' LANDSCAPE STRIP AND 6' WIDE SIDEWALK AT BACK OF EXIST CURB ALONG PROPERTY FRONTAGE AT INDUSTRIAL WAY. SEE SHEET 17 FOR SIDEWALK PLAN
- ⑤ 36' WIDE DRIVEWAY ENTRANCE BY OTHERS
- ⑥ STANDARD 6" EXPOSURE CURB AROUND RETURN, CONNECT INTO EXIST CURB, SAWCUT AND REMOVE EXIST CURB AS NECESSARY
- ⑦ WASTE CONTAINER STORAGE AREA

LEGEND

- WETLAND BOUNDARY BY ESA, LLC
- WETLAND BUFFER
- CENTERLINE
- EDGE OF PAVEMENT
- RETAINING WALL
- EASEMENT
- VEGETATION LINE



PRELIMINARY
SITE PLAN WEST
SANDY SELF STORAGE
SANDY, OREGON

EXPIRES: 06/30/19
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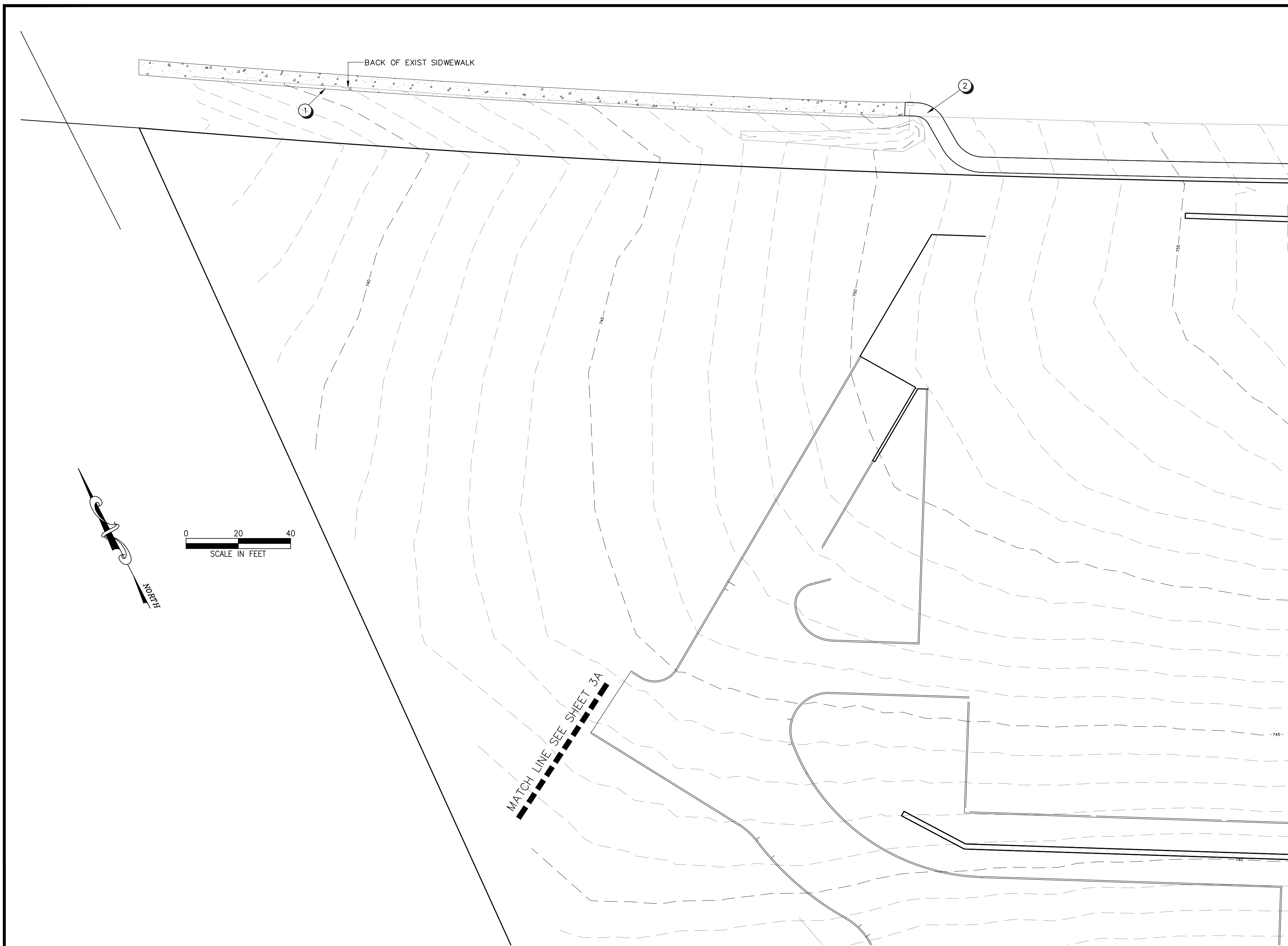
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E16-055 SITE PLAN WEST.dwg 16:42 06/05/2019

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KEY NOTES

- ① REMOVE EXIST 5' SIDEWALK AND PROVIDE 6' WIDE SIDEWALK TO MATCH THE TRACTOR SUPPLY SIDEWALK ALIGNMENT, ALONG PROPERTY FRONTAGE, SEE CITY OF SANDY STANDARD SIDEWALK DETAIL ON SHEET 16. CONTRACTOR TO SECURE ODOT PERMIT TO WORK IN THE RIGHT OF WAY
- ② PROPOSED TRACTOR SUPPLY SIDEWALK ALIGNMENT (BY OTHERS)

LEGEND

- WETLAND BOUNDARY BY ESA, LLC
- WETLAND BUFFER
- CENTERLINE
- EDGE OF PAVEMENT
- RETAINING WALL
- EASEMENT



PRELIMINARY
 SITE PLAN NW CORNER
 SANDY SELF STORAGE
 SANDY, OREGON

EXPIRES: 06/30/19
 SIGNATURE DATE: _____

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23

E16-055 SITE PLAN NW CORNER.dwg 16:41 06/05/2019

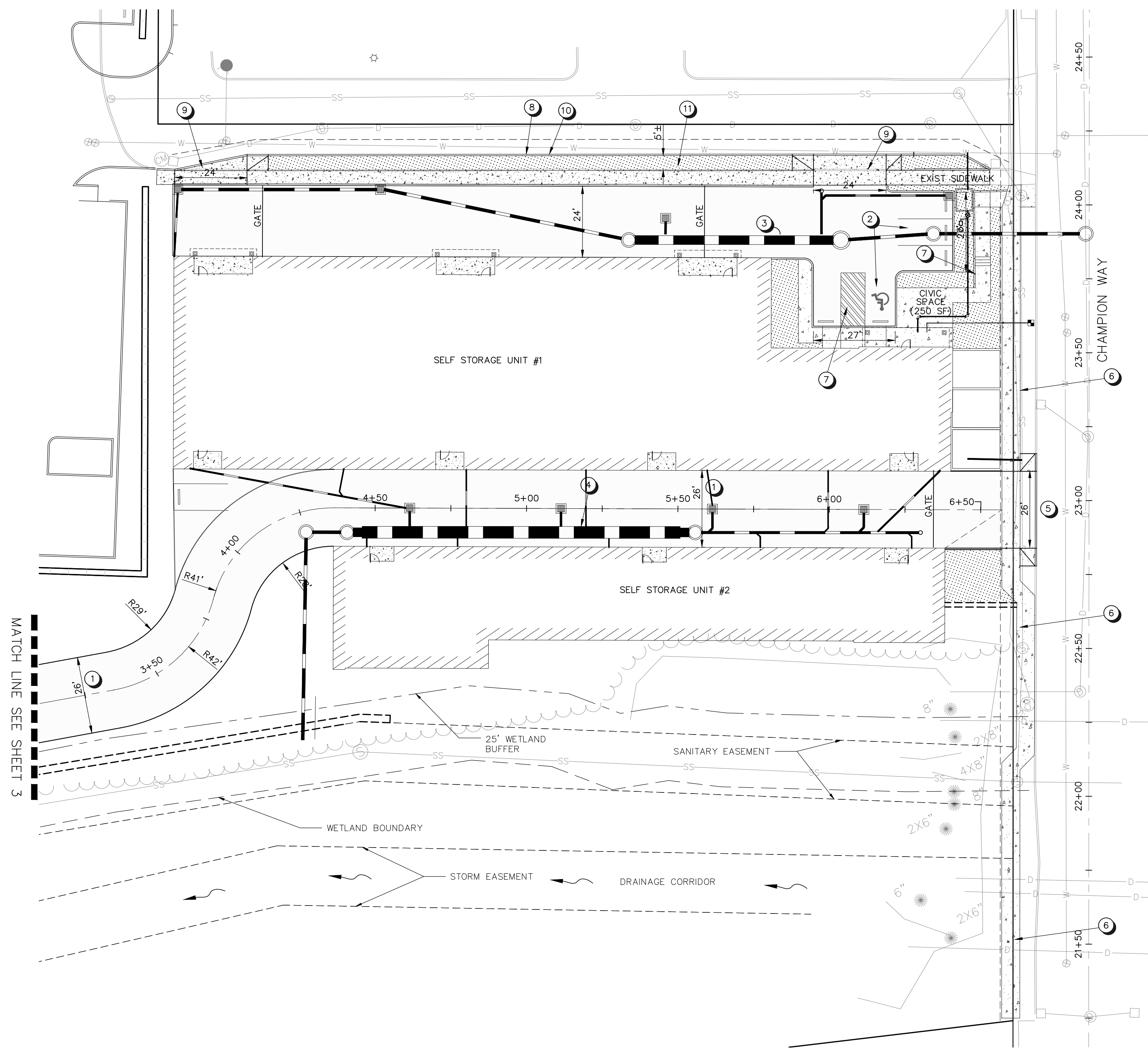
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PROJECT NO. E16-055		

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- KEY NOTES**
- ① 26' WIDE ASPHALT DRIVEWAY, SEE CROSS TYPICAL ASPHALT SECTION ON SHEET 3
 - ② ASPHALT PARKING STALLS (5 TOTAL)
 - ③ STORM DETENTION SYSTEM, SEE SHEET 11
 - ④ STORM DETENTION SYSTEM, SEE SHEET 12
 - ⑤ 26' WIDE DRIVEWAY CUT
 - ⑥ 5' LANDSCAPE STRIP AND 6' WIDE SIDEWALK AT BACK OF EXIST CURB ALONG PROPERTY FRONTAGE AT CHAMPION WAY, SEE SHEET 16 FOR CHAMPION WAY SIDEWALK
 - ⑦ ADA PARKING, SEE DETAILS ON SHEET 23
 - ⑧ REMOVE PORTION OF EXIST CURB AND SIDEWALK AS NECESSARY FOR NEW CURB AND SIDEWALK CONSTRUCTION
 - ⑨ SAWCUT AND REMOVE EXIST CURB AND SIDEWALK AS NEEDED FOR DRIVEWAY CUT
 - ⑩ 271 LF NEW FACE OF CURB 5' FROM EXIST FACE OF CURB
 - ⑪ 5' PLANTER STRIP, SEE LANDSCAPE PLANS

- LEGEND**
- WETLAND BOUNDARY BY ESA, LLC
 - - - WETLAND BUFFER
 - CENTERLINE
 - EDGE OF PAVEMENT
 - [- - -] RETAINING WALL
 - - - EASEMENT
 - ~ VEGETATION LINE



PRELIMINARY

EXPIRES: 06/30/19
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**SITE PLAN EAST
SANDY SELF STORAGE
SANDY, OREGON**

**5
23**

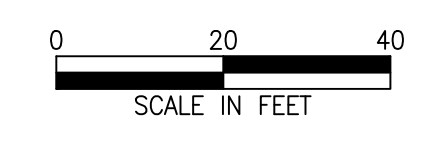
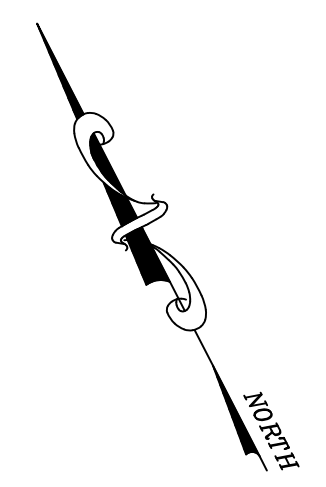
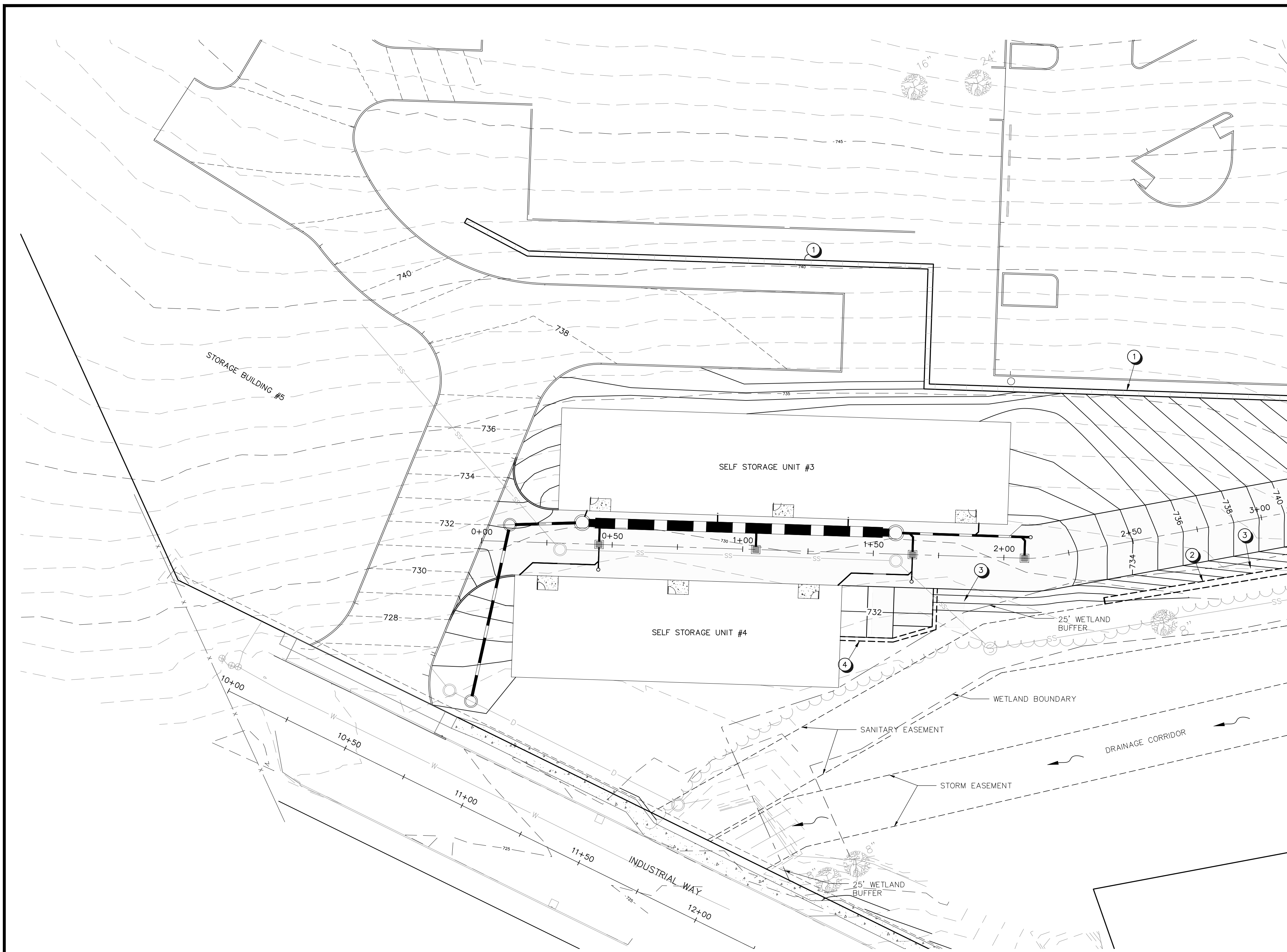
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SANDY, OREGON**



KEY NOTES

- ① PROPOSED RETAINING WALL BY OTHERS
- ② ULTRA BLOCK RETAINING WALL, SEE SOUTH RETAINING WALL PROFILE ON SHEET 1B, CONTRACTOR TO PROVIDE DESIGN BY OTHERS
- ③ MAXIMUM FILL SLOPE FROM EDGE OF ASPHALT ROADWAY IS 3:1 (TYPICAL)
- ④ KEYSTONE RETAINING WALL AROUND PARKING AND TRASH ENCLOSURE AREA, CONTRACTOR TO PROVIDE DESIGN BY OTHERS

ESTIMATED INPLACE (UNADJUSTED) QUANTITIES:
 CUT 140 CY
 FILL 6,550 CY
 NOTE: ESTIMATE DOES NOT INCLUED AREA UNDER BUILDINGS

MATCH LINE SEE SHEET 6

LEGEND

- WETLAND BOUNDARY BY ESA, LLC
- WETLAND BUFFER
- CENTERLINE
- EDGE OF PAVEMENT
- RETAINING WALL
- EASEMENT
- VEGETATION LINE
- AREA DRAIN INLET PROTECTION



PRELIMINARY
 GRADING PLAN WEST
 SANDY SELF STORAGE
 SANDY, OREGON

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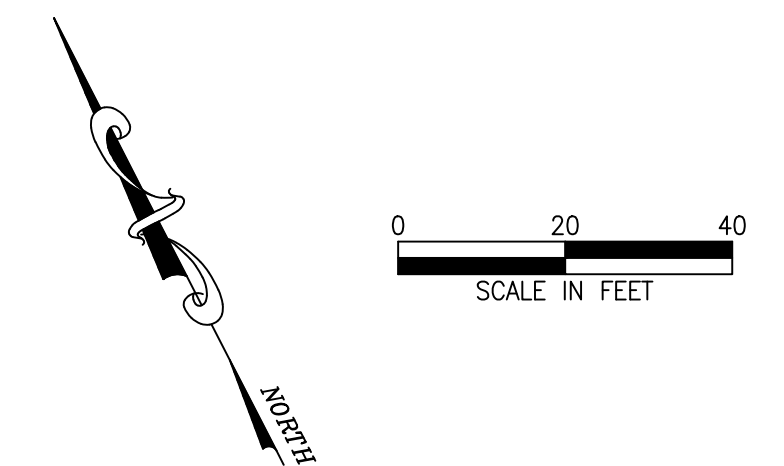
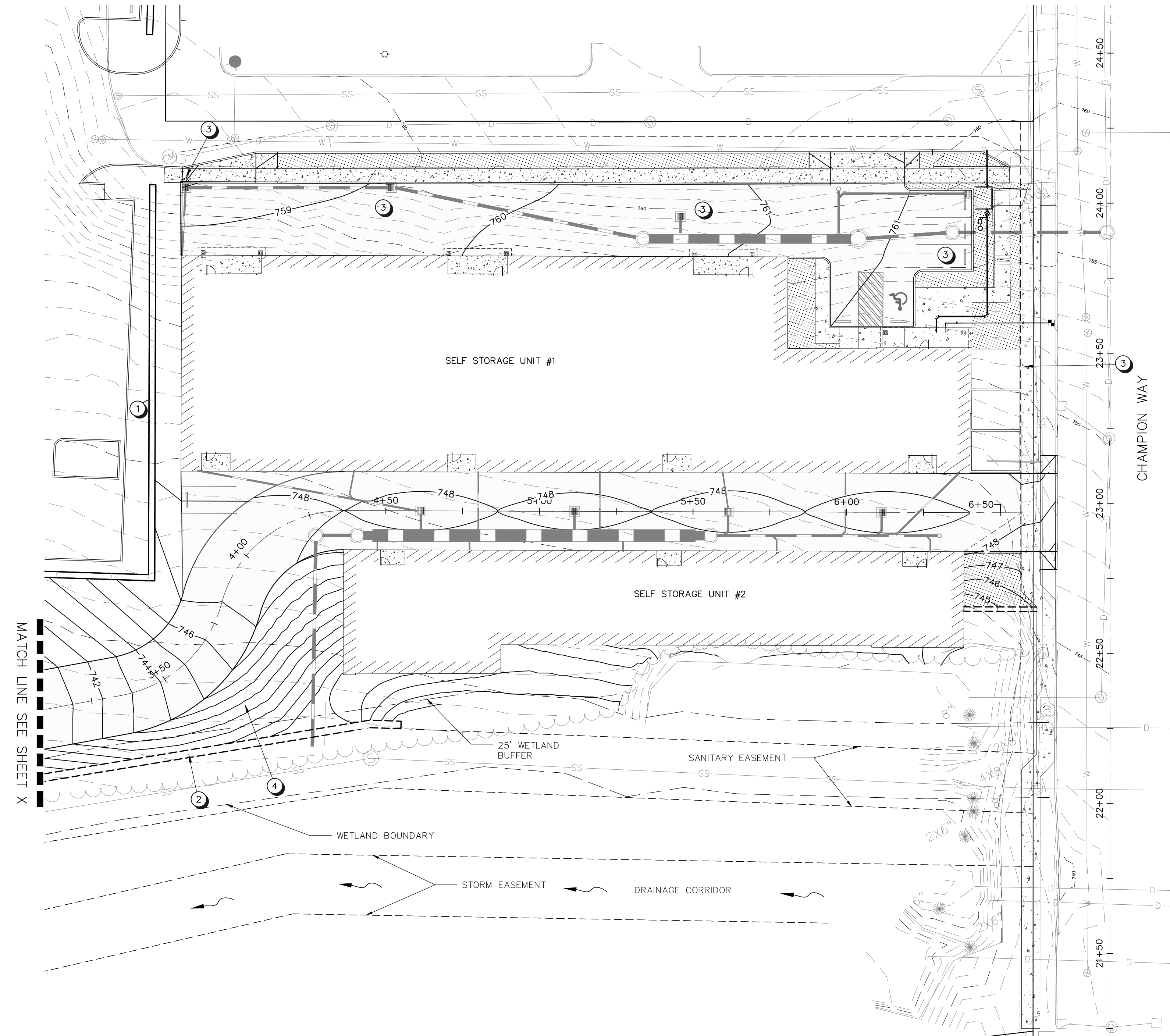
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E16-055 GRADING PLAN WEST.dwg 16:40 06/05/2019

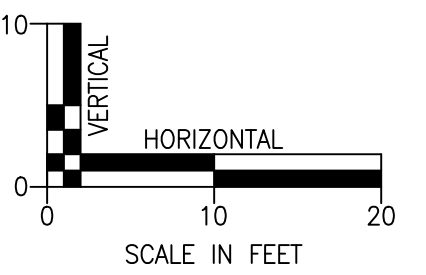
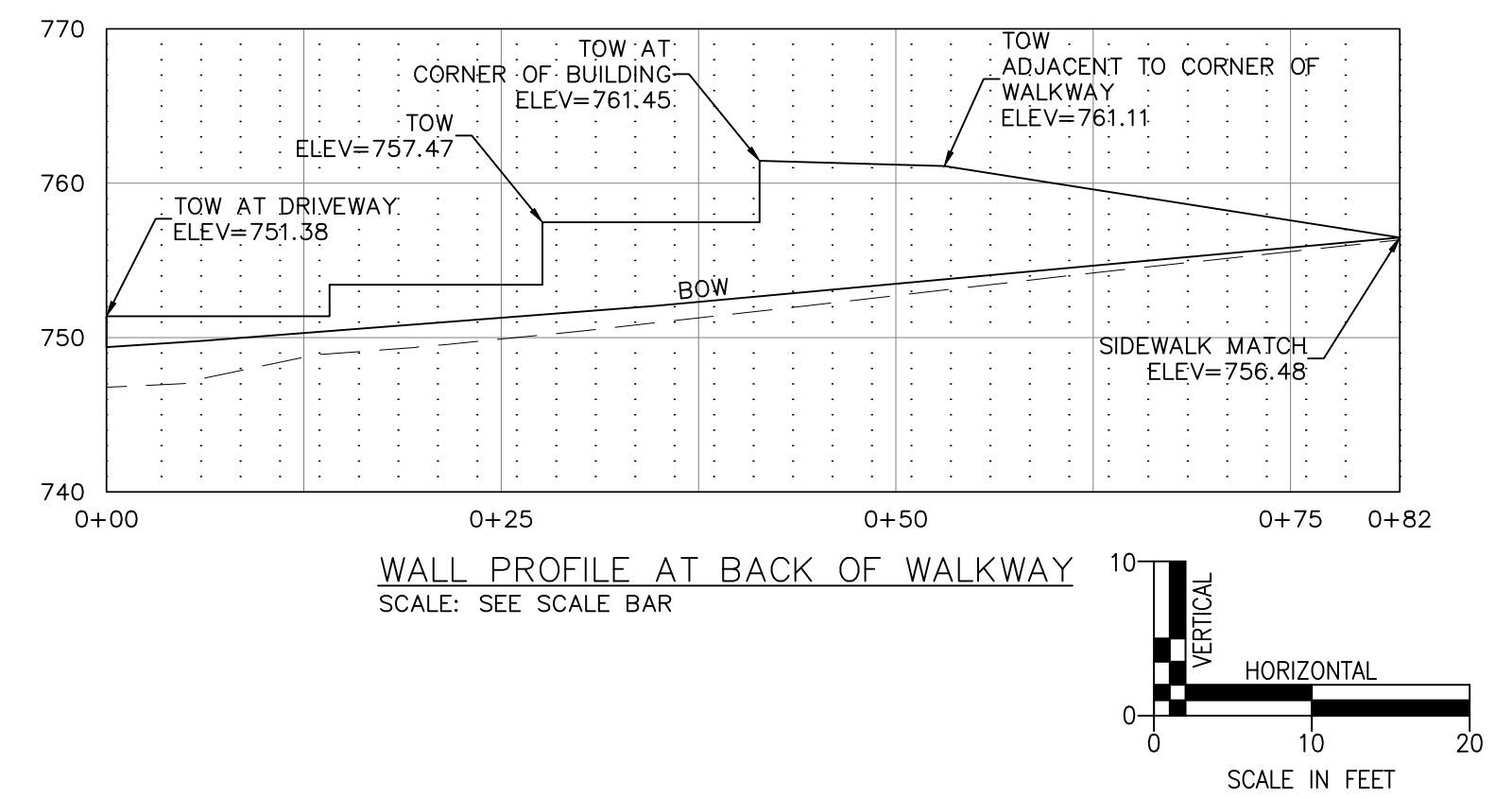
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- KEY NOTES**
- ① PROPOSED RETAINING WALL BY OTHERS
 - ② ULTRA BLOCK RETAINING WALL, SEE WALL PROFILE ON SHEET 18
 - ③ TIERED RETAINING WALL AT BACK OF SIDEWALK, SEE PROFILE THIS SHEET
 - ④ MAXIMUM FILL SLOPE FROM EDGE OF ASPHALT ROADWAY IS 3:1 (TYPICAL)
 - ⑤ DESIGNATED PARKING AREA



E16-055 GRADING PLAN EAST.dwg 16:40 06/05/2019

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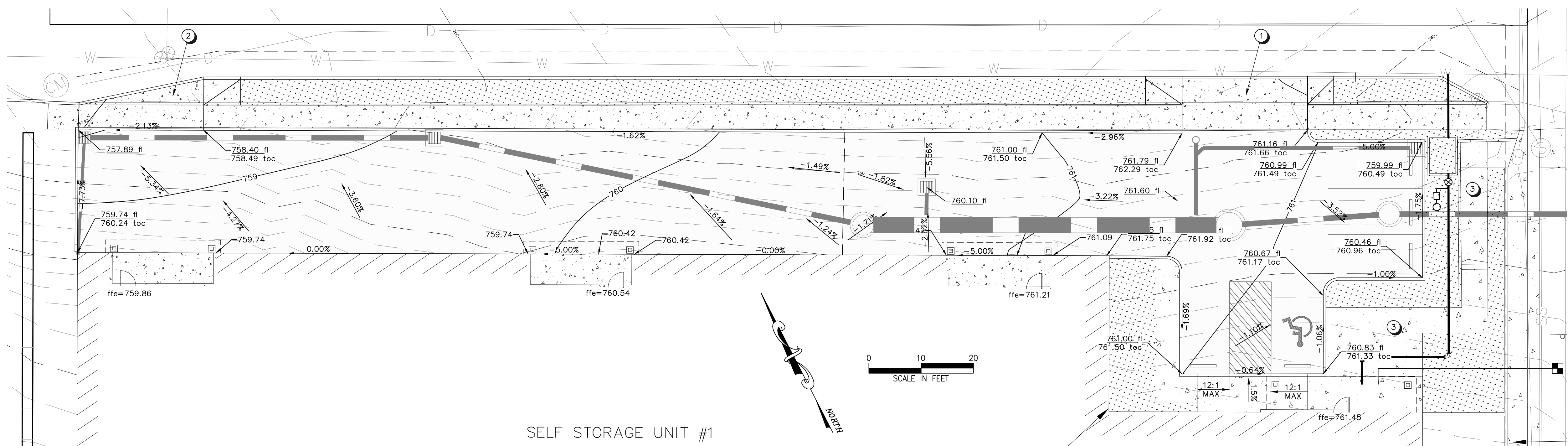
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PRELIMINARY
GRADING PLAN EAST
SANDY SELF STORAGE
SANDY, OREGON

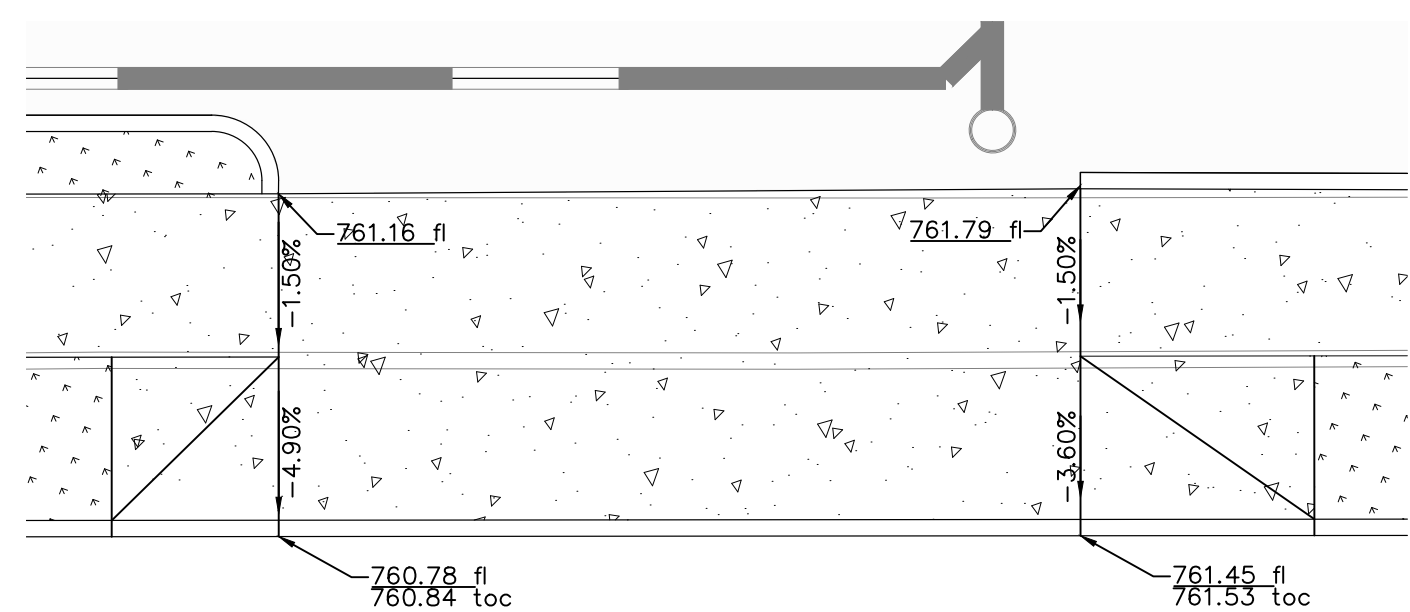


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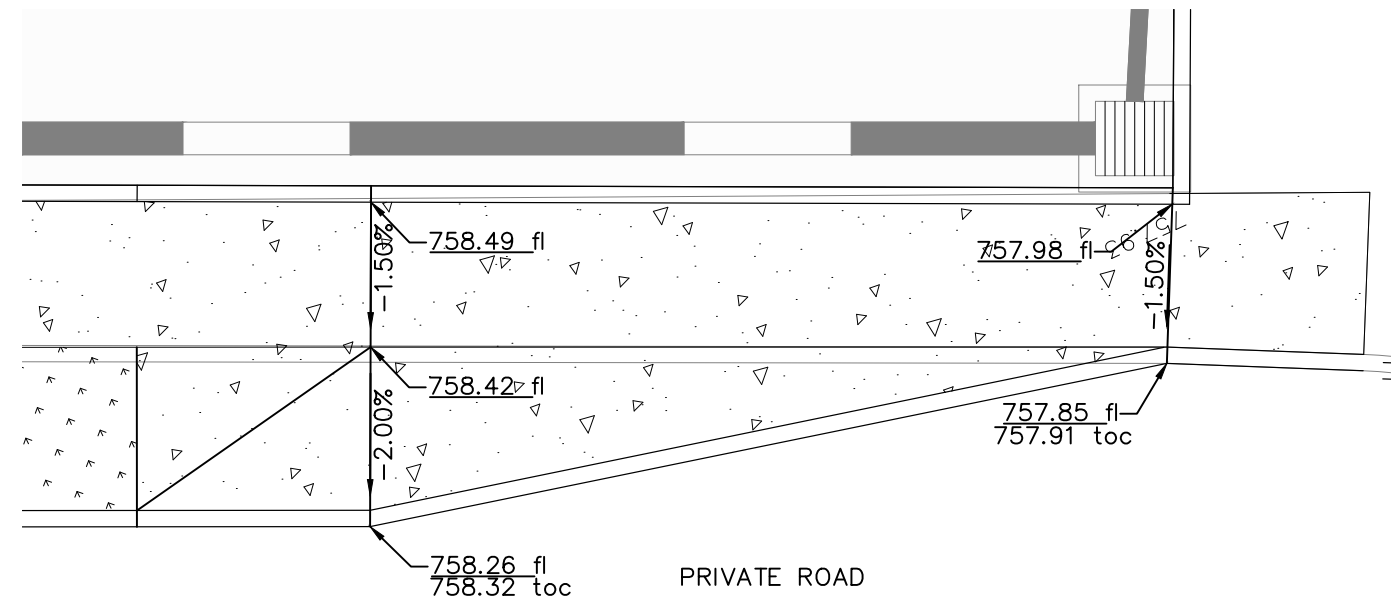


SELF STORAGE UNIT #1



DRIVEWAY GRADING DETAIL NE

SCALE: SEE SCALE BAR
0 5 10
SCALE IN FEET



DRIVEWAY GRADING DETAIL NW

SCALE: SEE SCALE BAR
0 5 10
SCALE IN FEET

- KEY NOTES**
- ① SEE DRIVEWAY GRADING DETAIL NE THIS SHEET
 - ② SEE DRIVEWAY GRADING DETAIL NW THIS SHEET
 - ③ SEE CONCRETE GRADING DETAIL SHEET 19



PRELIMINARY

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SIGNATURE DATE:

SPOT GRADING PLAN NE
SANDY SELF STORAGE
SANDY, OREGON

8

23

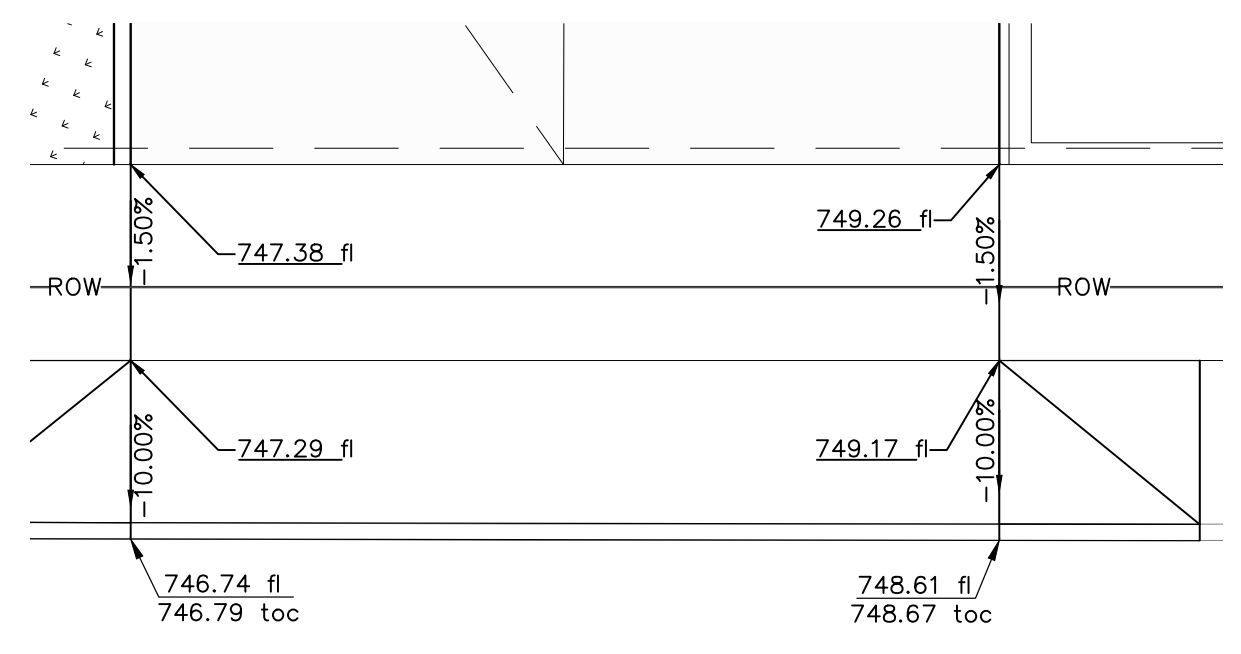
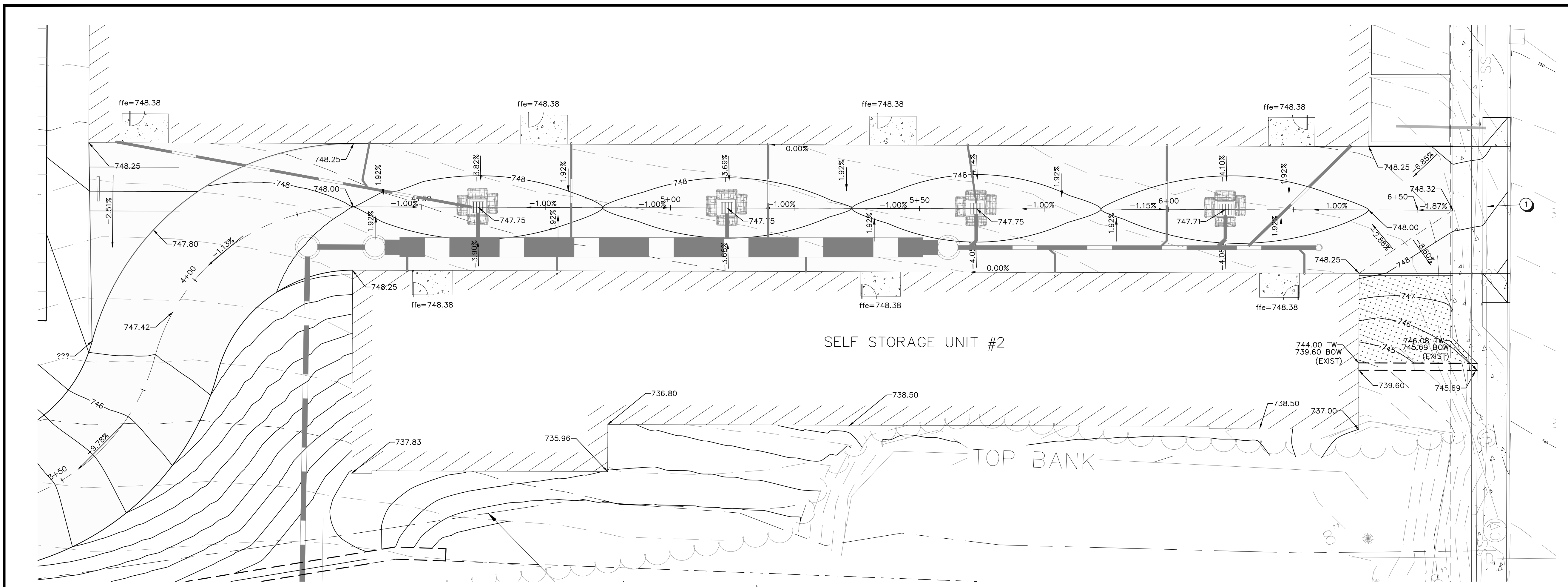
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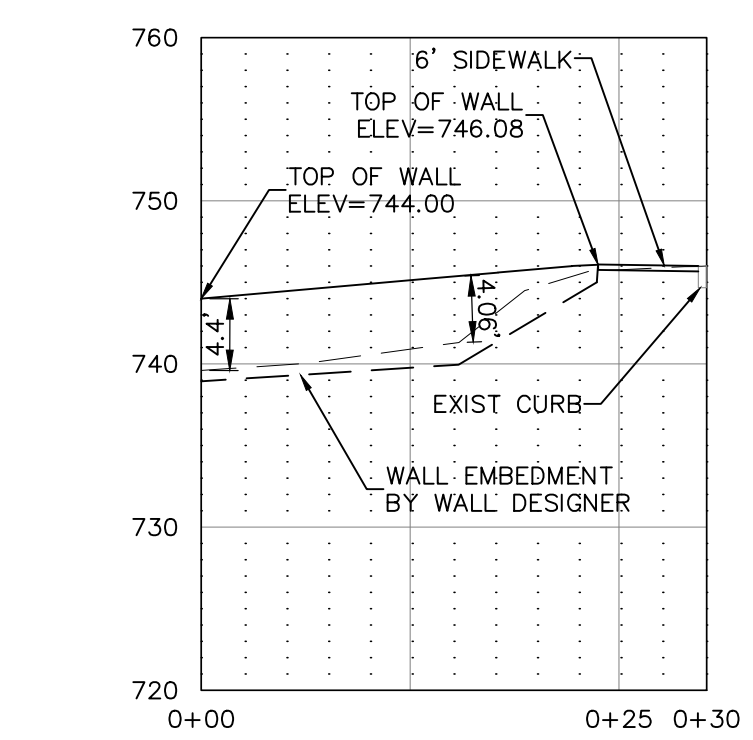
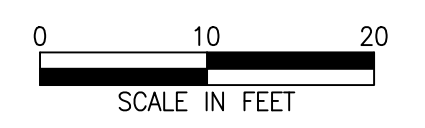
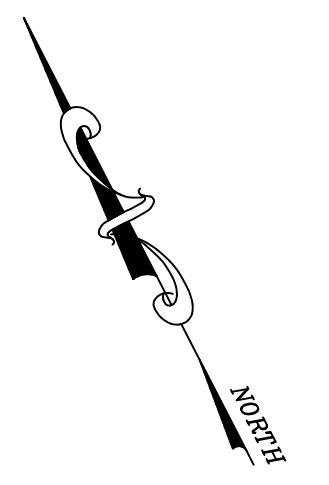
MARK BENSON
SANDY, OREGON



**CHAMPION WAY
DRIVEWAY GRADING DETAIL EAST**
SCALE: SEE SCALE BAR

NORTH

- LEGEND**
- WETLAND BOUNDARY BY ESA, LLC
 - WETLAND BUFFER
 - CENTERLINE
 - EDGE OF PAVEMENT
 - [---] RETAINING WALL
 - EASEMENT
 - ~ VEGETATION LINE



EAST RETAINING WALL PROFILE
SCALE: SEE SCALE BAR
VERTICAL SCALE IN FEET
HORIZONTAL SCALE IN FEET

- KEY NOTES**
- ① SEE DRIVEWAY GRADING DETAIL EAST THIS SHEET
 - ② KEYSTONE RETAINING WALL, SEE PROFILE THIS SHEET



PRELIMINARY
SPOT GRADING PLAN SE
SANDY SELF STORAGE
SANDY, OREGON

EXPIRES: 06/30/19
SIGNATURE DATE:

E16-055 SPOT GRADING PLAN SE.dwg 16:42 06/05/2019

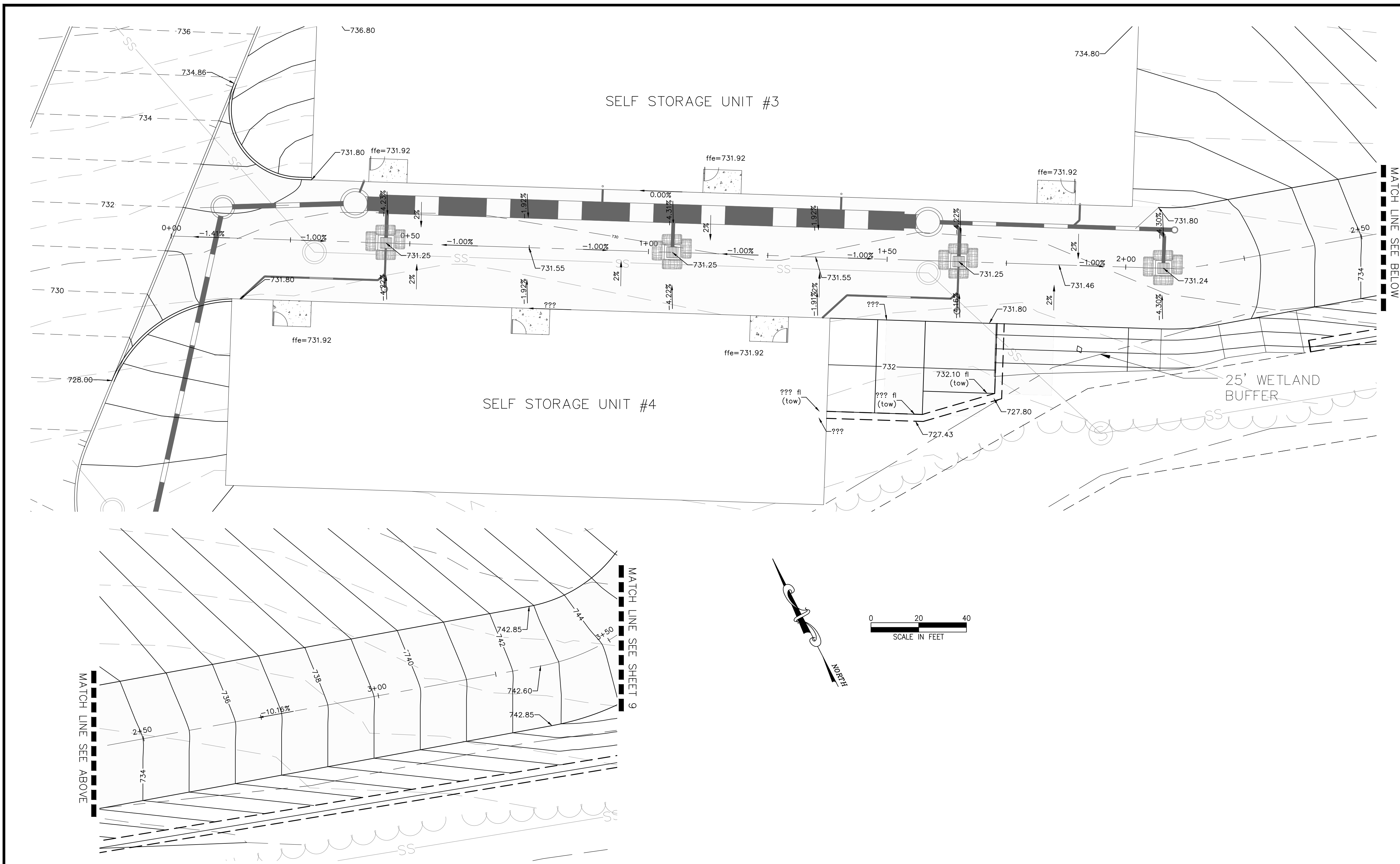
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			SCALE: AS SHOWN	DATE: JUN 2018	
			PROJECT NO. E16-055		

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9
23



MATCH LINE SEE BELOW

MATCH LINE SEE SHEET 9

MATCH LINE SEE ABOVE



PRELIMINARY

EXPIRES: 06/30/19
SIGNATURE DATE: _____

**SPOT GRADING PLAN WEST
SANDY SELF STORAGE
SANDY, OREGON**

**10
23**

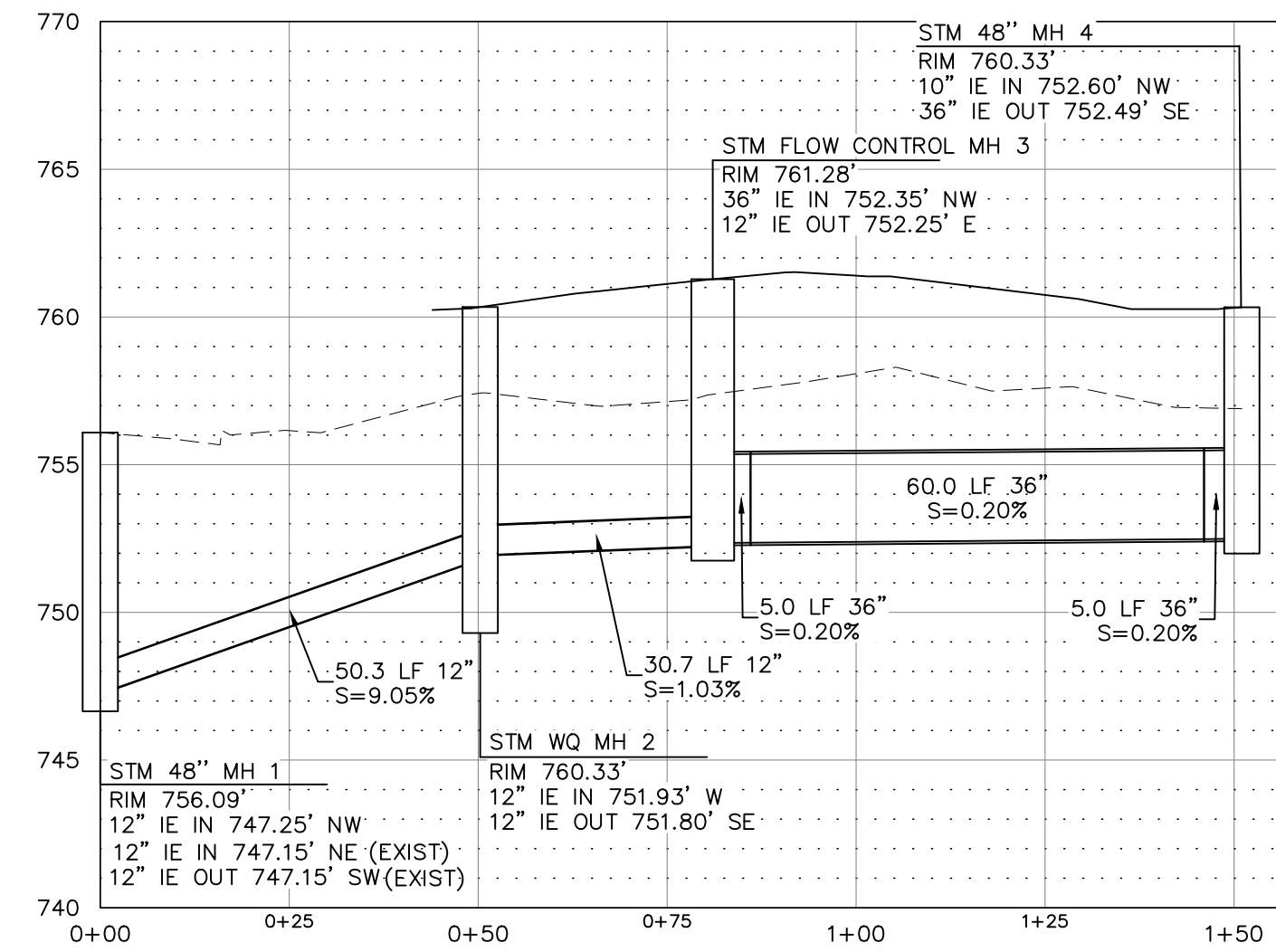
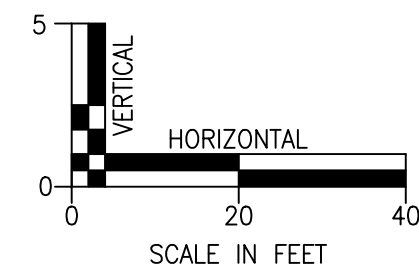
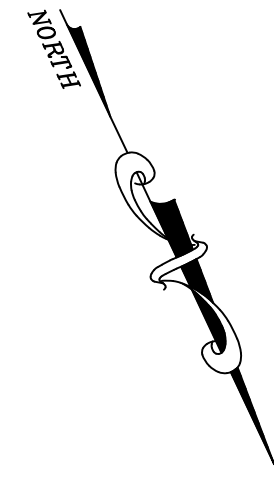
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DRAWN:	DESIGNED:	CHECKED:
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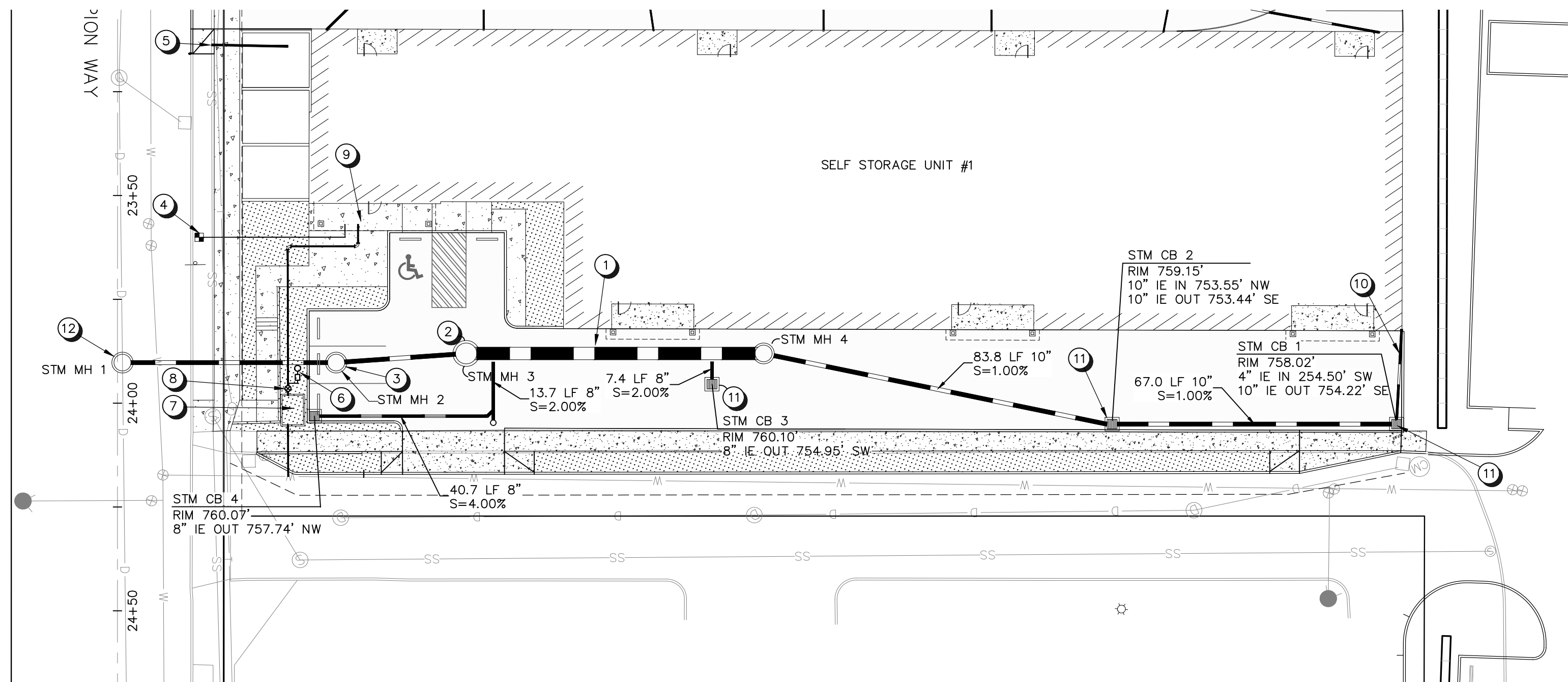
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SANDY, OREGON**



STORMWATER DETENTION PROFILE
SCALE: SEE SCALE BAR

- KEY NOTES**
- ① ONSITE DETENTION, SEE PROFILE THIS SHEET
 - ② FLOW CONTROL MANHOLE SEE PROFILE THIS SHEET
 - ③ WATER QUALITY MANHOLE, SEE PROFILE THIS SHEET
 - ④ INSTALL NEW WATER SERVICE PER CITY OF SANDYS STANDARDS
 - ⑤ INSTALL 6" SEWER LATERAL
 - ⑥ FDC WITH 4" CHECK VALVE IN VAULT
 - ⑦ 4-INCH DOUBLE DETECTOR CHECK VALVE BACKFLOW ASSEMBLY AND VAULT
 - ⑧ PIV
 - ⑨ SEE PLUMBING PLAN FOR CONTINUATION OF WATERLINES
 - ⑩ 4" PVC RAIN DRAIN LINE, S=0.010 MIN
 - ⑪ INSTALL LYNCH STYLE CATCH BASIN, SEE DETAIL SHEET 22
 - ⑫ CONSTRUCT NEW 48" MANHOLE OVER EXIST STORM PIPE



PRELIMINARY

EXPIRES: 06/30/19
SIGNATURE DATE: _____

UTILITY PLAN NORTH EAST
SANDY SELF STORAGE
SANDY, OREGON

11
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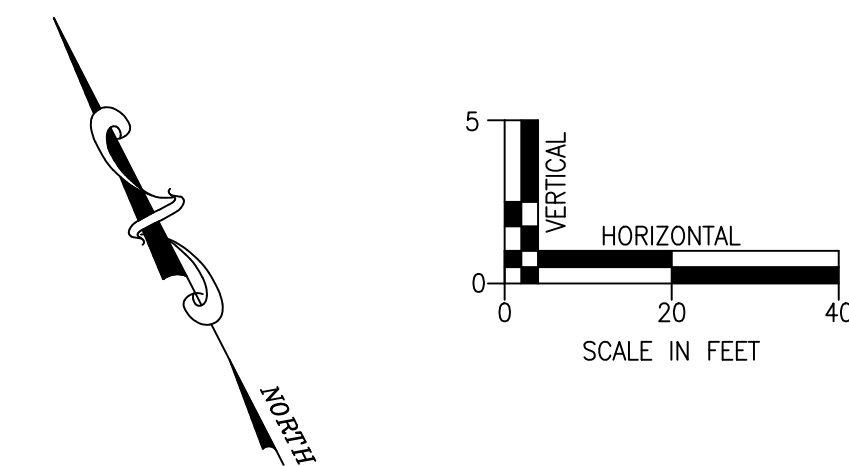
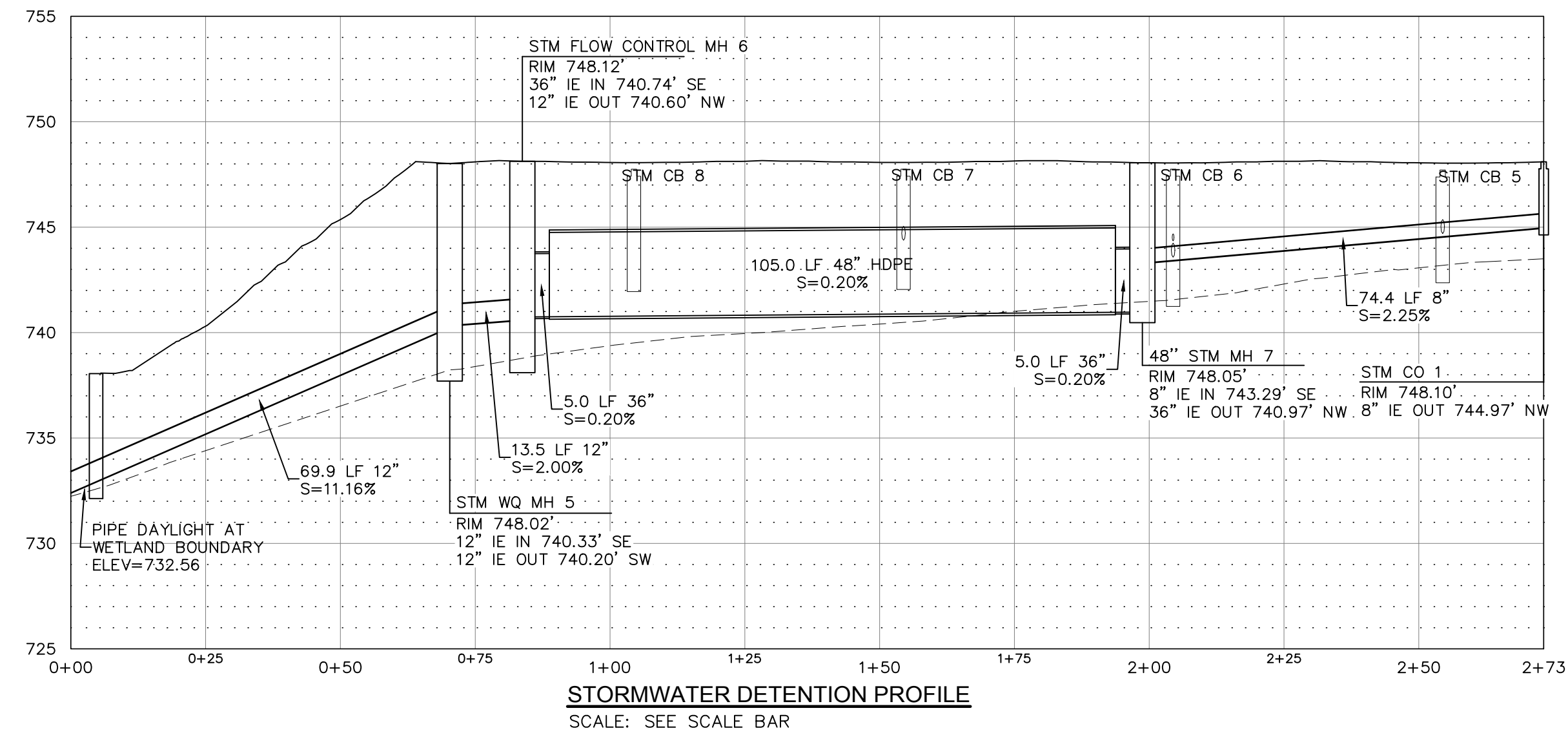
E16-055 UTILITY PLAN NORTH EAST.dwg 16:43 06/05/2019

DRAWN:	DESIGNED:	CHECKED:
SCALE: AS SHOWN	DATE: JUN 2018	
PROJECT NO. E16-055		
DATE:	NO.	REVISION

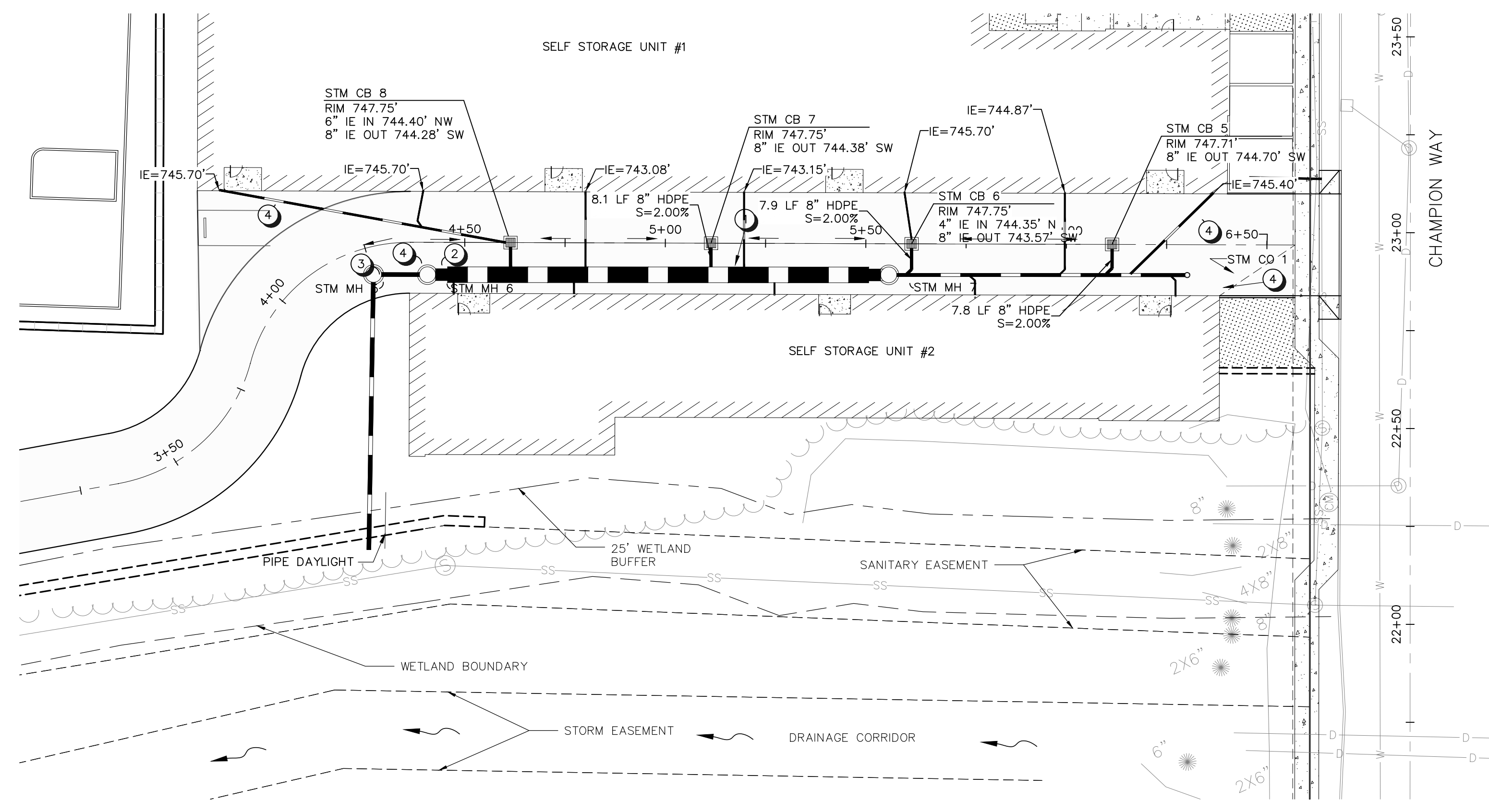
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SANDY, OREGON



- KEY NOTES**
- ① ONSITE DETENTION, SEE PROFILE THIS SHEET
 - ② FLOW CONTROL MANHOLE SEE PROFILE THIS SHEET, SEE DETAIL ON SHEET 20
 - ③ WATER QUALITY MANHOLE, SEE PROFILE THIS SHEET, SEE DETAIL ON SHEET 21
 - ④ 4" PVC RAIN DRAIN LINE, S=0.010 MIN



PRELIMINARY
UTILITY PLAN EAST
SANDY SELF STORAGE
SANDY, OREGON

12
23

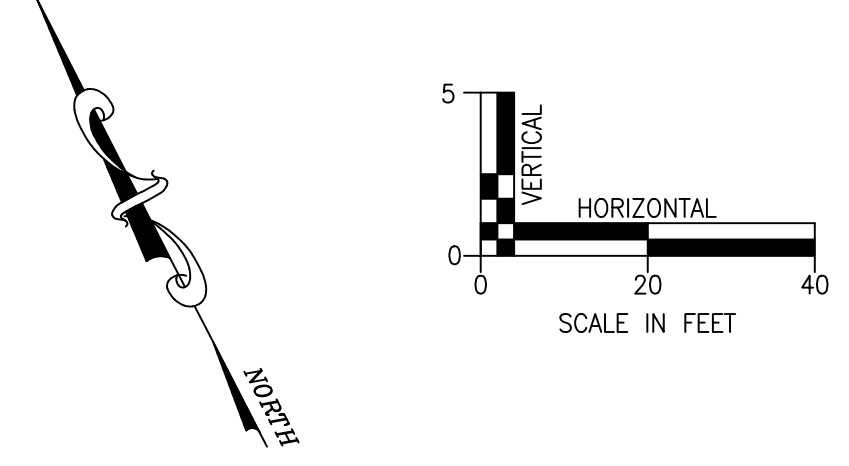
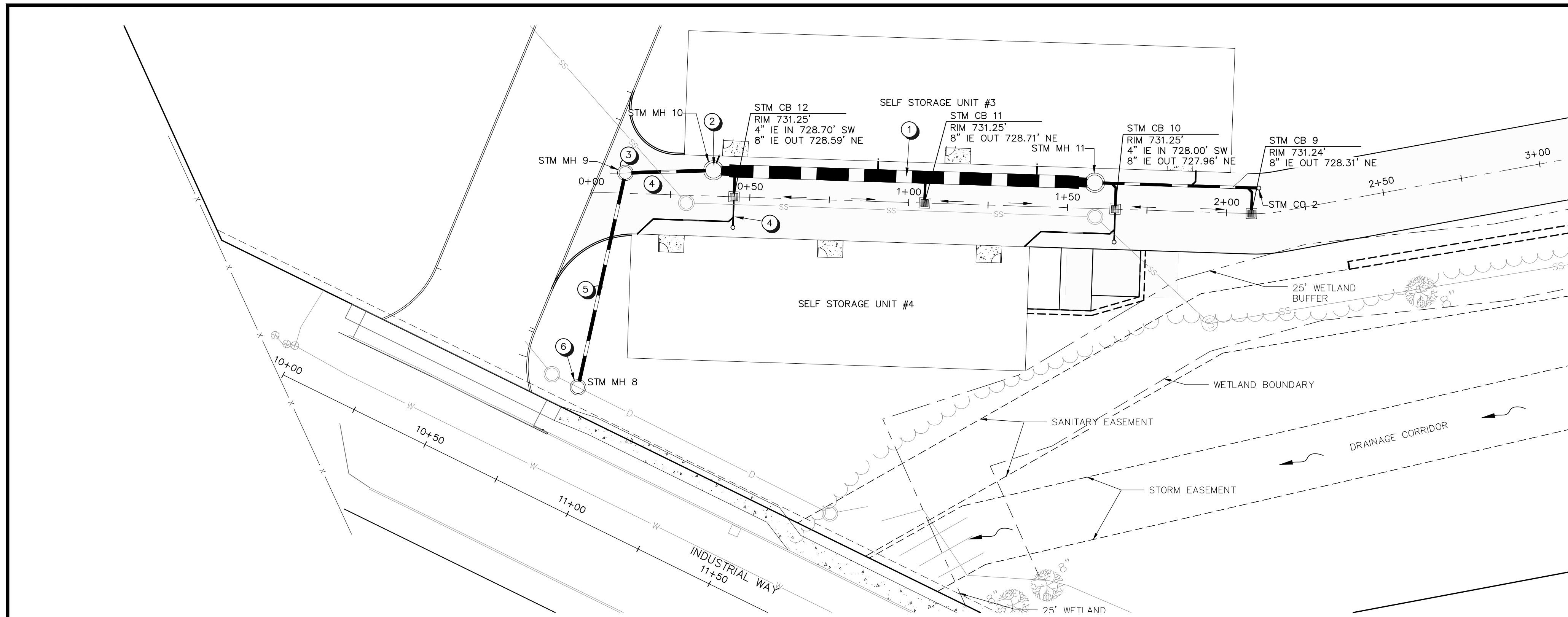
E16-055 UTILITY PLAN SOUTH EAST.dwg 16:43 06/05/2019

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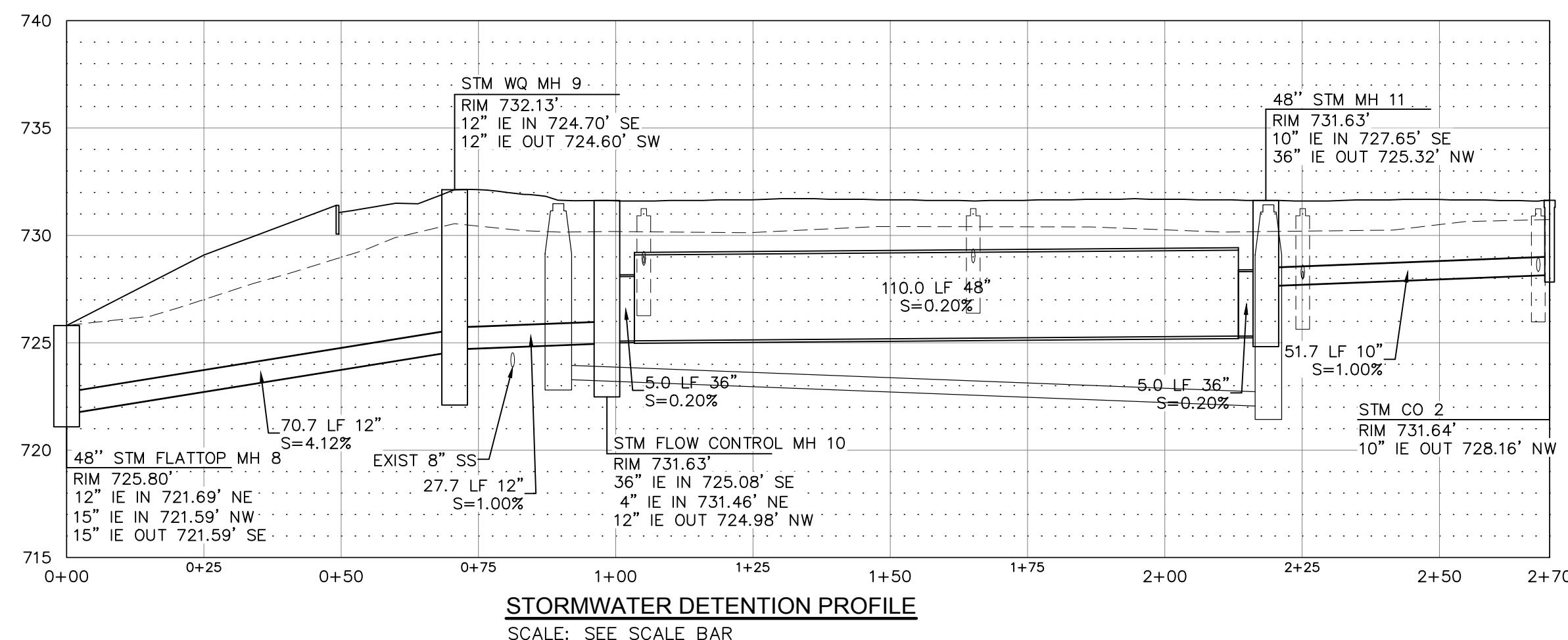
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- KEY NOTES**
- ① ONSITE DETENTION, SEE PROFILE THIS SHEET
 - ② FLOW CONTROL MANHOLE SEE PROFILE THIS SHEET, SEE DETAIL ON SHEET 20
 - ③ WATER QUALITY MANHOLE, SEE PROFILE THIS SHEET, SEE DETAIL ON SHEET 21
 - ④ 4" PVC RAIN DRAIN LINE, S=0.010 MIN
 - ⑤ STORM CONVEYANCE SEE PROFILE THIS SHEET
 - ⑥ CONSTRUCT NEW 48" MH OVER EXIST 15" STORM PIPE



PRELIMINARY EXPIRES: 06/30/19
SIGNATURE DATE: _____

E16-055 UTILITY PLAN WEST.dwg 16:43 06/05/2019

DATE:	NO.	REVISION	DRAWN:	DESIGNED:	CHECKED:
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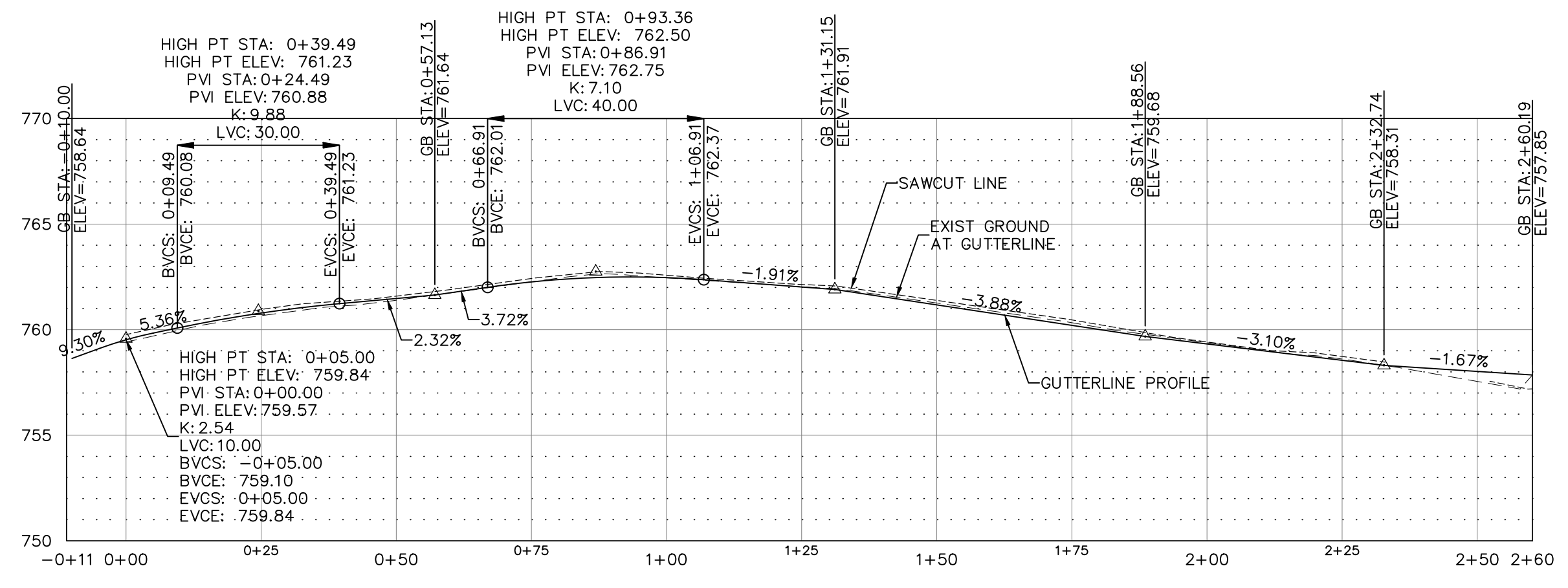
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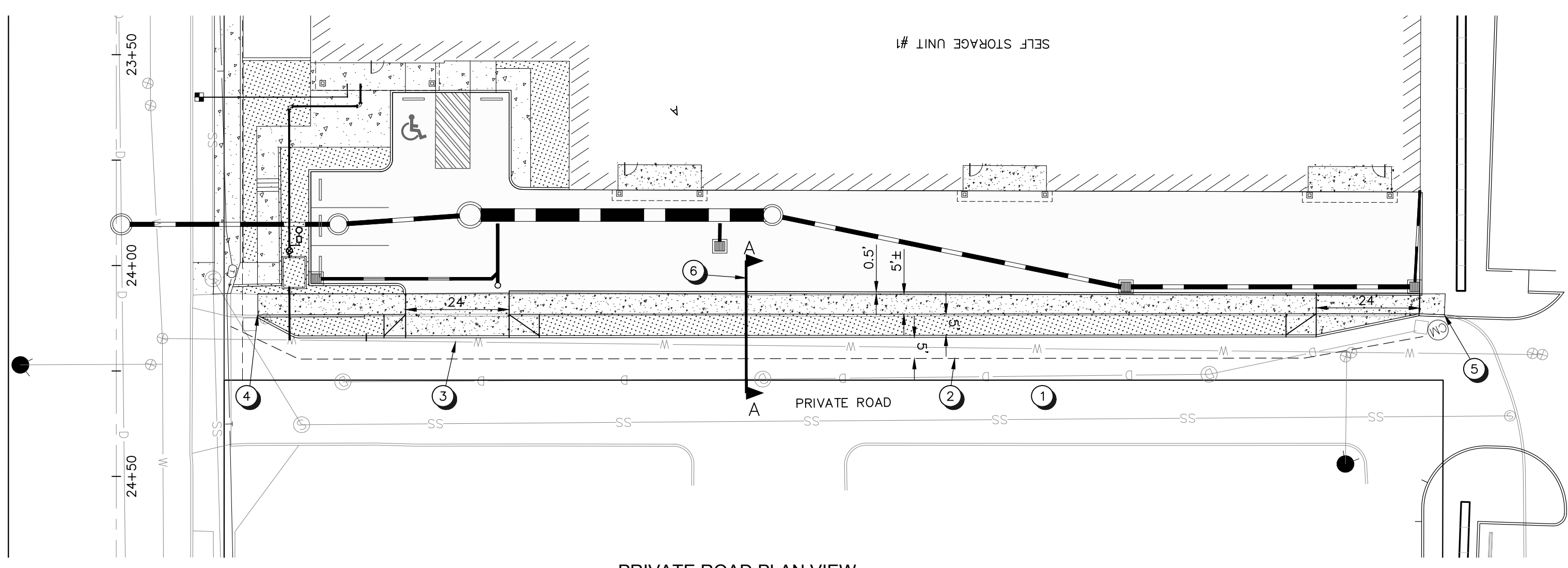
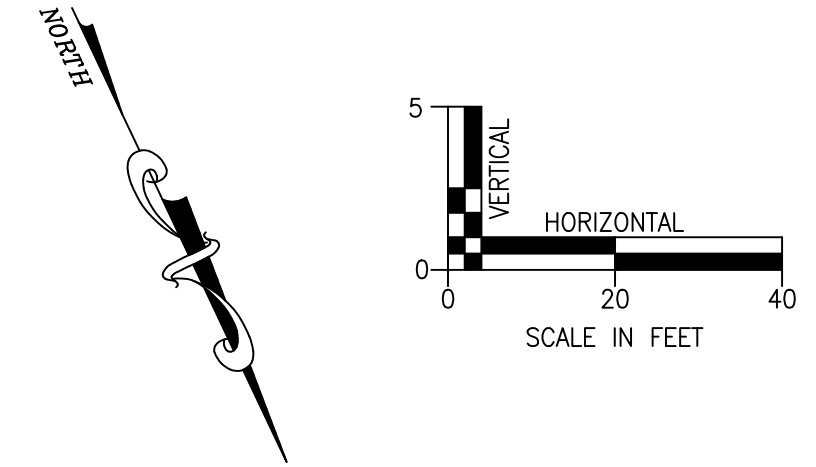
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SANDY, OREGON

UTILITY PLAN WEST
SANDY SELF STORAGE
SANDY, OREGON

13
23

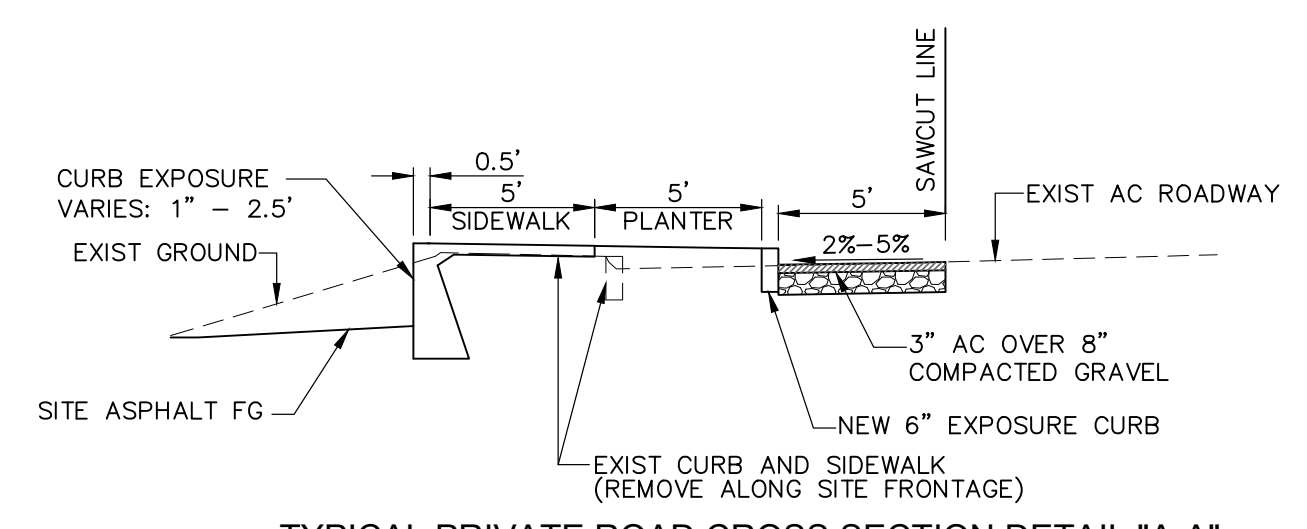


PRIVATE ROAD GUTTERLINE PROFILE
SCALE: SEE SCALE BAR



PRIVATE ROAD PLAN VIEW
SCALE: SEE SCALE BAR

- KEY NOTES**
- 1 SEE TYPICAL PRIVATE ROAD SECTION DETAIL THIS SHEET
 - 2 SAWCUT LINE
 - 3 24' WIDE DRIVEWAY CUT
 - 4 SAWCUT AS NECESSARY, MATCH EXIST CURB AND SIDEWALK
 - 5 SAWCUT EXIST CURB AS NECESSARY AND MATCH DRIVEWAY WING WITH EXIST CURB, 12:1 MAX
 - 6 SEE TYPICAL CROSS SECTION DETAIL "A-A" THIS SHEET



TYPICAL PRIVATE ROAD CROSS SECTION DETAIL "A-A"
SCALE: SEE SCALE BAR

E16-055 PRIVATE ROAD.dwg 16:41 06/05/2019

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			SCALE: AS SHOWN DATE: JUN 2018		
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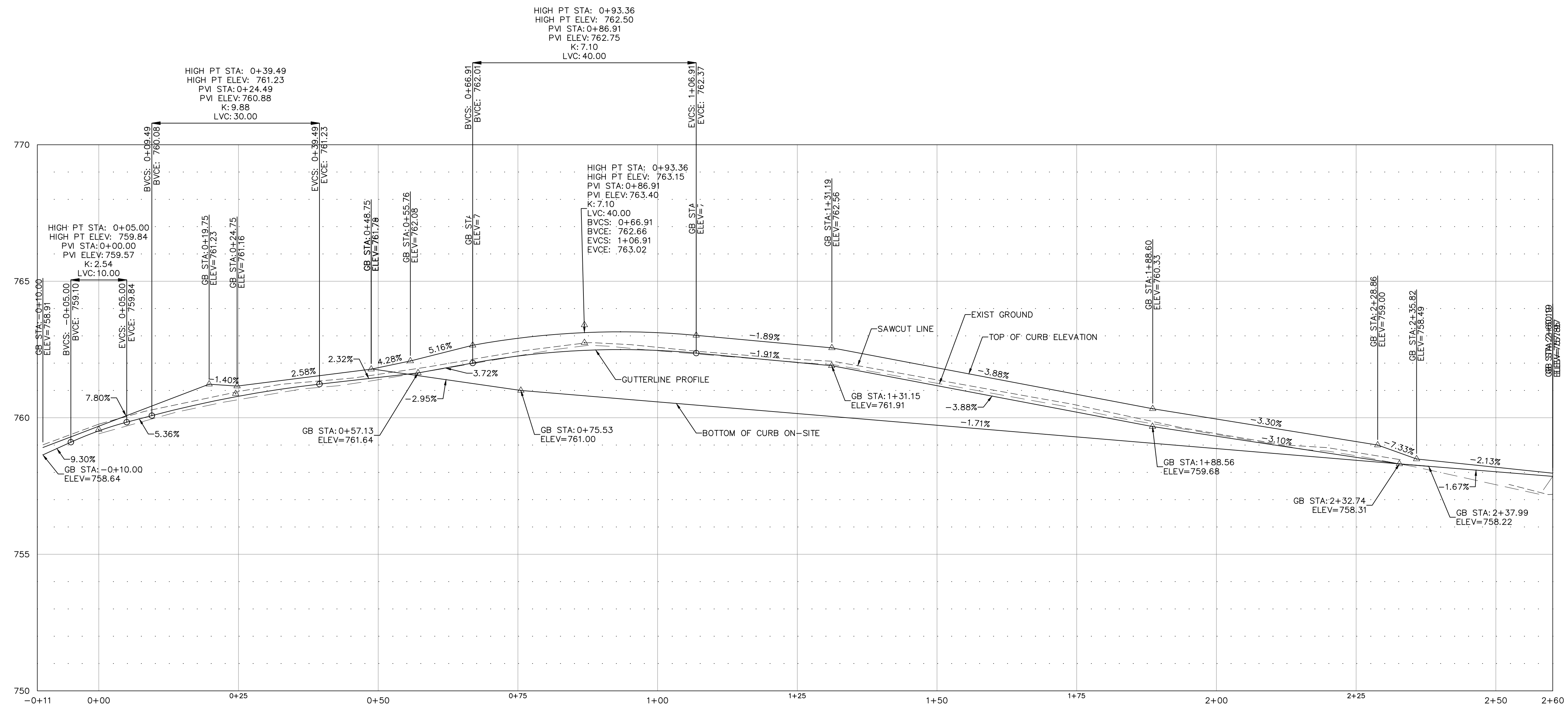
MARK BENSON
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PRELIMINARY
PRIVATE ROAD
SANDY SELF STORAGE
SANDY, OREGON

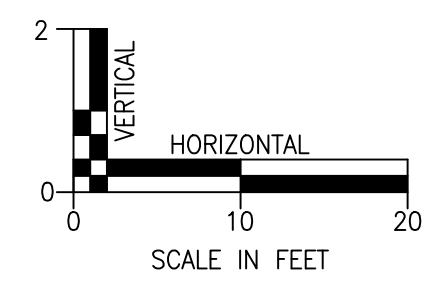
REGISTERED PROFESSIONAL
ENGINEER
67149PE
OREGON
Exp. 14 2020
KELLI A. GROVER

EXPIRES: 06/30/19
SIGNATURE DATE:

14
23



PRIVATE ROAD GUTTERLINE PROFILE WITH BACK OF WALK / TOP OF WALL
SCALE: SEE SCALE BAR



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SIGNATURE DATE:

PRIVATE ROAD PROFILE
SANDY SELF STORAGE
SANDY, OREGON

15
23

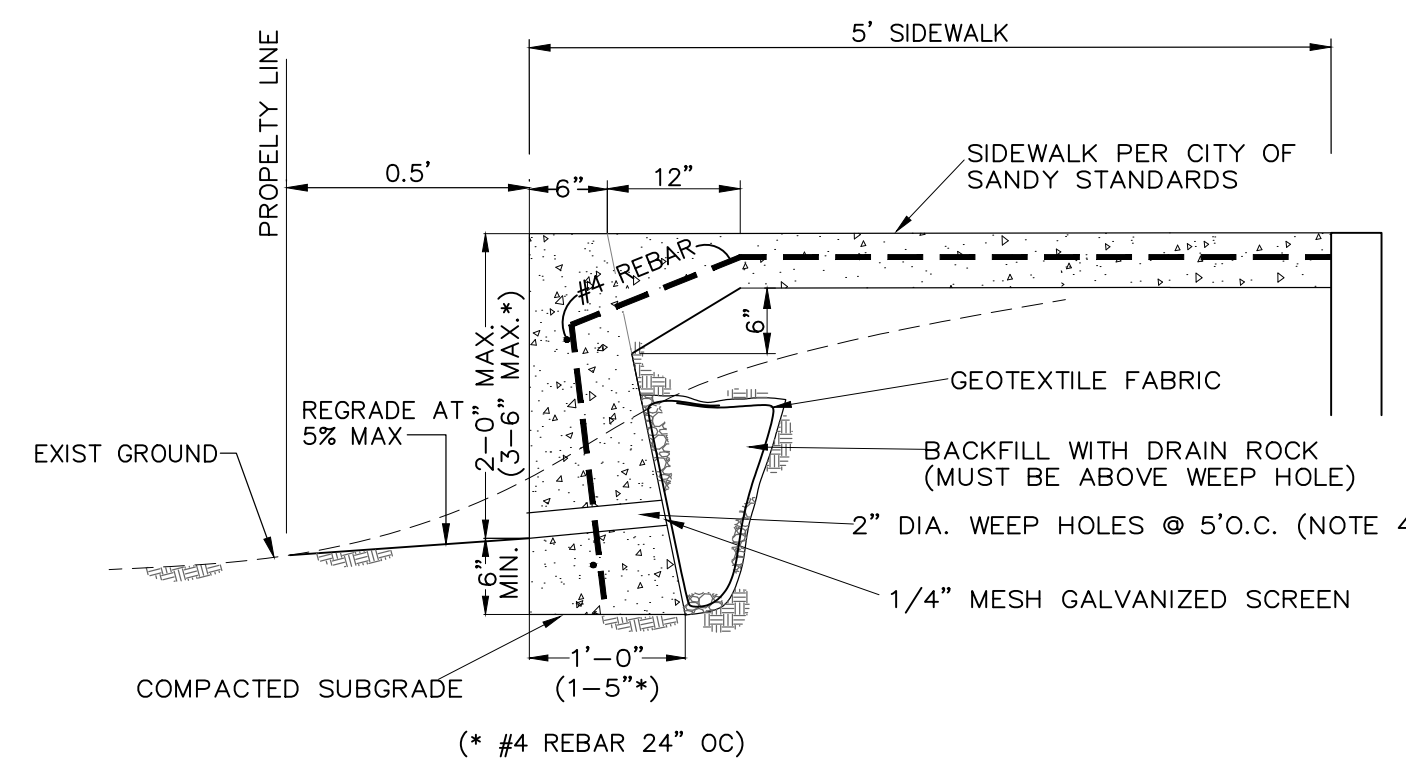
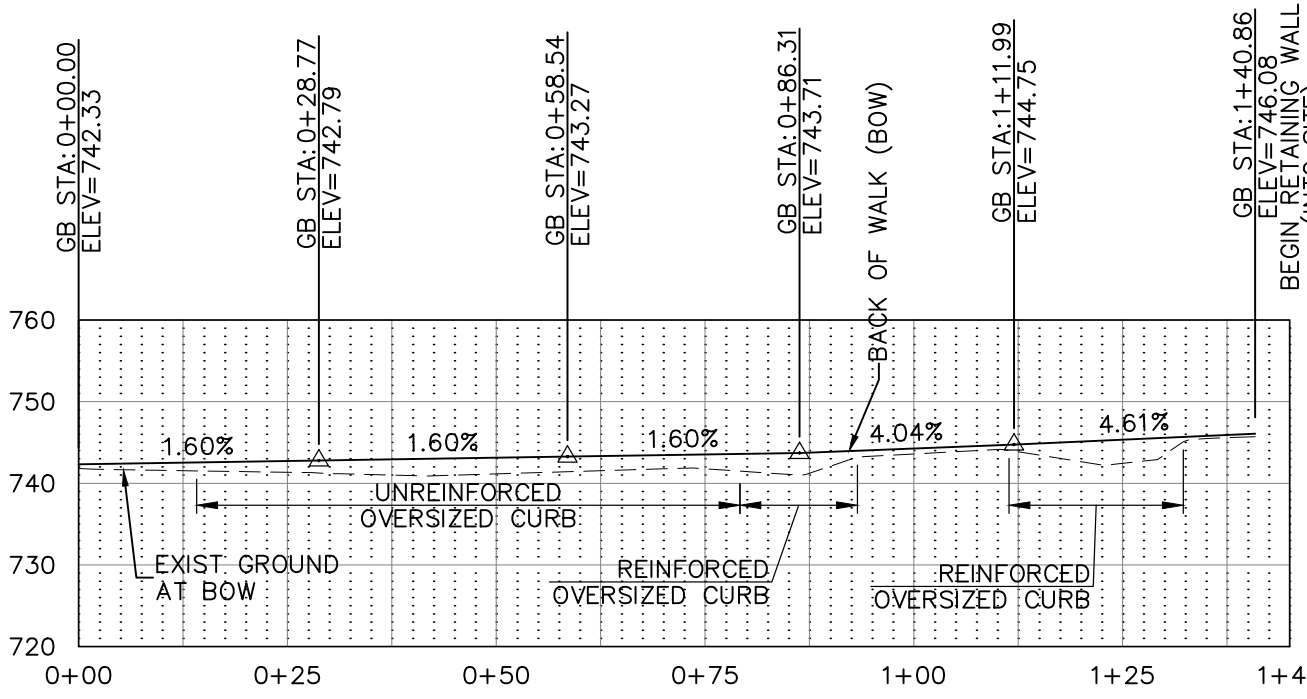
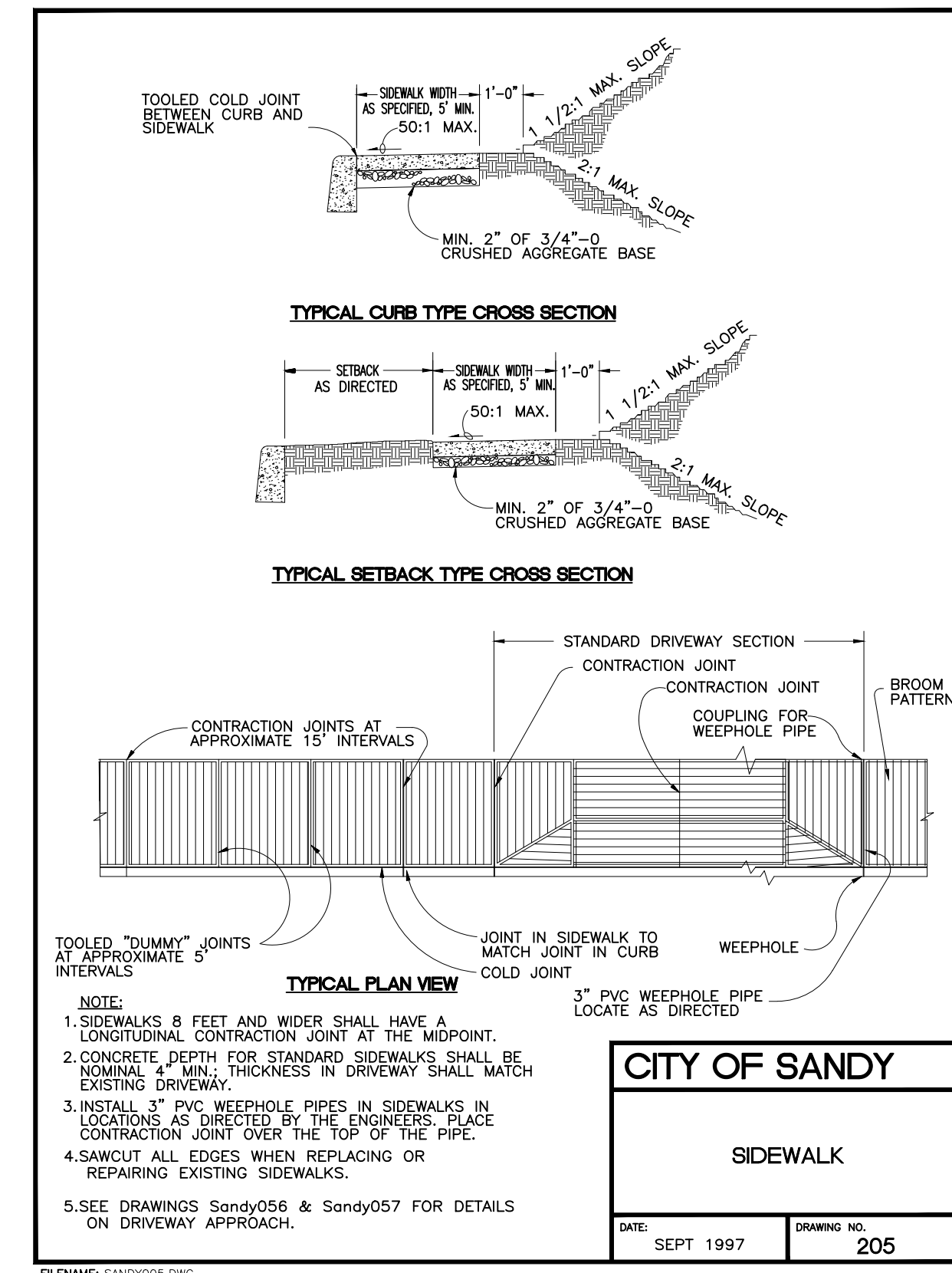
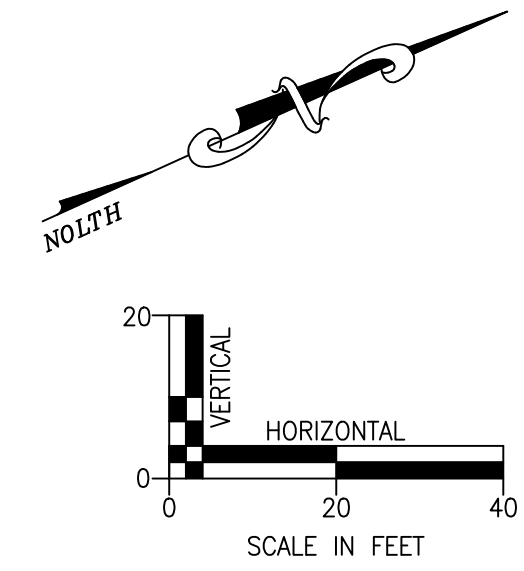
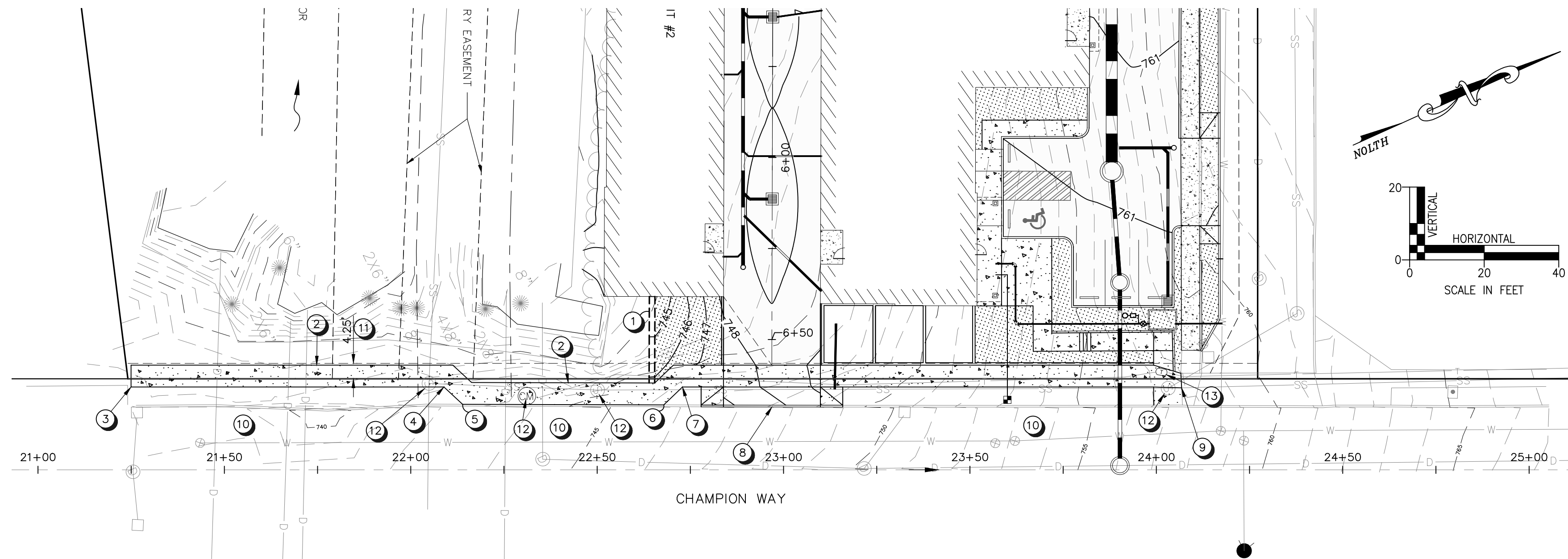
E16-055 PRIVATE ROAD PROFILE.dwg 16:40 06/05/2019

DATE:	NO.	REVISION	DRAWN:	DESIGNED:	CHECKED:	PROJECT NO. E16-055

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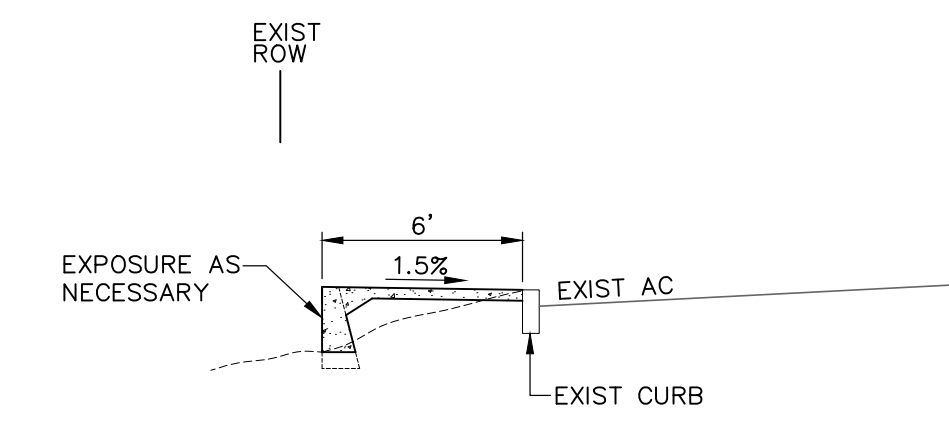
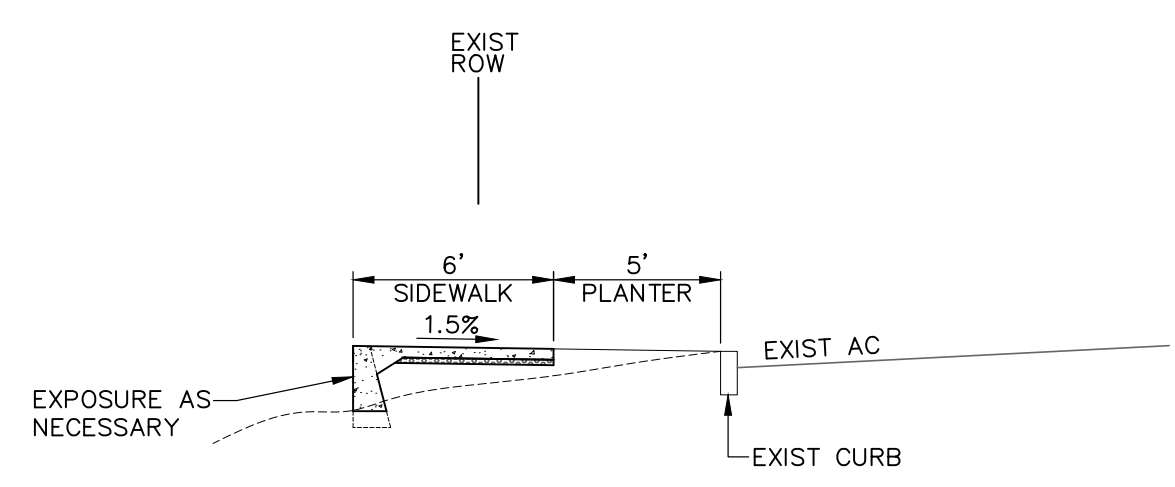
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SANDY, OREGON



DESIGN NOTES
 LEVEL BACKFILL
 f = 100 P.C.F.
 Kf = E.F.W.=40 P.C.F.
 f'c = 3300 P.S.I. CONC.

- CONSTRUCTION NOTES**
- CONTRACTION JOINT: SCORE A 3/4" DEEP "V" NOTCHED GROOVE THE FULL HEIGHT OF THE EXPOSED FACE, ACROSS THE TOP AND 6" DOWN THE BACK OF THE WALL. INSTALL "TEE BAR" CONTRACTION JOINTS TO SEPARATE THE LARGE AGGREGATE IN THE TOP 6" OF THE WALL AT THE "V" NOTCHED GROOVE. JOINTS SHALL BE UNIFORMLY SPACED AT 10' TO 15' CENTERS.
 - CONSTRUCTION JOINT: IF WALL IS TO BE POURED IN SECTIONS, USE 2-24", NO.4 REINFORCING BARS EXTENDED 12" INTO EACH SECTION.
 - WHEN EXPOSED WALL HEIGHT IS LESS THAN 2 FEET MAINTAIN 6" TOP DIMENSION AND REDUCE BASE DIMENSION TO MAINTAIN 1:5 BATTER ON BACK OF WALL.
 - AS ALTERNATE TO WEEPHOLES, USE CONTINUOUS 3-INCH DIA. PERFORATED PIPE WITH OUTLET TO APPROVED POINT OF DISPOSAL.



- KEY NOTES**
- RETAINING WALL
 - OVERSIZED CURB AT BACK OF SIDEWALK AS NECESSARY, SEE DETAIL AND PROFILE THIS SHEET
 - CL STA 21+25 22.75' LT BEGIN NEW SIDEWALK CONSTRUCTION
 - CL STA 22+08.90 22.75' LT BEGIN TRANSITION TO CURB TIGHT SIDEWALK
 - CL STA 22+13.90 18' LT BEGIN CURB TIGHT SIDEWALK
 - CL STA 22+67.90 17.84' LT BEGIN TRANSITION TO 5' PLANTER STRIP
 - CL STA 22+72.90 22.75' LT END SIDEWALK TRANSITION
 - CL STA 22+96.90 17.26' LT 26' WIDE DRIVEWAY, SEE DETAIL ON SHEET 22
 - CL STA 24+06.80 22.50' LT MATCH EXIST SIDEWALK
 - SEE TYPICAL SECTION DETAILS THIS SHEET
 - 4.25' RIGHT OF WAY EASEMENT
 - ADJUST MH RIM TO FINISH GRADE (TYPICAL)
 - EXIST PHONE PEDESTAL TO BE RELOCATED (BY OTHERS)

CITY OF SANDY	
SIDEWALK	
DATE: SEPT 1997	DRAWING NO: 205



PRELIMINARY
 EXPIRES: 06/30/19
 SIGNATURE DATE:

**CHAMPION WAY
 SANDY SELF STORAGE
 SANDY, OREGON**

**16
 23**

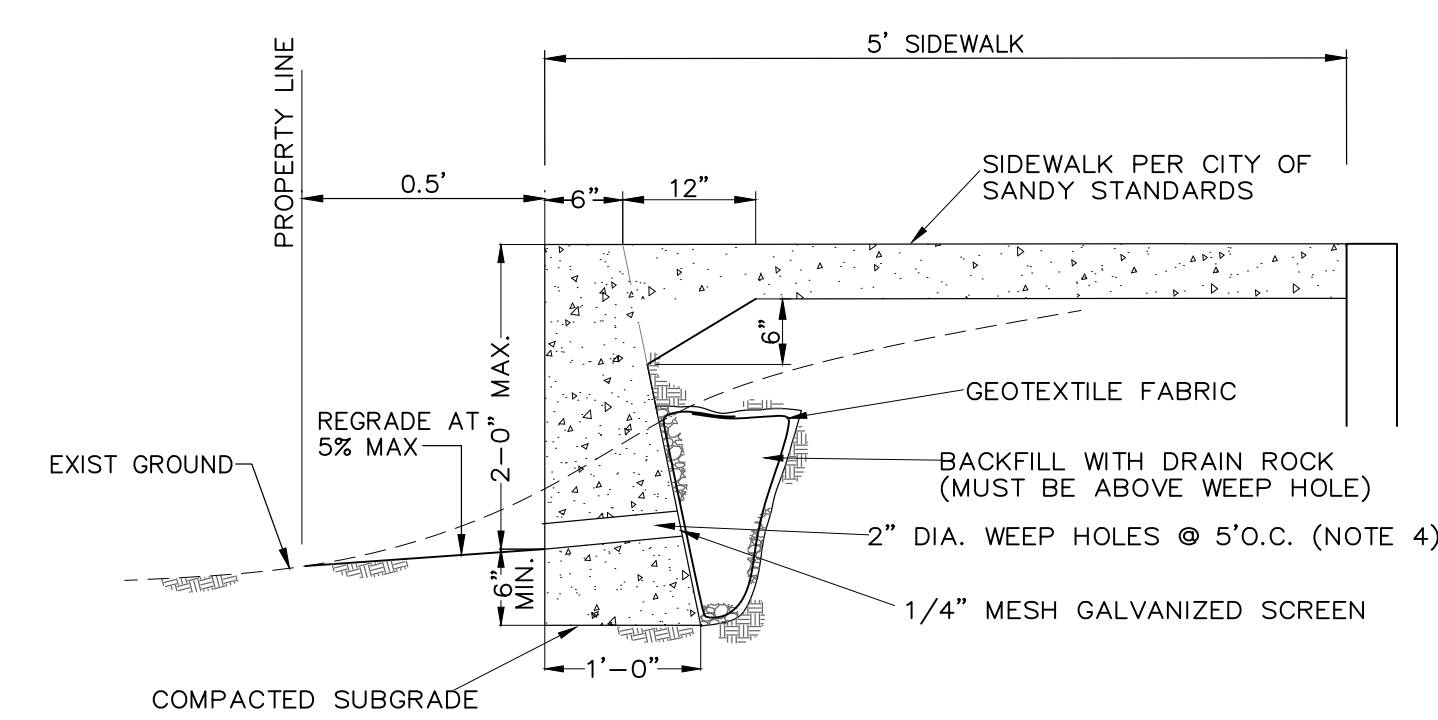
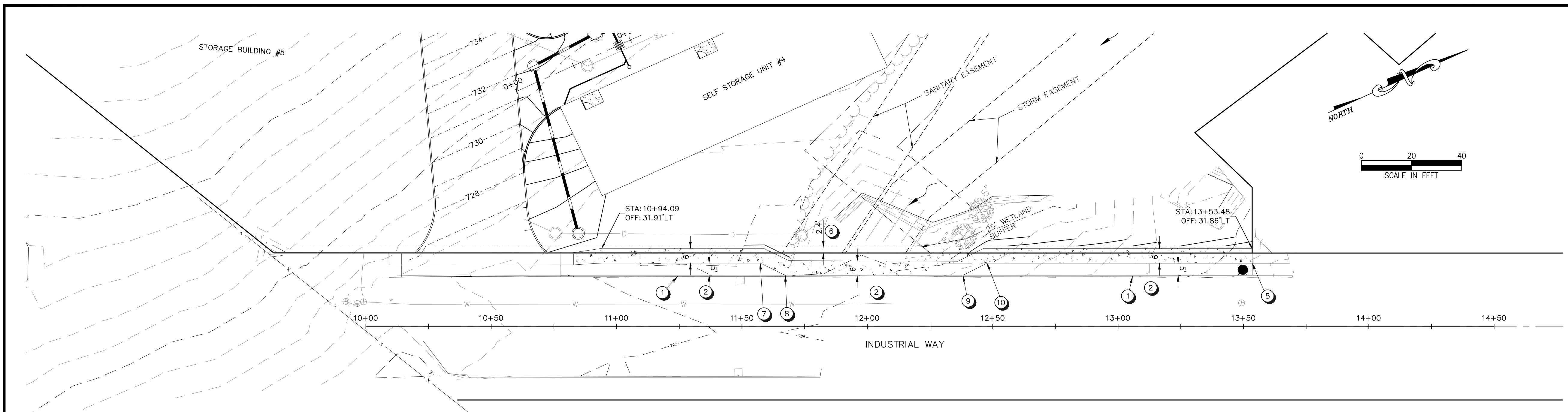
E16-055 CHAMPION WAY.dwg 16:38 06/05/2019

DATE:	NO.	REVISION

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 SANDY, OREGON**



OVERSIZED CURB AT BACK OF WALL
 N.T.S. (BLUFF CL STA 22+95.68 - 24+05, 27.5' LT)

DESIGN NOTES

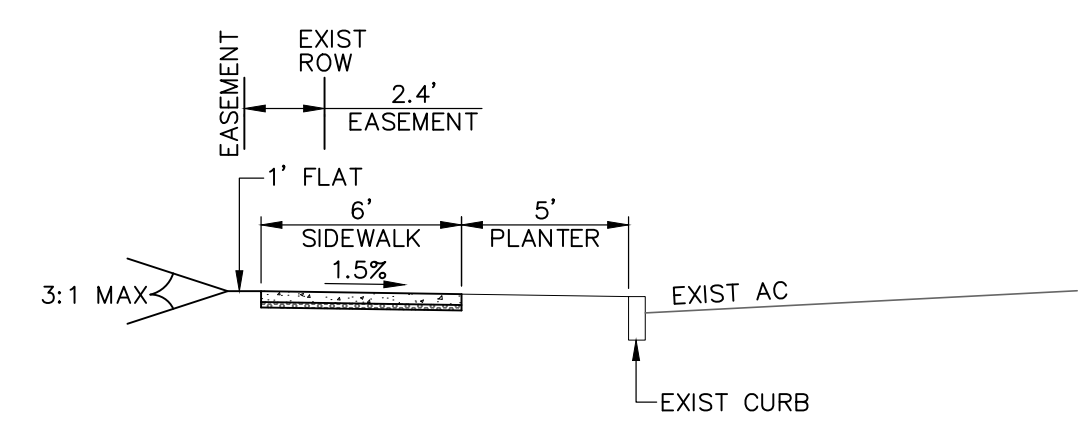
LEVEL BACKFILL
 f = 100 P.C.F.
 Kf = E.F.W.=40 P.C.F.
 f'c = 3300 P.S.I. CONC.

CONSTRUCTION NOTES

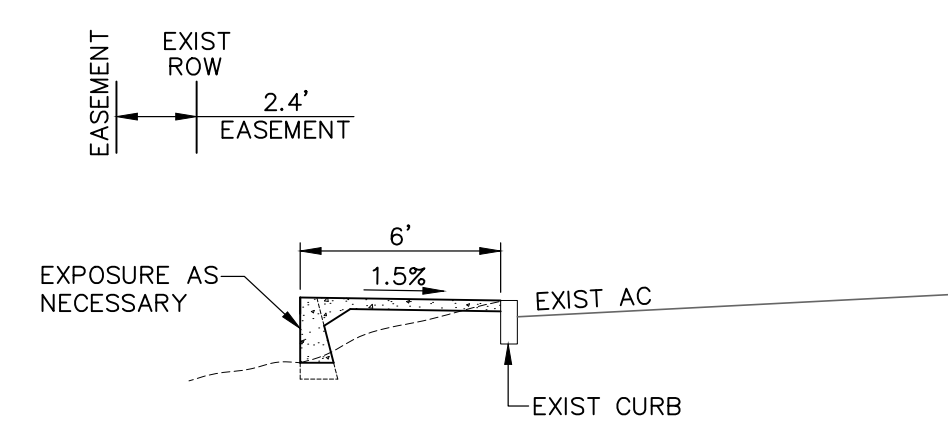
- CONTRACTION JOINT: SCORE A 3/4" DEEP "V" NOTCHED GROOVE THE FULL HEIGHT OF THE EXPOSED FACE, ACROSS THE TOP, AND 6" DOWN THE BACK OF THE WALL. INSTALL "TEE BAR" CONTRACTION JOINTS TO SEPARATE THE LARGE AGGREGATE IN THE TOP 6" OF THE WALL AT THE "V" NOTCHED GROOVE. JOINTS SHALL BE UNIFORMLY SPACED AT 10' TO 15' CENTERS.
- CONSTRUCTION JOINT: IF WALL IS TO BE POURED IN SECTIONS, USE 2-24" NO.4 REINFORCING BARS EXTENDED 12" INTO EACH SECTION.
- WHEN EXPOSED WALL HEIGHT IS LESS THAN 2 FEET MAINTAIN 6" TOP DIMENSION AND REDUCE BASE DIMENSION TO MAINTAIN 1:5 BATTER ON BACK OF WALL.
- AS ALTERNATE TO WEEPHOLES, USE CONTINUOUS 3-INCH DIA. PERFORATED PIPE WITH OUTLET TO APPROVED POINT OF DISPOSAL.

KEY NOTES

- PROTECT EXIST CURB
- SEE "TYPICAL SECTION WITH 6' SIDEWALK AND PLANTER" DETAIL THIS SHEET
- SEE "TYPICAL SECTION WITH 6' SIDEWALK WITHOUT PLANTER" DETAIL THIS SHEET
- EXTEND SIDEWALK TO MATCH EXIST CURBED ENTRY (ENTRY BY TRACTOR SUPPLY)
- MATCH EXIST SIDEWALK
- 2.4' SIDEWALK EASEMENT
- CL STA 11+57.30 25.90' LT BEGIN TRANSITION TO CURB TIGHT SIDEWALK
- CL STA 11+67.30 20.91' LT BEGIN CURB TIGHT SIDEWALK
- CL STA 12+38.15 20.90' LT BEGIN TRANSITION TO 5' PLANTER STRIP
- CL STA 12+47.70 25.88' LT END SIDEWALK TRANSITION



TYPICAL SECTION WITH 6' SIDEWALK AND PLANTER
 SCALE: NTS



TYPICAL SECTION WITH 6' SIDEWALK WITHOUT PLANTER
 SCALE: NTS



PRELIMINARY

**INDUSTRIAL WAY
 SANDY SELF STORAGE
 SANDY, OREGON**

EXPIRES: 06/30/19
 SIGNATURE DATE: _____

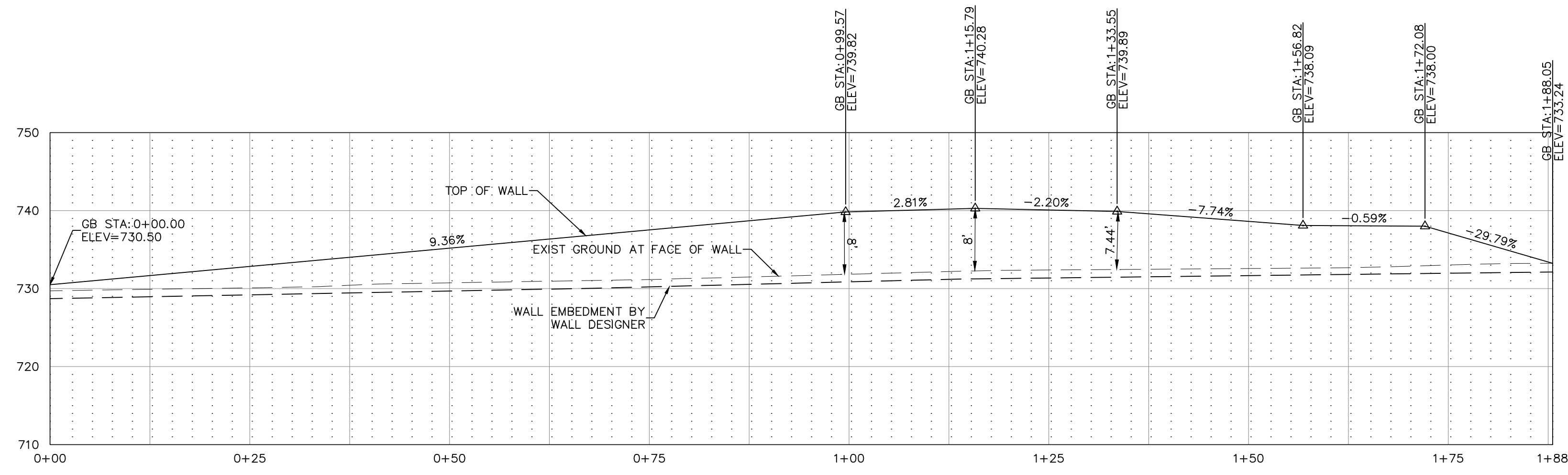
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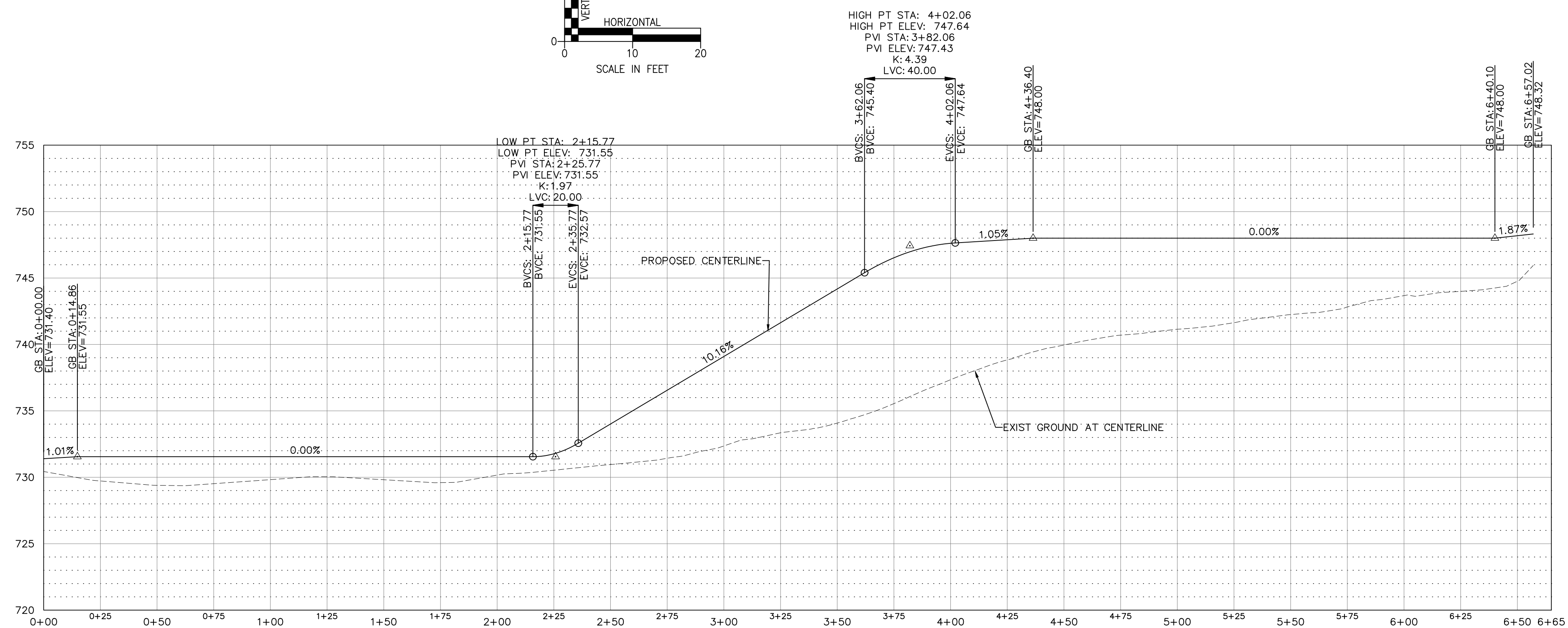
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**MARK BENSON
 SANDY, OREGON**



SOUTH RETAINING WALL PROFILE
SCALE: SEE SCALE BAR



ACCESS ROAD CENTERLINE PROFILE
SCALE: SEE SCALE BAR (SEE SHEETS 6-10)



PRELIMINARY

EXPIRES: 06/30/19
SIGNATURE DATE:

PRIVATE ROAD PROFILE
SANDY SELF STORAGE
SANDY, OREGON

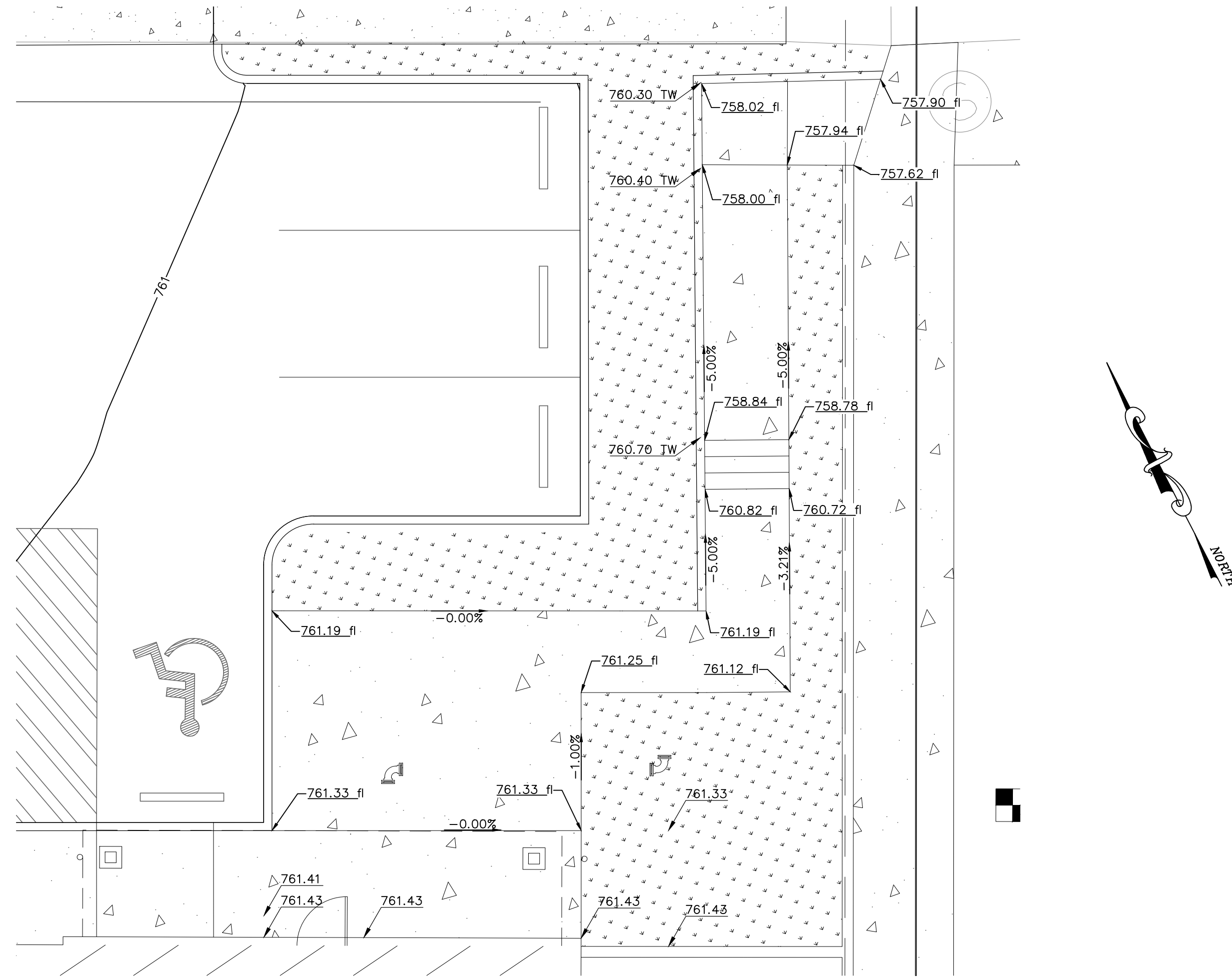
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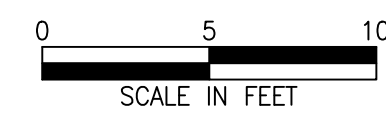
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SANDY, OREGON



CONCRETE GRADING DETAIL
SCALE: NTS



PRELIMINARY

EXPIRES: 06/30/19
SIGNATURE DATE: _____

CONCRETE GRADING PLAN
SANDY SELF STORAGE
SANDY, OREGON

19
23

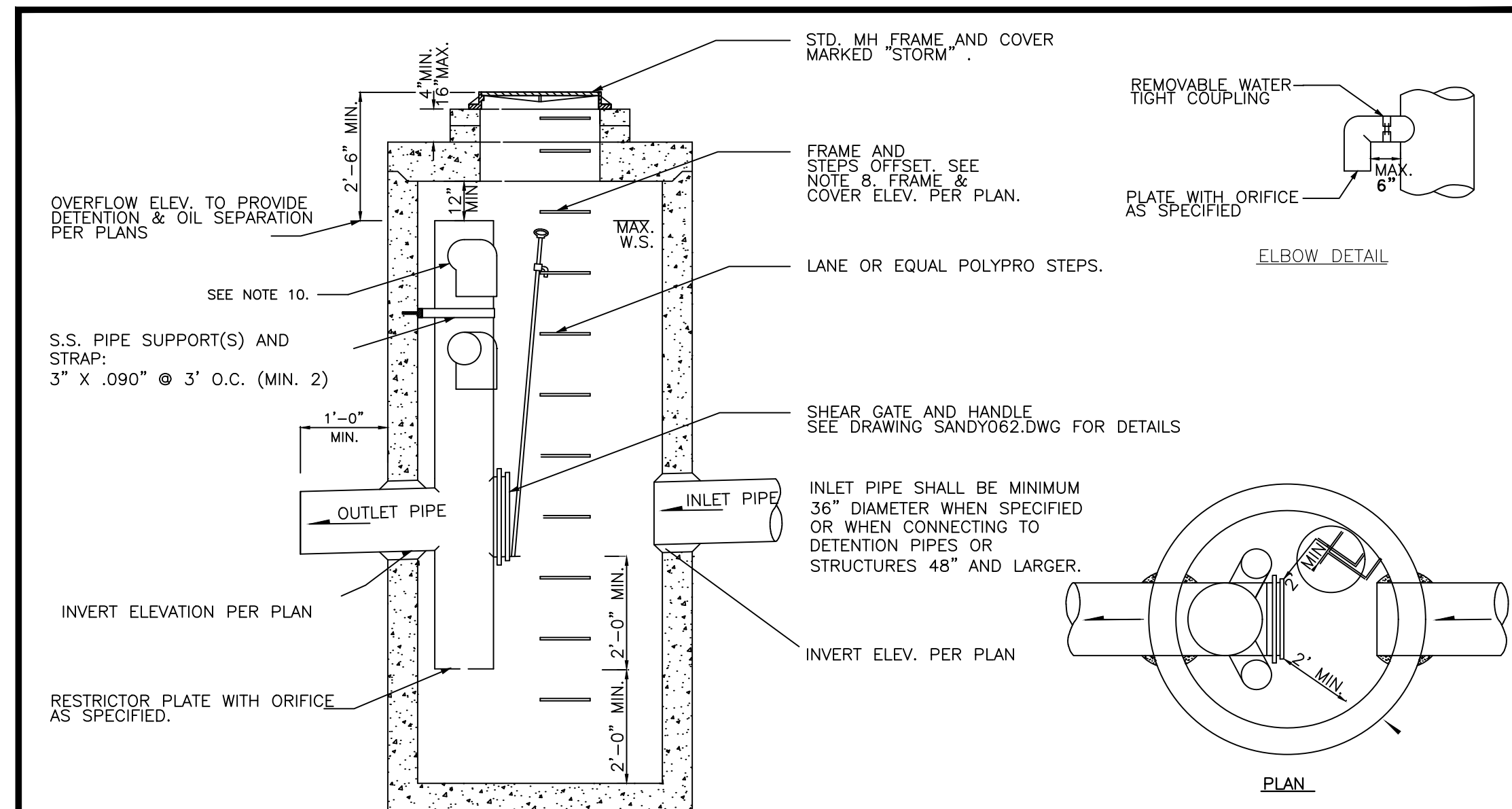
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SANDY, OREGON



ORIFICE AND INVERT ELEVATION TABLE (UPPER FLOW CONTROL MH)

RESTRICTOR PLATE	ORIFICE NO. 1	ORIFICE NO. 2
DIAMETER 3.4 in.	DIAMETER 3.1 in.	DIAMETER 2.0 in.
IE ELEVATION 849.0 ft.	IE ELEVATION 853.80 ft.	IE ELEVATION 854.70 ft.
RIM ELEVATION 864.64 ft.		
60"-36" REDUCER INLET PIPE INVERT ELEVATION 851.47 ft.		
OVERFLOW ELEVATION 856.37 ft.		
OUTLET PIPE ELEVATION 851.00 ft.		
SUMP ELEVATION 847.00 ft.		

ORIFICE AND INVERT ELEVATION TABLE (LOWER FLOW CONTROL MH)

RESTRICTOR PLATE	ORIFICE NO. 1	ORIFICE NO. 2
DIAMETER 2.0 in.	DIAMETER 2.0 in.	DIAMETER N/A
IE ELEVATION 848.15 ft.	IE ELEVATION 851.95 ft.	IE ELEVATION N/A
RIM ELEVATION 858.52 ft.		
36" INLET PIPE INVERT ELEVATION 850.31 ft.		
OVERFLOW ELEVATION 853.21 ft.		
OUTLET PIPE ELEVATION 850.15 ft.		
SUMP ELEVATION 846.31 ft.		

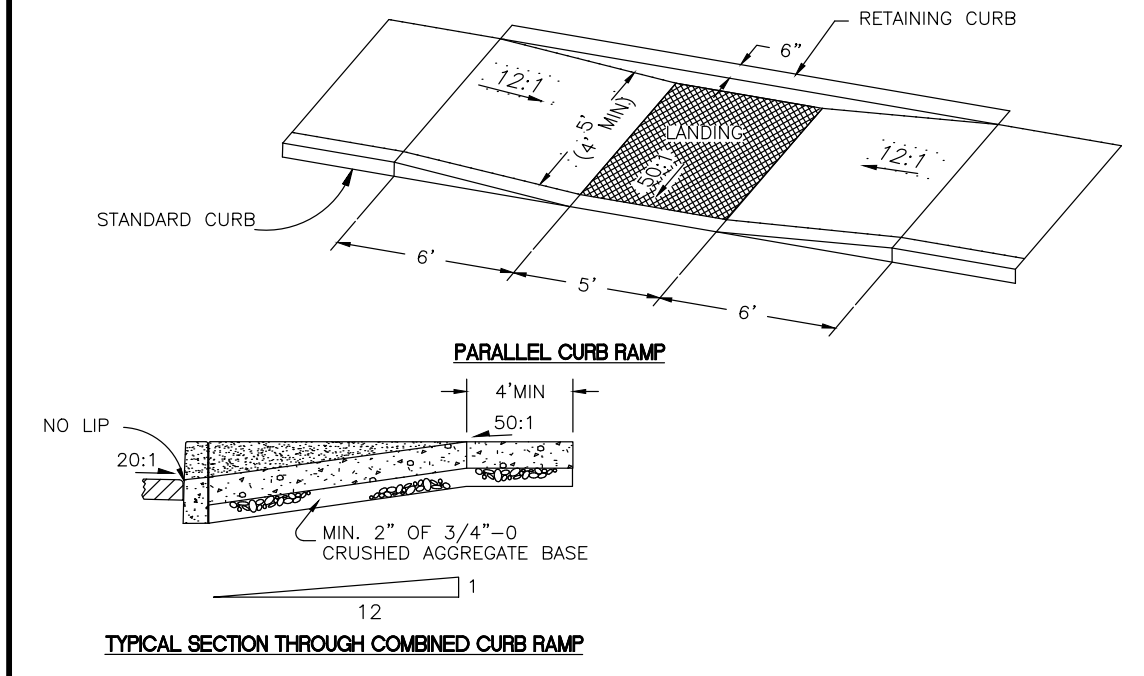
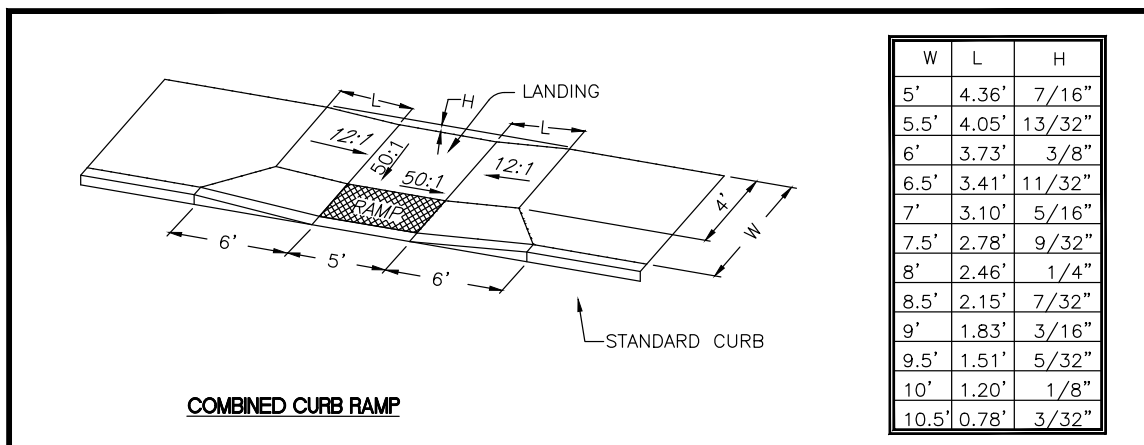
- NOTES:
- PIPE SIZES AND SLOPES: PER PLANS.
 - OUTLET CAPACITY: NOT LESS THAN COMBINED INLETS.
 - EXCEPT AS SHOWN OR NOTED, UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS FOR STORM OR SANITARY MANHOLES 48" MIN. DIAM.
 - PIPE SUPPORTS AND RESTRICTOR/SEPARATOR SHALL BE OF SAME MATERIAL, AND BE ANCHORED AT 3' MAX. SPACING (MIN. 2) BY 5/8" DIAM. STAINLESS STEEL EXPANSION BOLTS OR EMBEDDED 2" IN WALL.
 - THE RESTRICTOR/SEPARATOR SHALL BE FABRICATED FROM .060" ALUMINUM, OR .064" ALUMINIZED STEEL, OR .064" GALVANIZED STEEL PIPE; IN ACCORDANCE WITH AASHTO M 36, M 196, M 197 AND M 274. GALVANIZED STEEL SHALL HAVE TREATMENT 1.
 - OUTLET SHALL BE CONNECTED TO CULVERT OR STORM PIPE WITH A STANDARD COUPLING BAND FOR CMP OR PE PIPE OR FERNCO COUPLER FOR CONCRETE PIPE.
 - THE VERTICAL RISER STEM OF THE RESTRICTOR/SEPARATOR SHALL BE THE SAME DIAM. AS THE HORIZONTAL OUTLET PIPE, WITH AN 8" MIN. DIAM.
 - FRAME AND LADDER OR STEPS OFFSET SO THAT:
 - CLEANOUT GATE IS VISIBLE FROM TOP.
 - CLIMB DOWN SPACE IS CLEAR OF RISER AND CLEANOUT GATE.
 - FRAME IS CLEAR OF CURB.
 - IF CMP OUTLET PIPE CONNECTS TO CONCRETE PIPE PIPE; OUTLET PIPE SHALL HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4".
 - MULTI-ORIFICE ELBOWS MAY BE LOCATED AS SHOWN OR ALL ON ONE SIDE OF RISER TO ASSURE LADDER CLEARANCE.

Filename: SANY065.DWG

CITY OF SANDY

**FLOW CONTROL MH
UPPER STORM**

DATE: JUNE 2004 DRAWING NO. SANDY 065.DWG



NOTES:

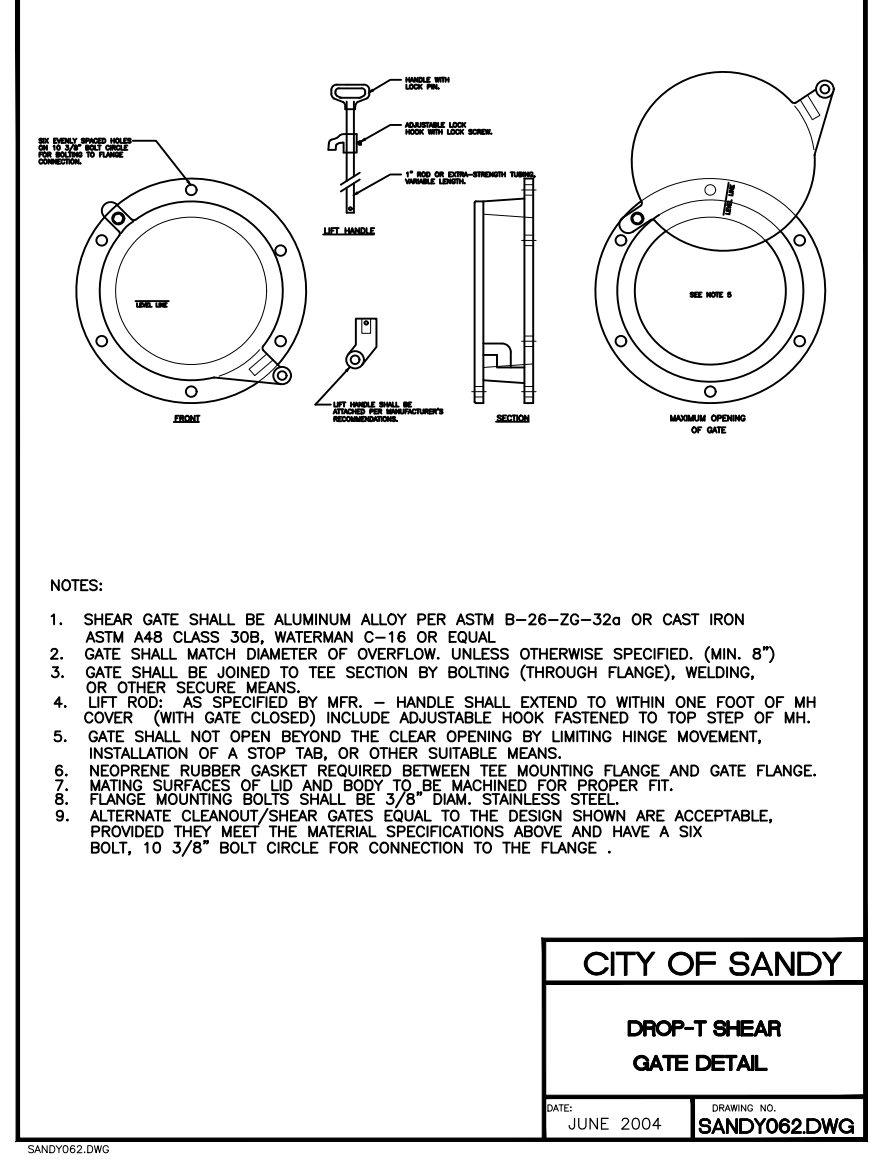
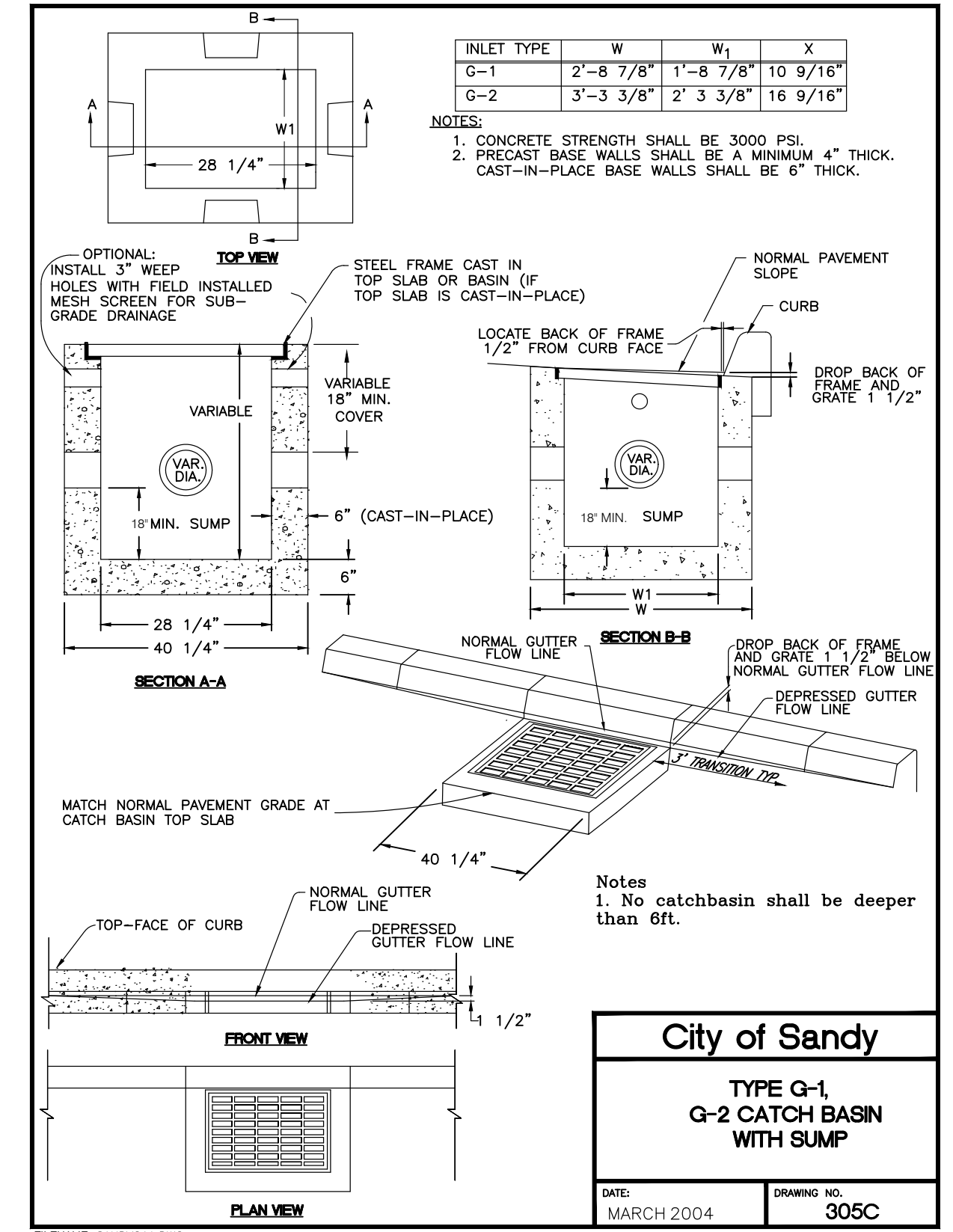
- THE "AMERICANS WITH DISABILITIES ACT" (ADA) REQUIRES THAT ACCESS RAMPS TO SIDEWALKS CONFORM TO ALL FEDERAL GUIDELINES. EXCEPTIONS TO THE REQUIREMENTS IN THIS DRAWING MUST BE APPROVED BY THE ENGINEER AND MUST COMPLY WITH ADA.
- NO ABOVE GROUND UTILITIES ARE PERMITTED WITHIN RAMP AREA.
- LANDINGS SHALL BE PLACED AT THE TOP OF EACH RAMP. LANDING SLOPES SHALL NOT EXCEED 50:1 IN ANY DIRECTION. THE SLOPE OF THE SURFACING AT THE BOTTOM OF THE RAMP SHALL NOT EXCEED 20:1 FOR A DISTANCE OF 2' (SEE TYPICAL SECTION ABOVE).
- MINIMUM LANDING DIMENSIONS SHALL BE 4'x 4'.
- SEE DETAIL SANDY059.DWG FOR SURFACE TEXTURE DETAILS.
- CONCRETE STRENGTH SHALL BE 3300 PSI.

CITY OF SANDY

**MID BLOCK SIDEWALK
ACCESS RAMPS**

DATE: MARCH 2004 DRAWING NO. 206A

Filename: SANDY060.DWG



PRELIMINARY

EXPIRES: 06/30/19
SIGNATURE DATE:

DATE	NO.	REVISION

DRAWN:	DESIGNED:	CHECKED:
SCALE: AS SHOWN	DATE: JUN 2018	
PROJECT NO. E16-055		

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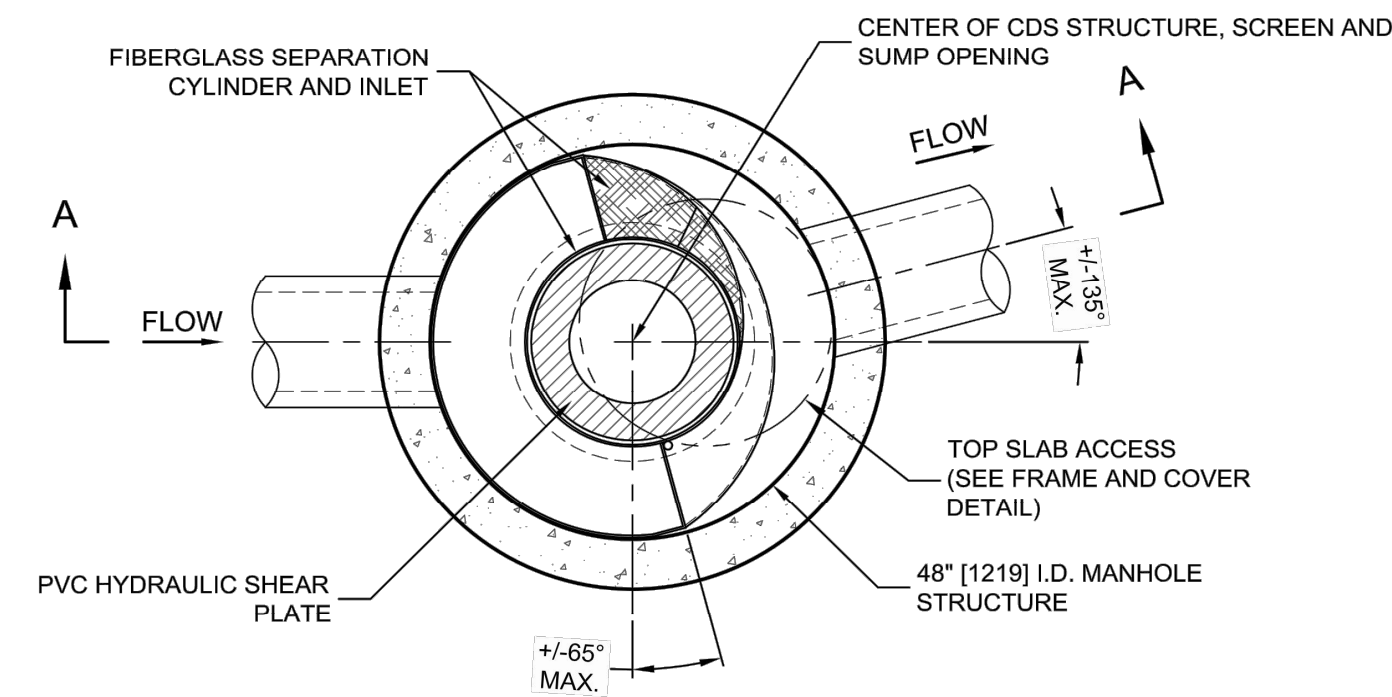
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SANDY, OREGON**

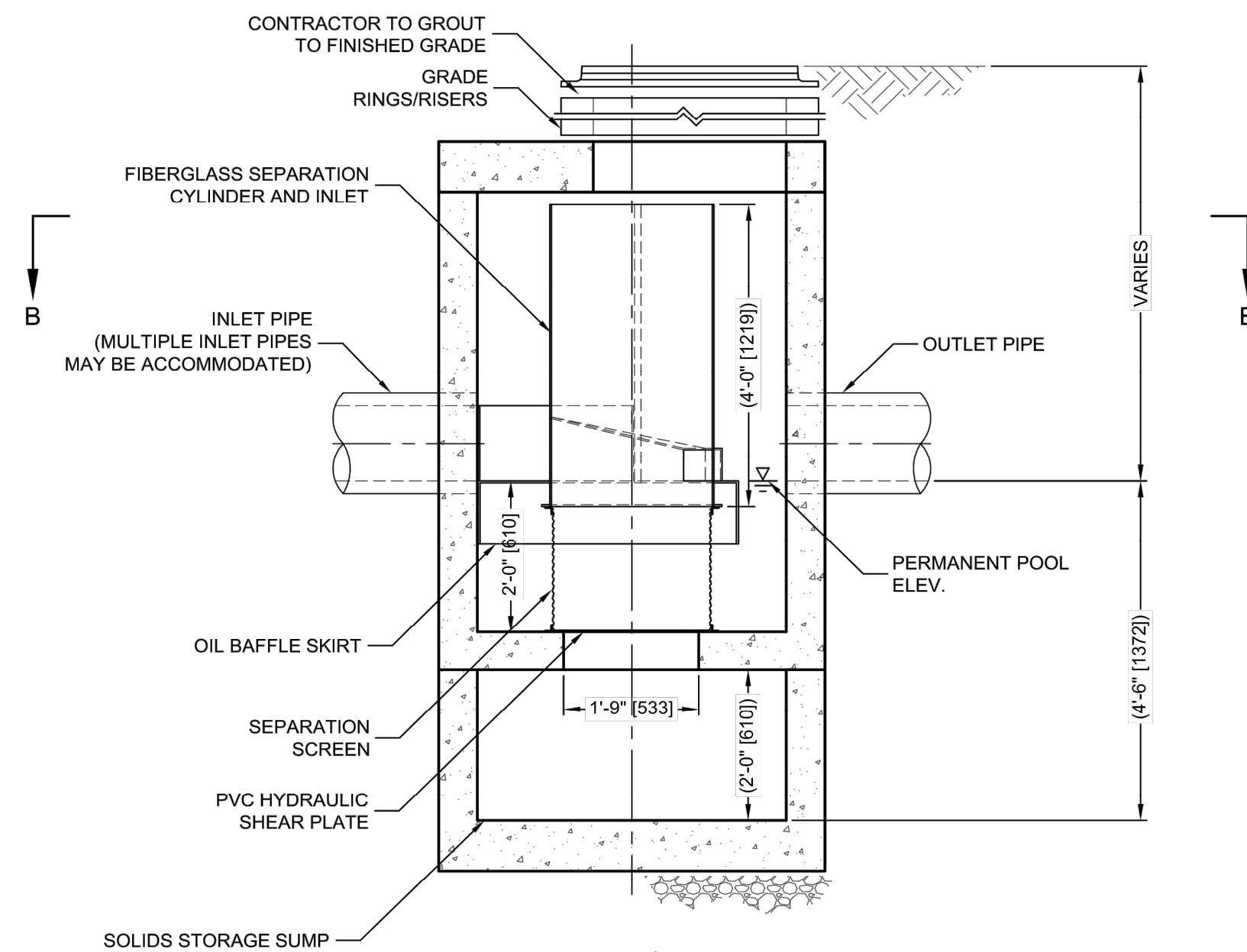
**DETAILS
SANDY SELF STORAGE
SANDY, OREGON**

**20
23**

C:\USERS\SCHLACHER\DESKTOP\CDS DETAILS 180 MICRON SIZING\CDS2015-4-C-DTL.DWG 5/19/2014 5:16 PM



PLAN VIEW B-B
N.T.S.



ELEVATION A-A
N.T.S.



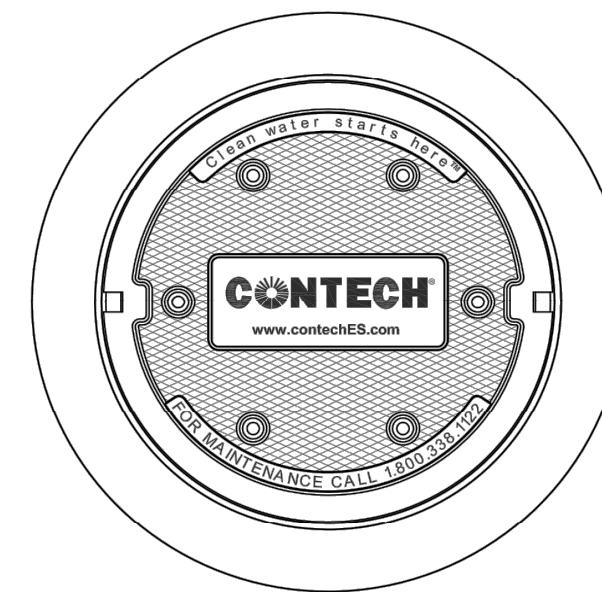
THIS PRODUCT HAS BEEN TESTED BY GDS IN ACCORDANCE WITH THE FOLLOWING TESTS: FIBERGLASS SHEAR PLATE TEST, PVC HYDRAULIC SHEAR PLATE TEST, AND 180 MICRON SIZING TEST. RELATED PATENTS APPLIED, OR OTHER PATENTS PENDING.

CDS2015-4-C DESIGN NOTES

THE STANDARD CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES
- SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)
- SEDIMENT WEIR FOR NJDEP / NJCAT CONFORMING UNITS



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID			
WATER QUALITY FLOW RATE (CFS OR L/s)			*
PEAK FLOW RATE (CFS OR L/s)			*
RETURN PERIOD OF PEAK FLOW (YRS)			*
SCREEN APERTURE (2400 OR 4700)			*
PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE 1	*	*	*
INLET PIPE 2	*	*	*
OUTLET PIPE	*	*	*
RIM ELEVATION			*
ANTI-FLOTATION BALLAST	WIDTH	HEIGHT	
	*	*	
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			

GENERAL NOTES

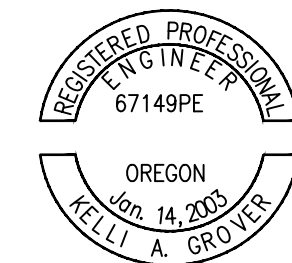
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET HS20 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- C. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH
ENGINEERED SOLUTIONS LLC
www.contechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
800-338-1122 513-645-7000 513-645-7993 FAX

CDS2015-4-C
INLINE CDS
STANDARD DETAIL



PRELIMINARY
DETAILS
SANDY SELF STORAGE
SANDY, OREGON

EXPIRES: 06/30/19
SIGNATURE DATE:

21
23

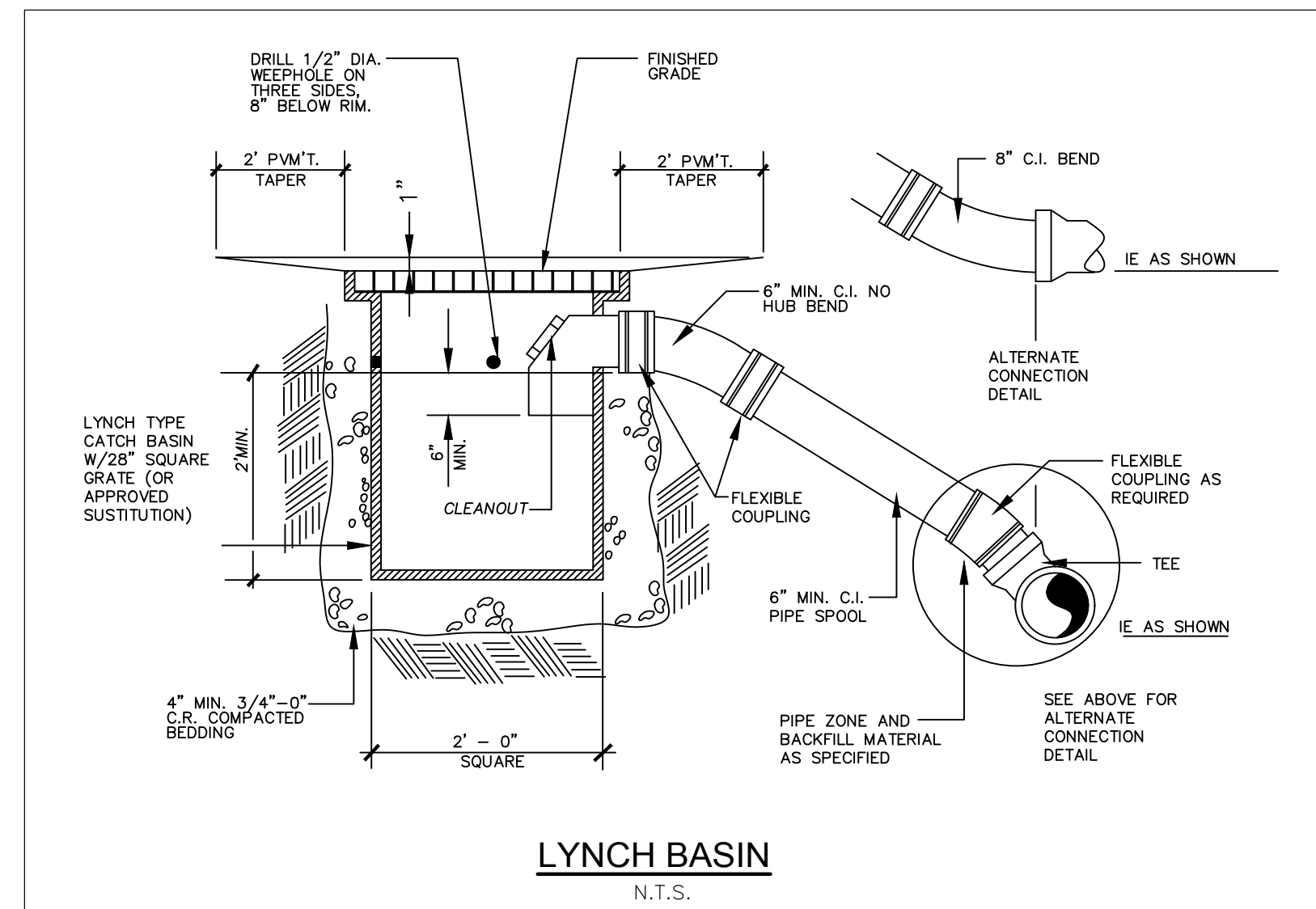
E16-055 DETAIL52.dwg 16:39 06/05/2019

DATE:	NO.	REVISION

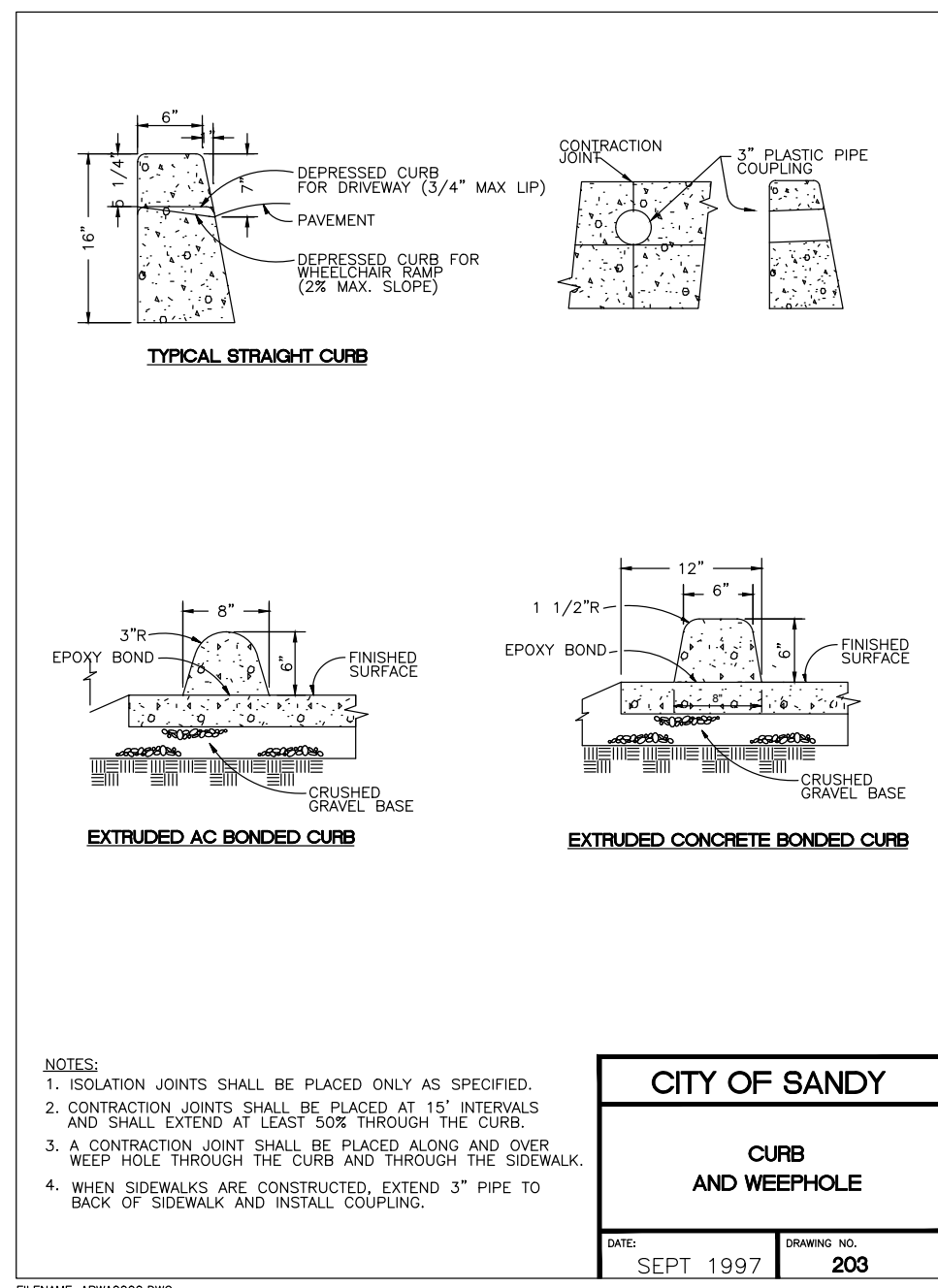
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SCALE: AS SHOWN	DATE: JUN 2018	
PROJECT NO. E16-055		

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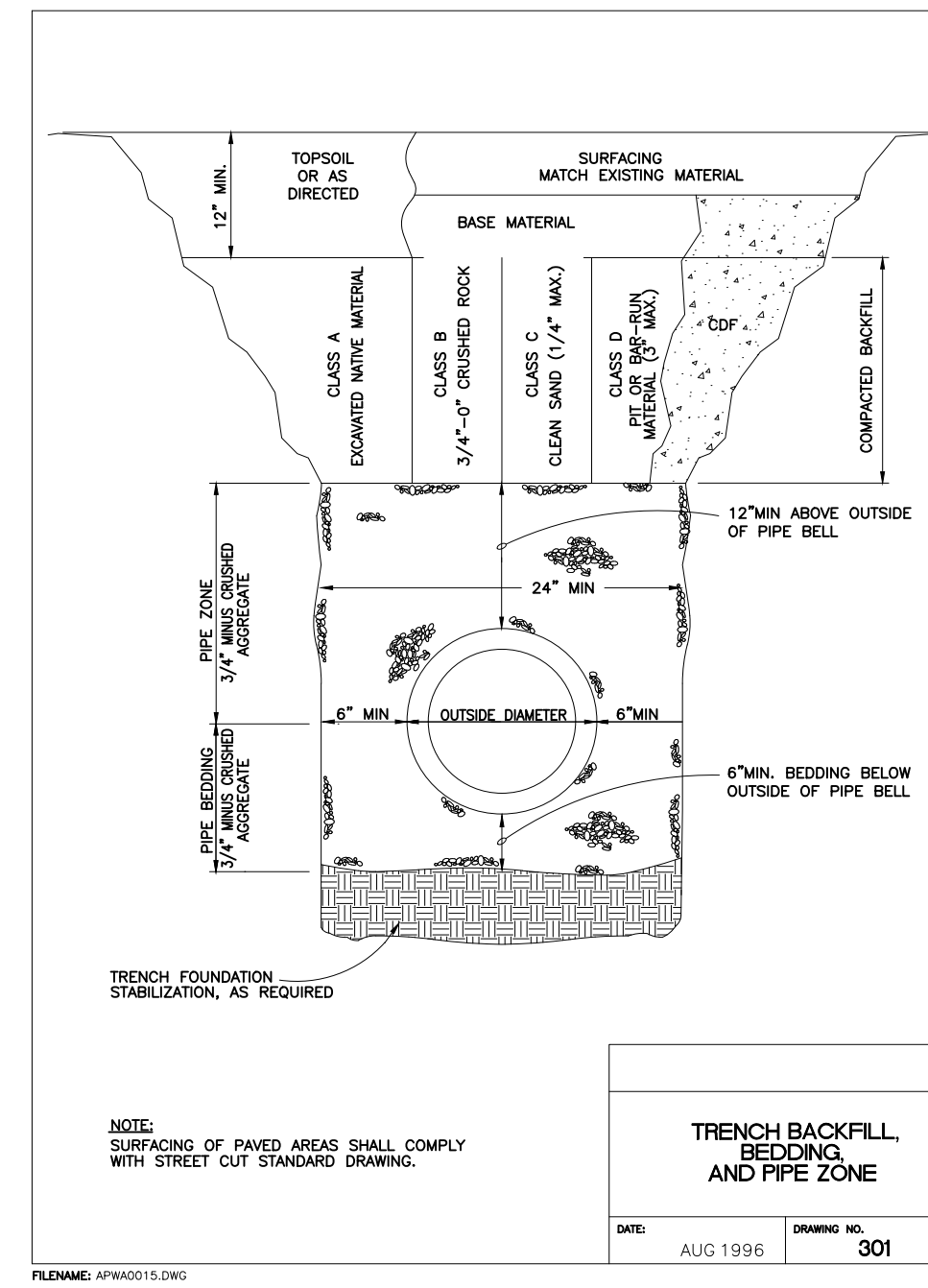
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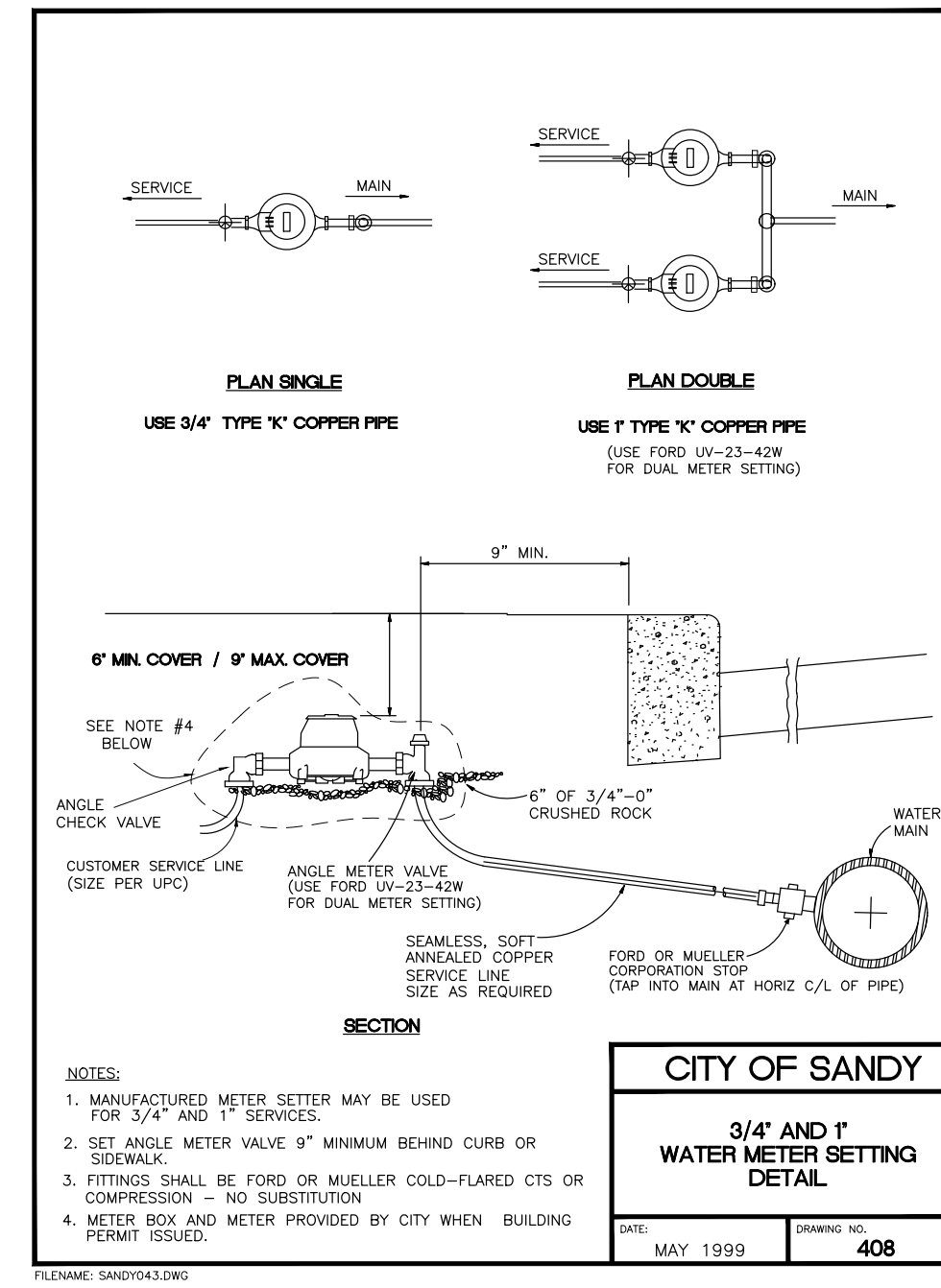
LYNCH BASIN
N.T.S.



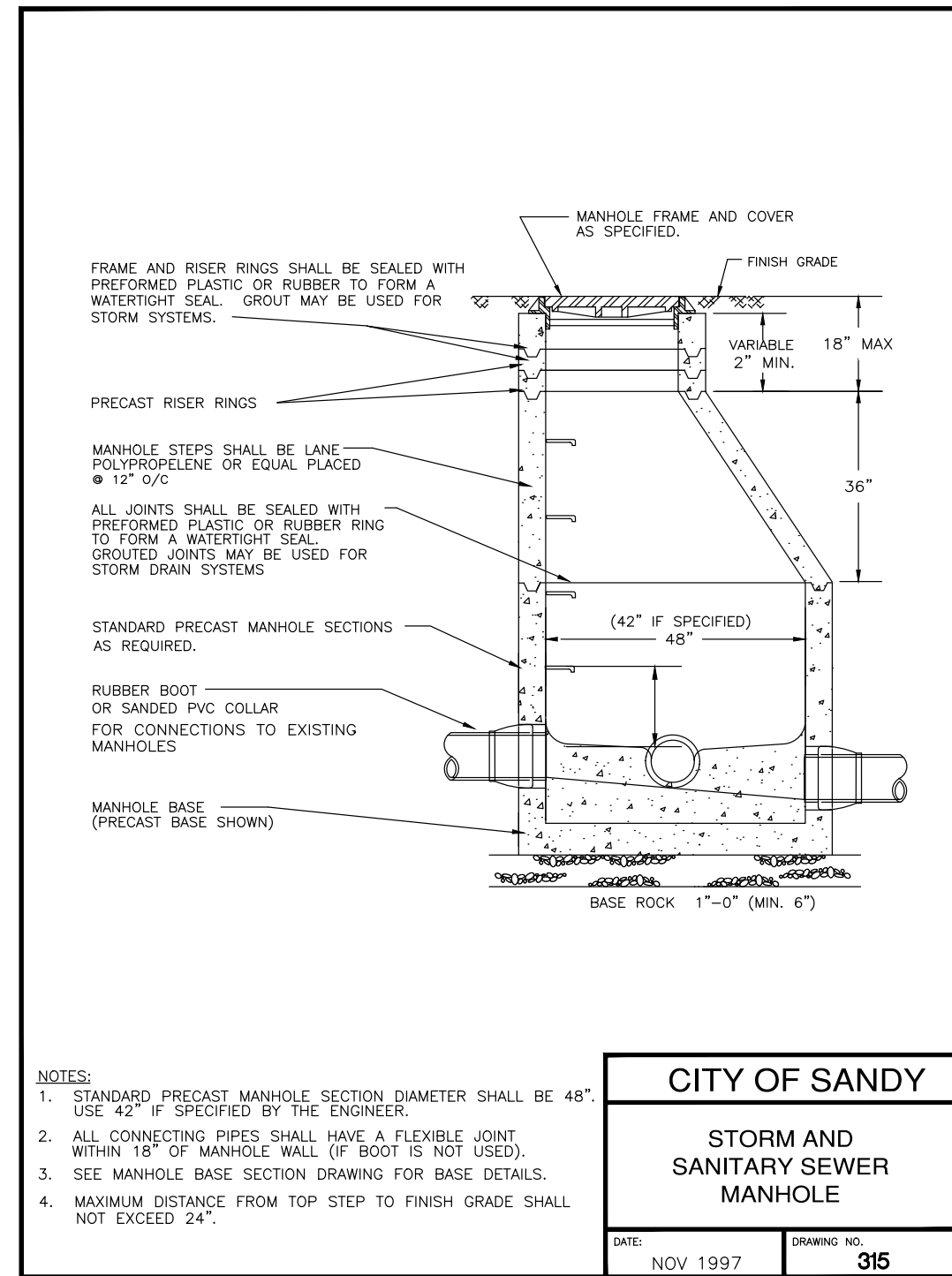
CITY OF SANDY
CURB AND WEEP HOLE
DATE: SEPT 1997 DRAWING NO: 203



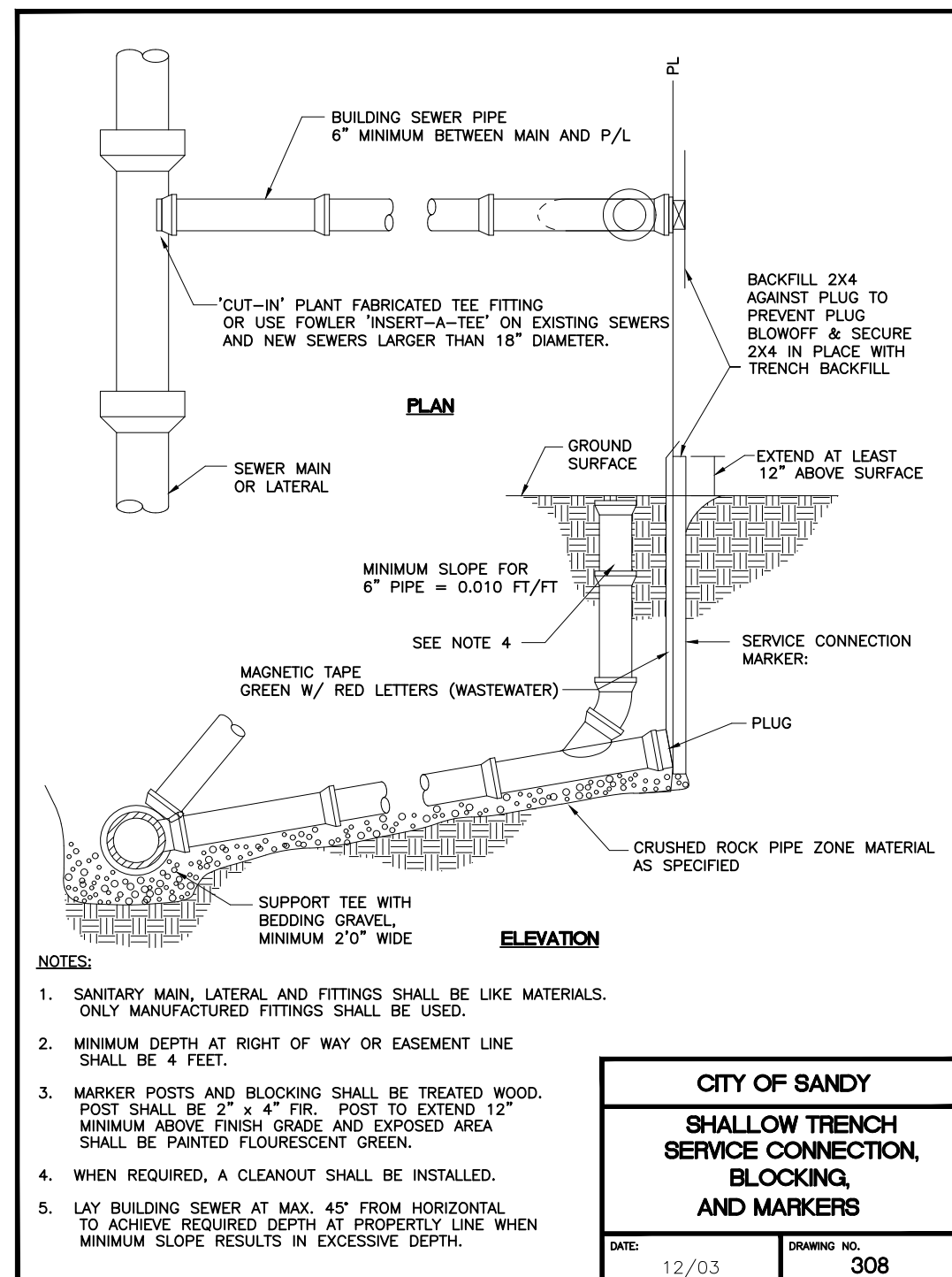
TRENCH BACKFILL, BEDDING AND PIPE ZONE
DATE: AUG 1996 DRAWING NO: 301



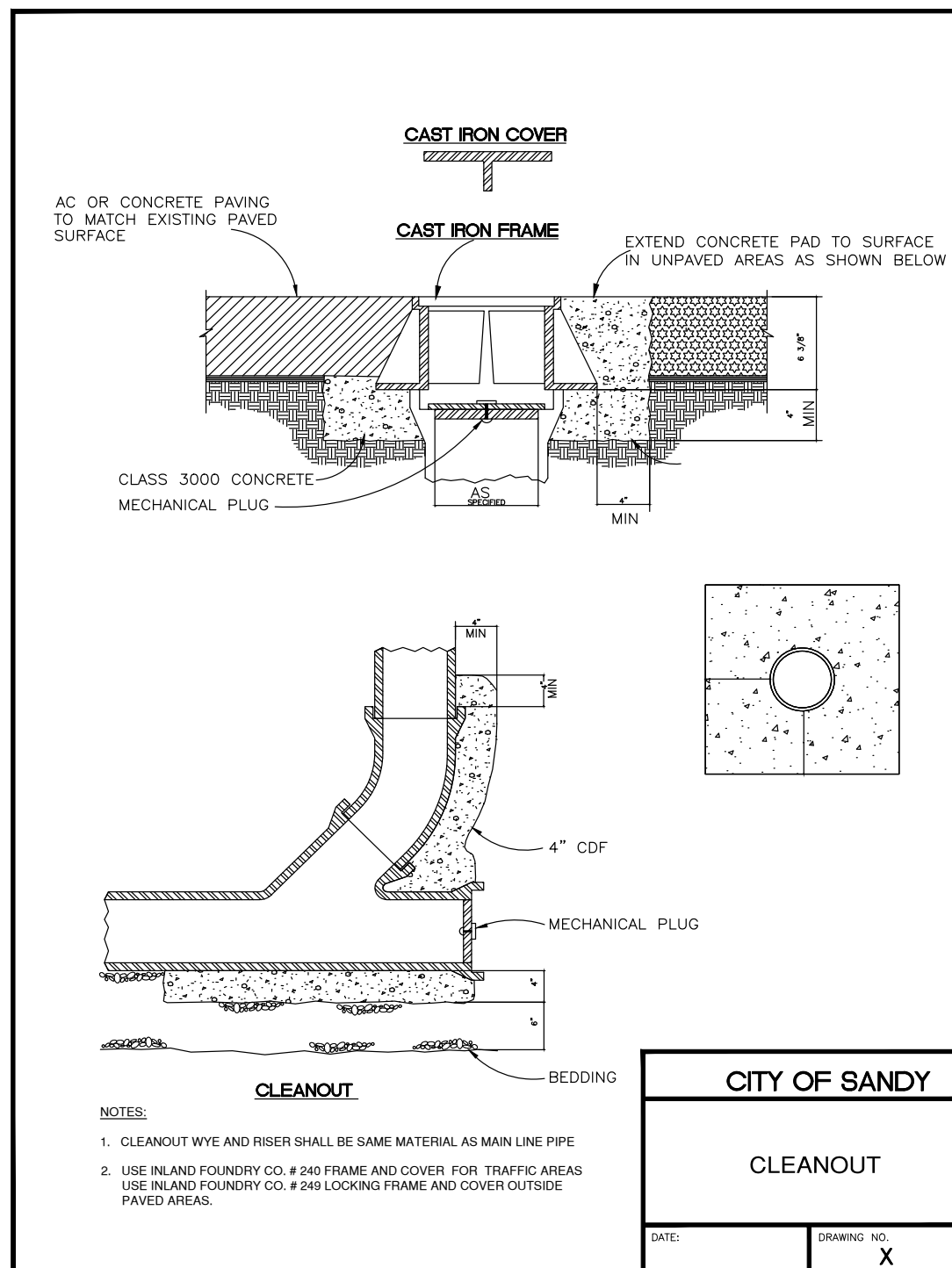
CITY OF SANDY
3/4\"/>



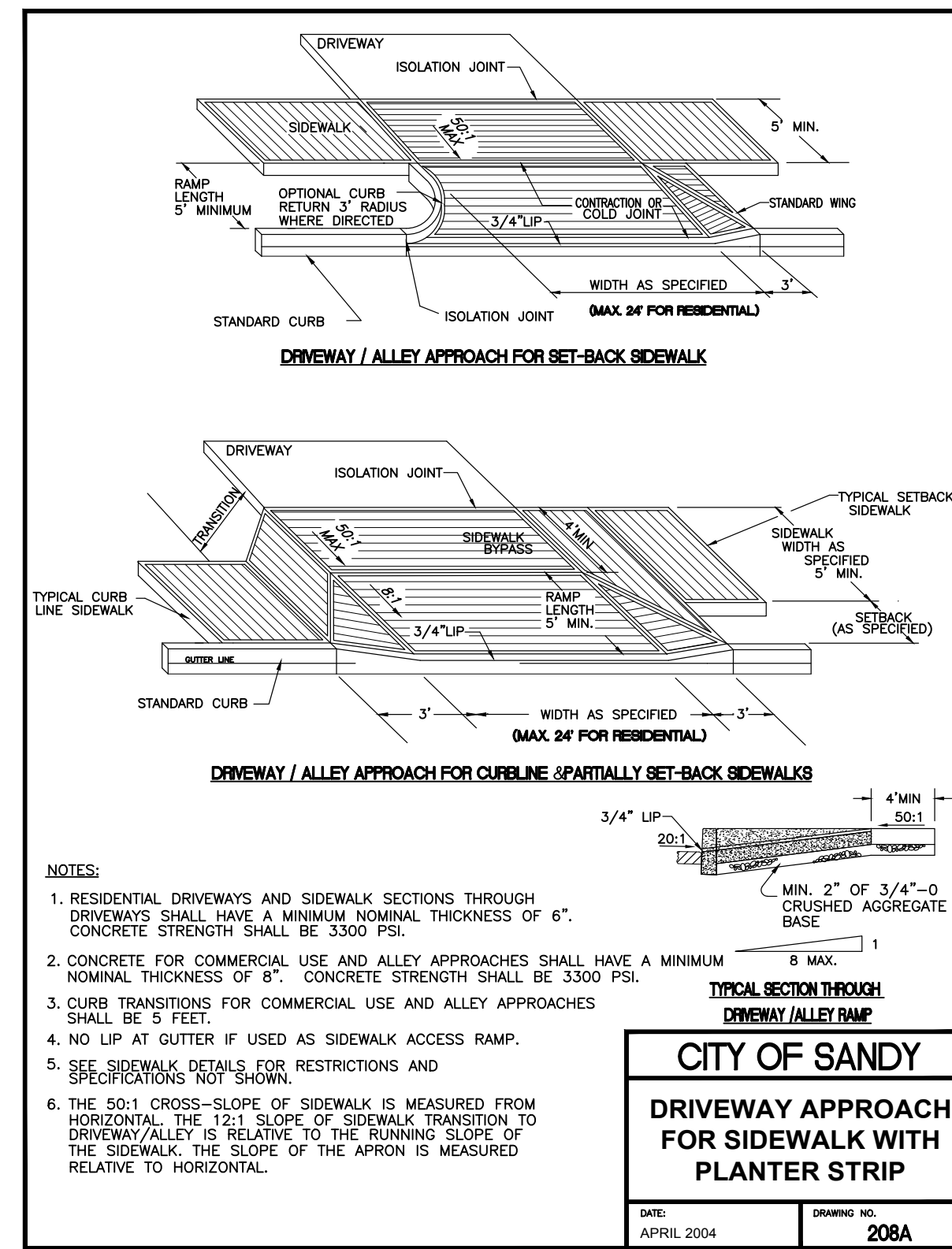
CITY OF SANDY
STORM AND SANITARY SEWER MANHOLE
DATE: NOV 1997 DRAWING NO: 315



CITY OF SANDY
SHALLOW TRENCH SERVICE CONNECTION, BLOCKING, AND MARKERS
DATE: 12/03 DRAWING NO: 308



CITY OF SANDY
CLEANOUT
DATE: DRAWING NO: X



CITY OF SANDY
DRIVEWAY APPROACH FOR SIDEWALK WITH PLANTER STRIP
DATE: APRIL 2004 DRAWING NO: 208A



PRELIMINARY

EXPIRES: 06/30/19
SIGNATURE DATE:

E16-055 DETAIL.S3.dwg 16:39 06/05/2019

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SANDY SELF STORAGE
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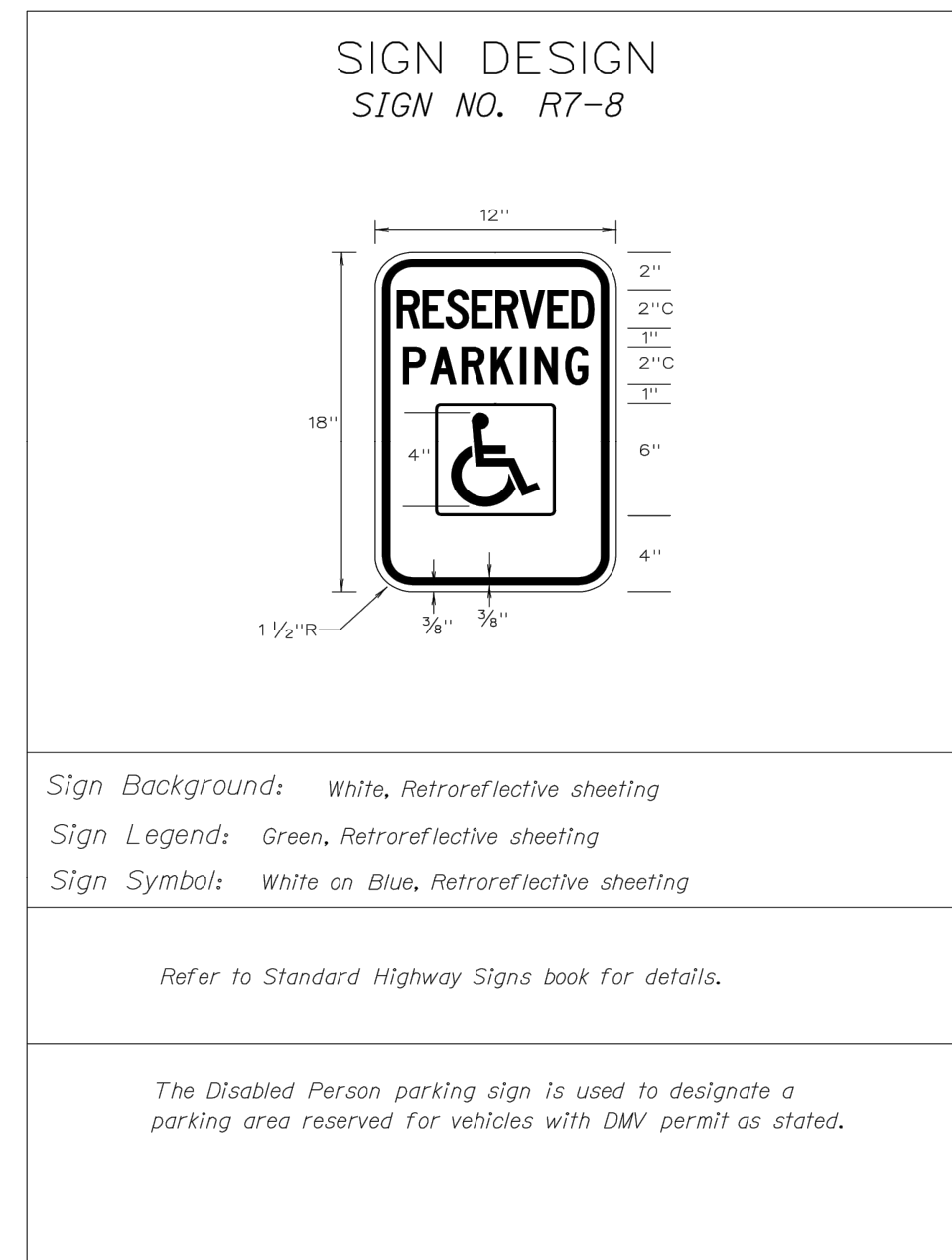
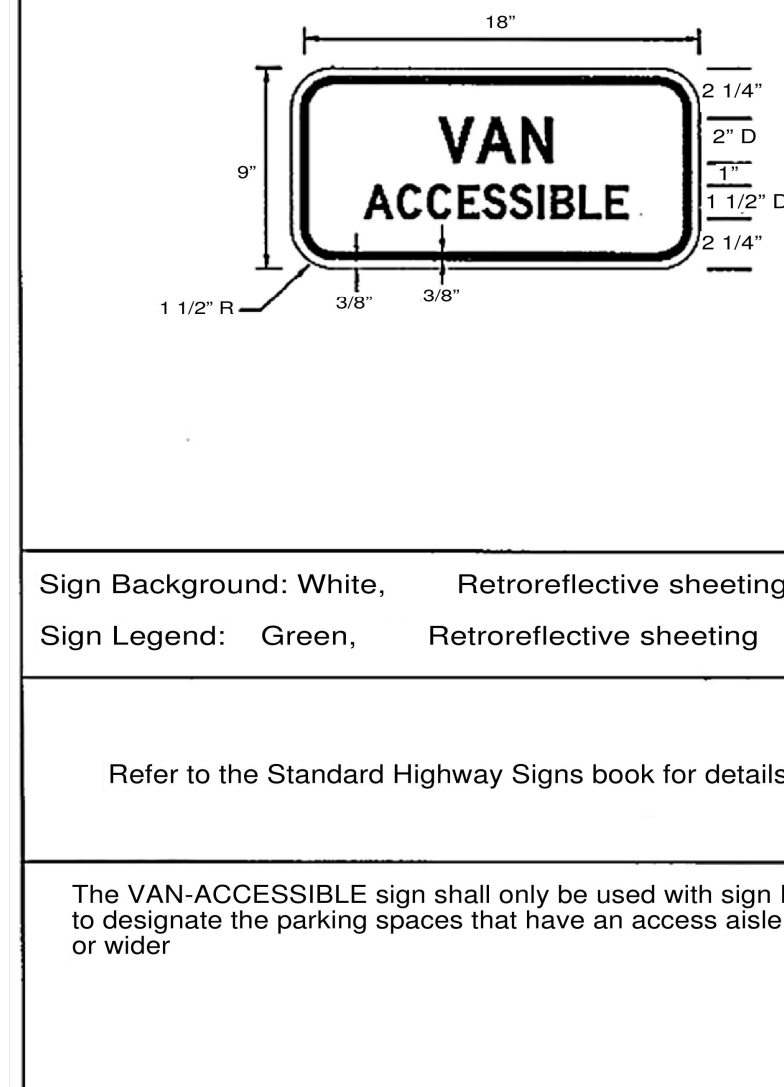


Figure 7

SIGN DESIGN
SIGN NO. R7-8P



For SI: 1 inch = 25.4 mm., 1 foot = 304.8 mm.

FIGURE 8

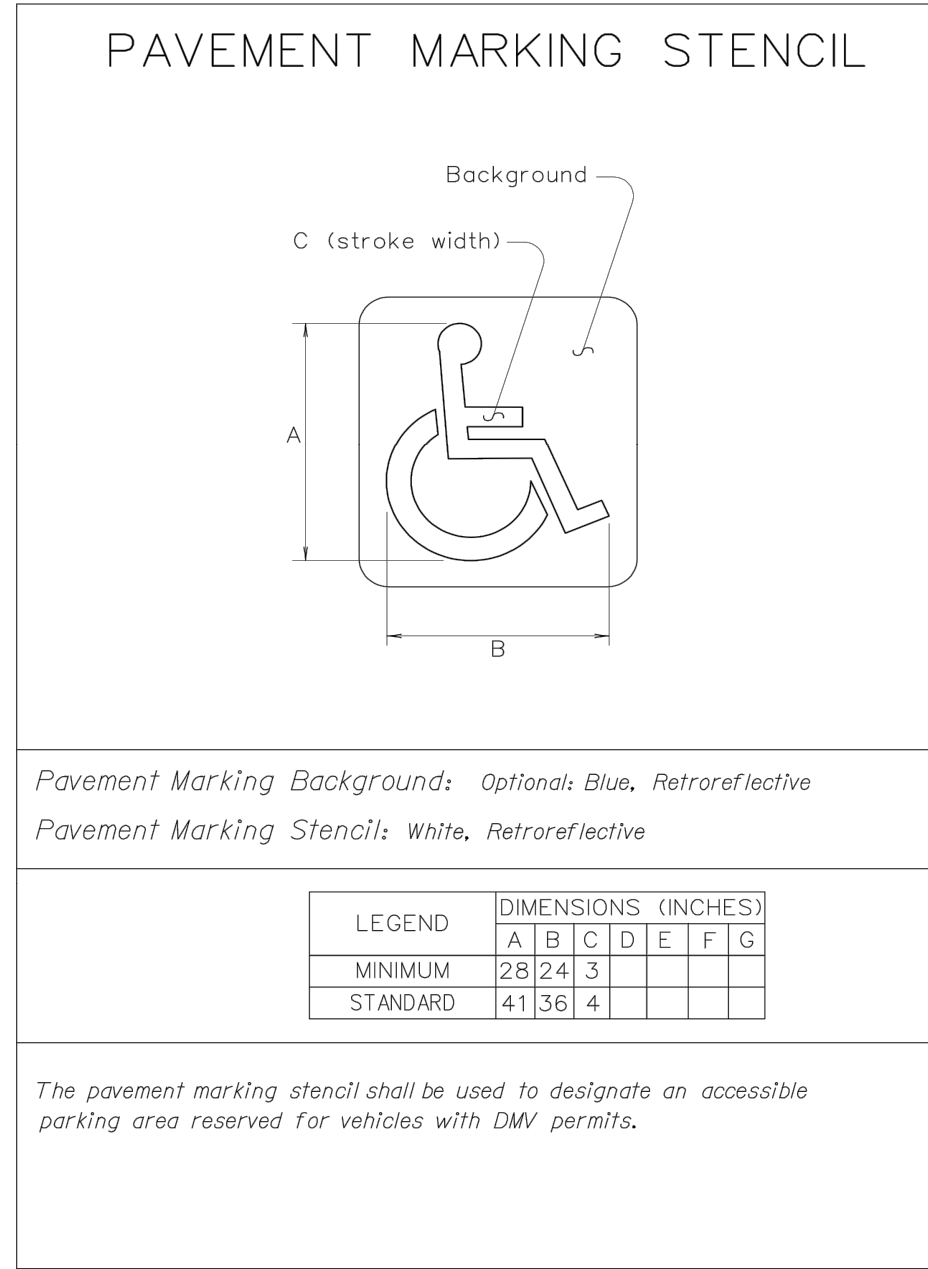


Figure 6

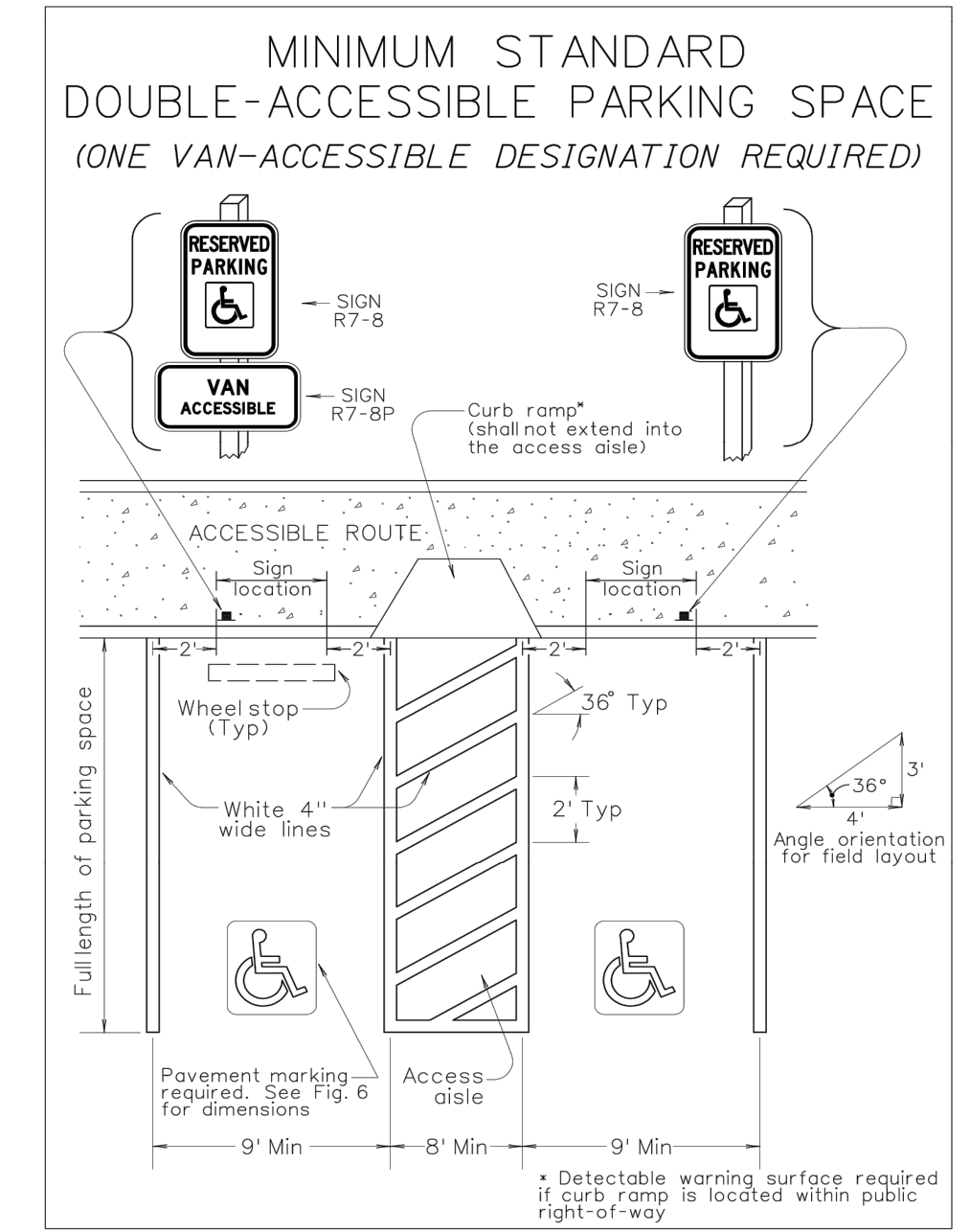
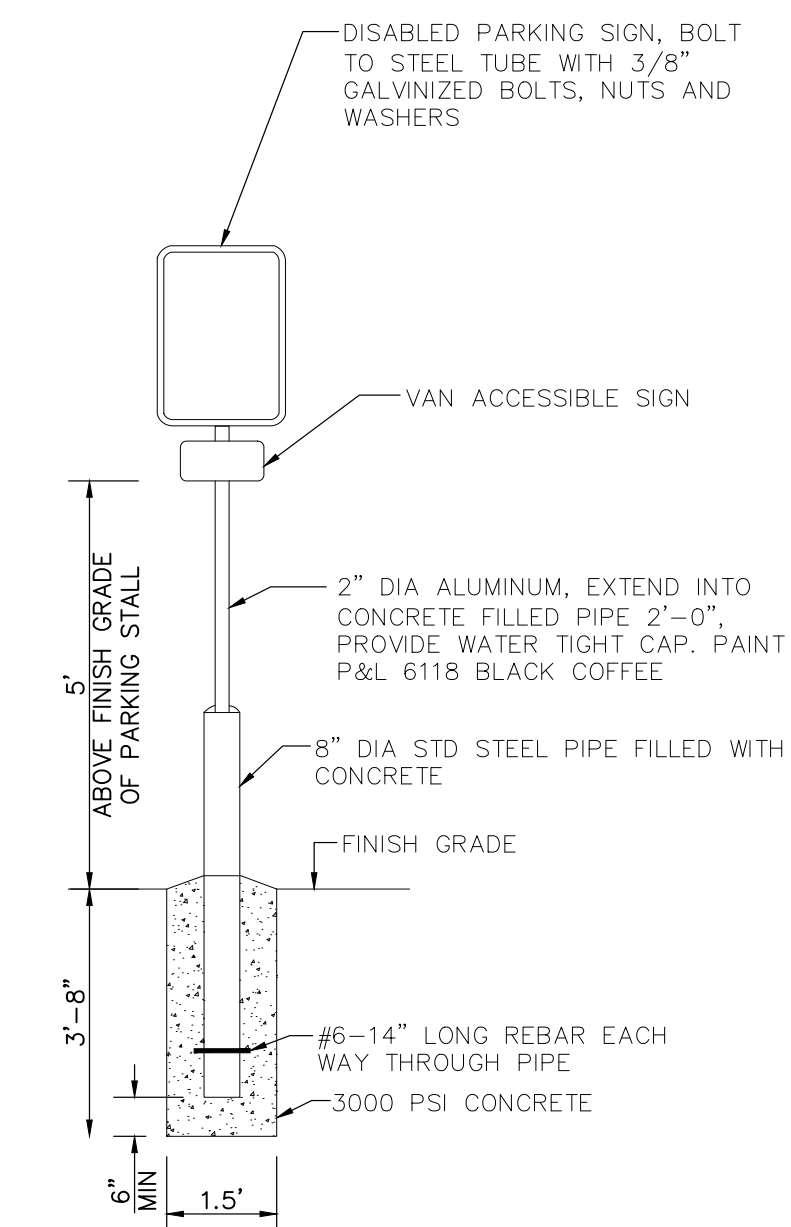


Figure 2



ADA SIGN INSTALLATION DETAIL

E16-055 ADA DETAILS.dwg 16:28 06/06/2019

DATE:	NO.	REVISION	DRAWN:	DESIGNED:	CHECKED:
			SCALE: AS SHOWN	DATE: JUN 2018	
			PROJECT NO. E16-055		

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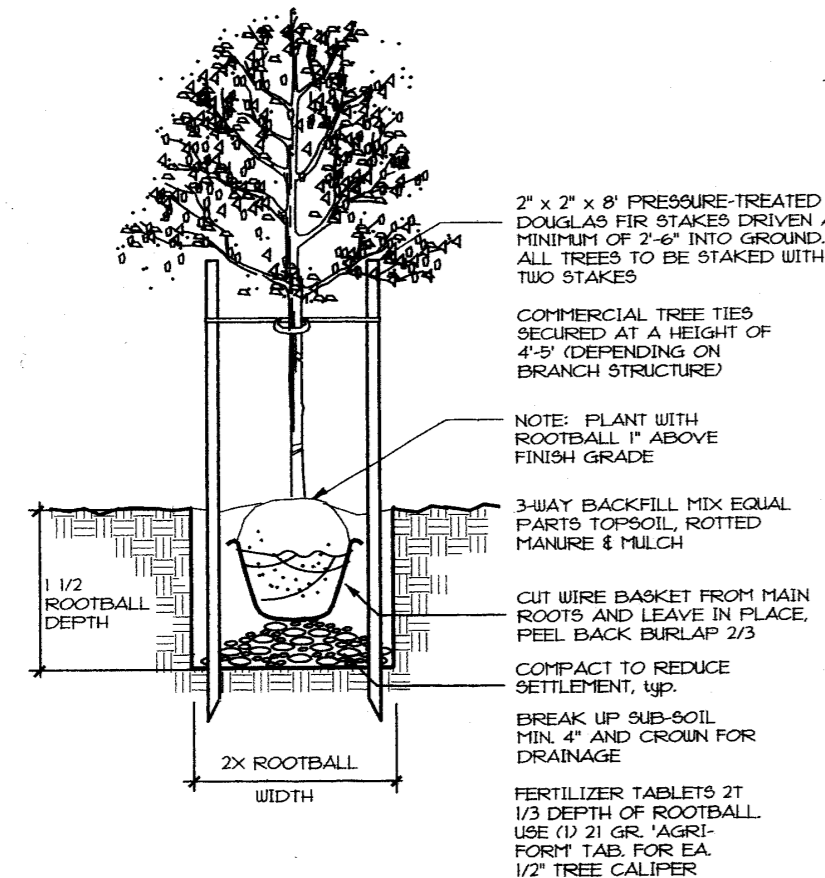
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SANDY, OREGON

PRELIMINARY
ADA DETAILS
SANDY SELF STORAGE
SANDY, OREGON

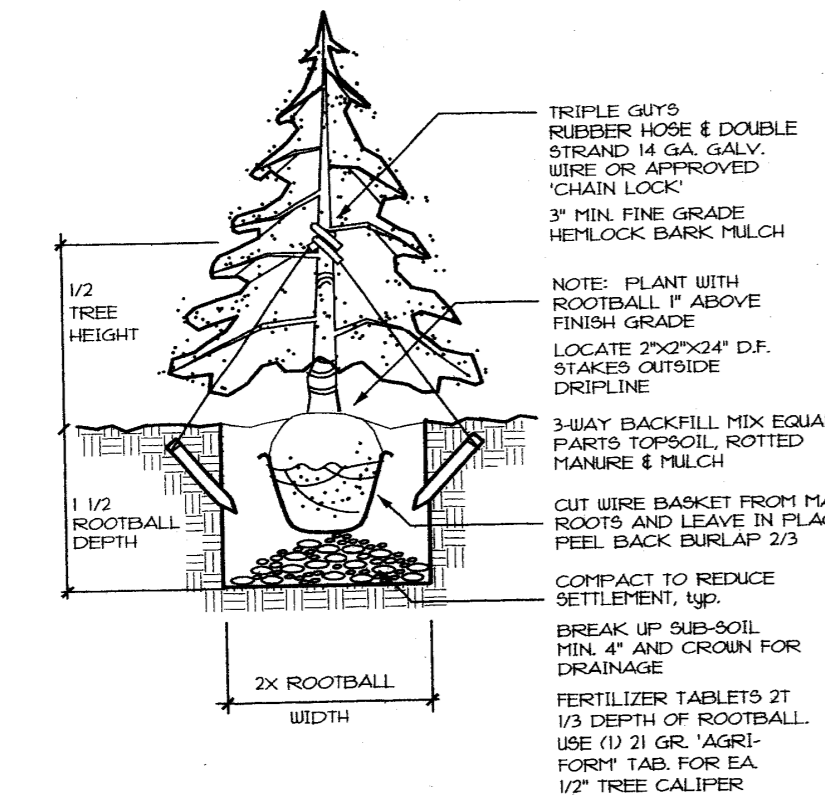


EXPIRES: 06/30/19
SIGNATURE DATE:

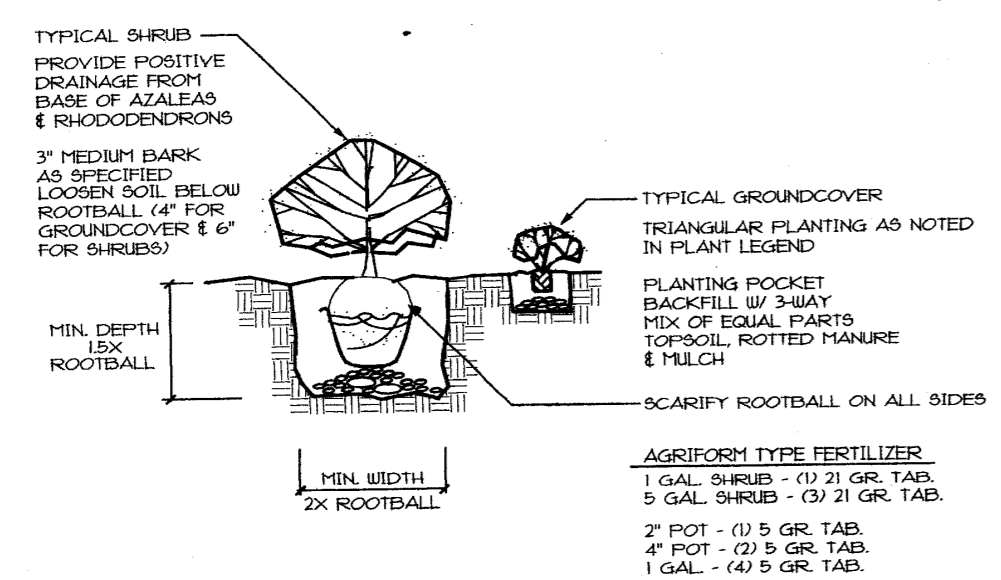
23
23



1 DECIDUOUS TREE PLANTING DETAIL
SECTION NTA



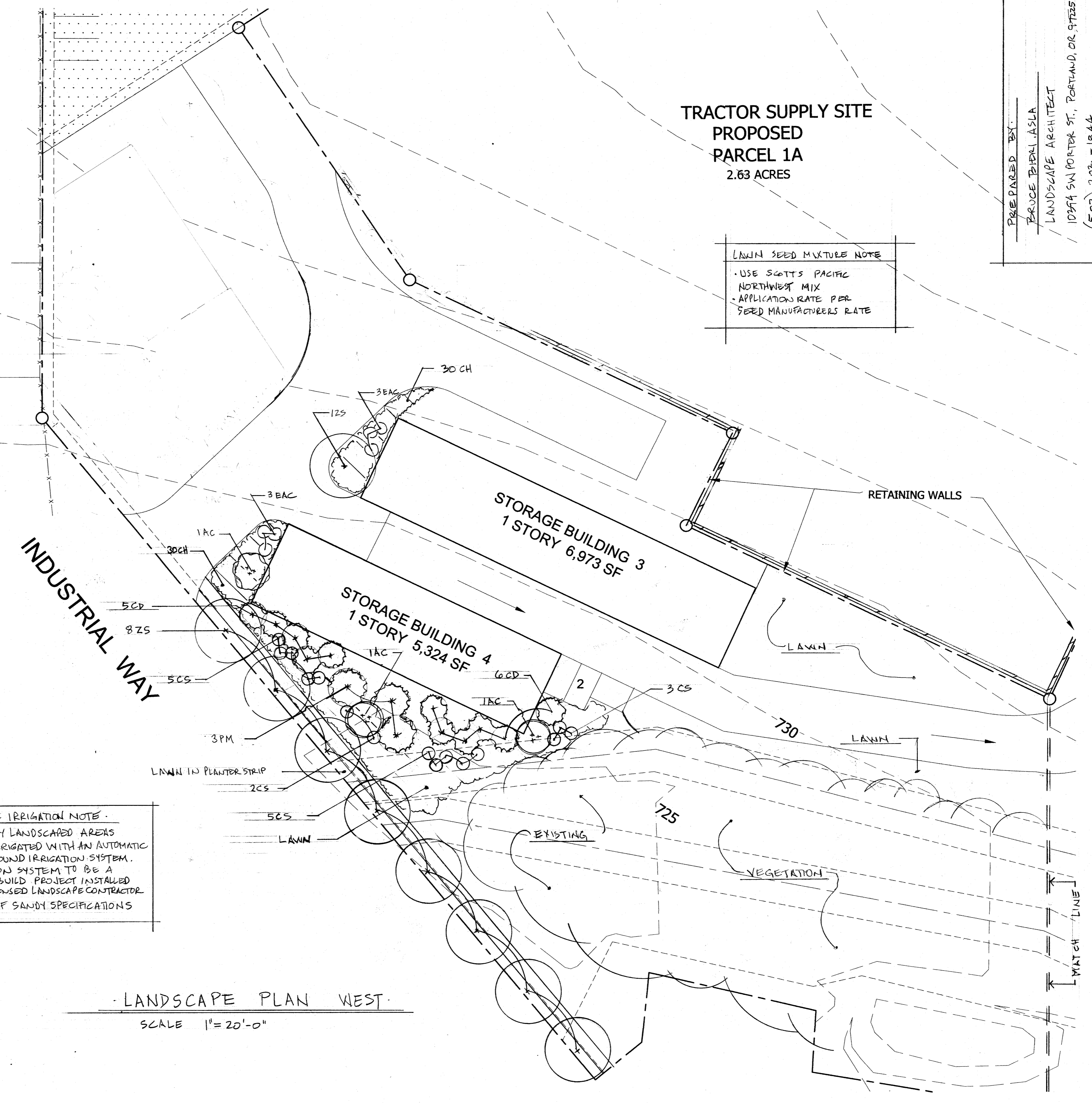
2 EVERGREEN TREE PLANTING DETAIL
SECTION NTA



3 SHRUB AND GROUNDCOVER DETAIL
SECTION NTA

LANDSCAPE IRRIGATION NOTE

- ALL NEWLY LANDSCAPED AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- IRRIGATION SYSTEM TO BE A DESIGN/BUILD PROJECT INSTALLED BY A LICENSED LANDSCAPE CONTRACTOR TO CITY OF SANDY SPECIFICATIONS



**TRACTOR SUPPLY SITE
PROPOSED
PARCEL 1A
2.63 ACRES**

LAWN SEED MIXTURE NOTE

- USE SCOTT'S PACIFIC NORTHWEST MIX
- APPLICATION RATE PER SEED MANUFACTURERS RATE

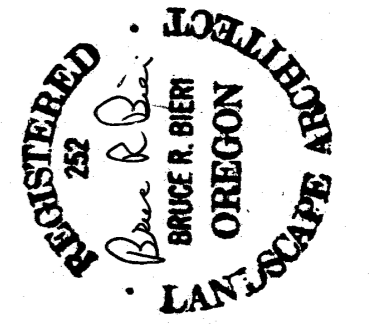
PREPARED BY:
PRUCHE BIPENI ASLA
LANDSCAPE ARCHITECT
10374 SW PORTER ST., PORTLAND, OR, 97225
(503) 203-1844

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WHITNEY & ASSOCIATES
ARCHITECTS P.C.

52 NW 2ND STREET
GRESHAM, OR 97030
T: 503.667.4252 | F: 503.618.9842



SANDY STORAGE
SANDY, OREGON

REVISIONS

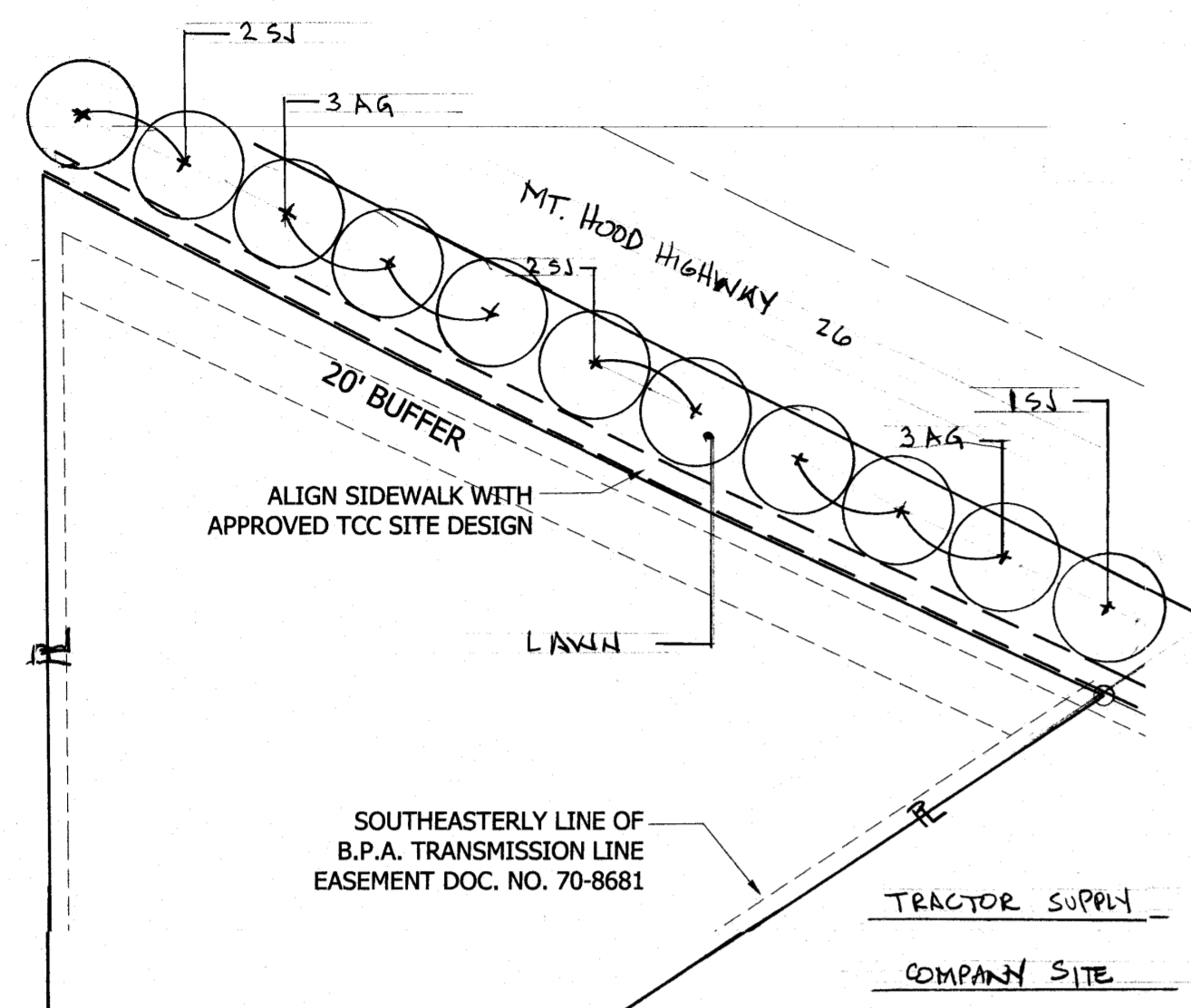
No.	Description	Date
1	SITE PLAN	
2	LANDSCAPE	10-8-18

DRAWN BY: BB
CHECKED BY: BB
JOB NO: 17-034
DATE: 9/12/18
ISSUED FOR: DESIGN REVIEW

SHEET TITLE
LANDSCAPE PLAN

SHEET NO.
L2

LANDSCAPE PLAN WEST
SCALE 1" = 20'-0"



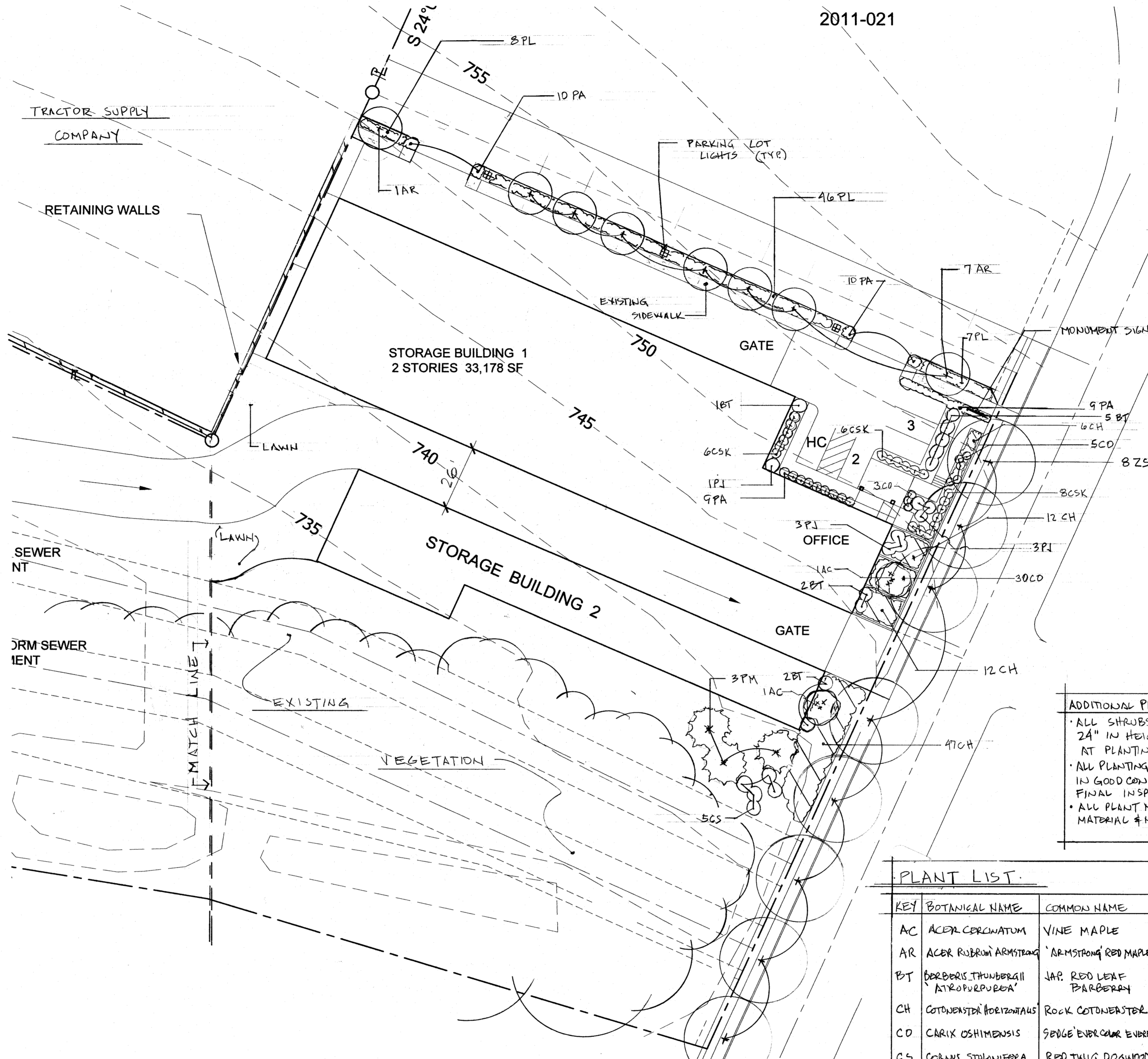
STREET TREES

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUAN.	MATURE HEIGHT
AG	ACER GINMALA	AMUR MAPLE	2 1/2" cal	6	20'
SJ	STYRAX JAPONICA	JAPANESE SNOWBELL	2 1/2" cal	5	25'

STREET TREE PLANTING AT HIGHWAY 26 FRONTAGE
SCALE 1" = 40' - 0"

LANDSCAPE SPECIFICATIONS

PROVIDE SCHEDULE 40 3" ID. SLEEVES AT ALL WALKS FOR IRRIQ. PIPES
 QUALITY: PROVIDE TREES, SHRUBS AND OTHER PLANTS COMPLYING WITH THE REQUIREMENTS AND RECOMMENDATIONS OF ANSI Z60.1 STANDARDS FOR NURSEY STOCK, AND AS FURTHER SPECIFIED
 SIZE: PROVIDE TREES AND SHRUBS OF THE NEXT HIGHER OR SPECIFIED TREE AND SHRUBS OF LARGER SIZE. MAY BE USED IF SIZE OF ROOTS OR BALLS ARE INCREASED PROPORTIONATELY.
 TREES AND SHRUBS: PROVIDE FREELY DUG TREES AND SHRUBS. DO NOT USE TREES OR SHRUBS WHICH HAVE DAMAGED BARK, BREAK BRANCHES, OR DESTROYED NATURAL SHAPES.
 PREPARATION: MUST HAVE THE SUBGRADE TO THE SPECIFIED PLANT ELEVATION. OBSERVE THE CONDITIONS EXIST AT WORK. DO NOT BE PRECIPITATED. DO NOT MIX WITH THE SOIL UNTIL SATISFACTORY CONDITIONS EXIST OR ANY OTHER WORK HAS BEEN COMPLETED.
 PROCEED WITH AND COMPLETE WORK AS RAPIDLY AS PORTIONS OF THE SITE BECOME AVAILABLE WORKING WITHIN THE REASONABLE LIMITATIONS FOR EACH KIND OF LANDSCAPE WORK REQUIRED.
 PREPARATION OF PLANTING BEDS: PROVIDE BED AREAS TO A MINIMUM DEPTH OF 6 INCHES USING A ROTOTILLER OR LOOSEN SUBGRADE TO A DEPTH OF 18 INCHES OVER 1 FT IN ANY DIMENSION AND STOCK AND STONES, RUBBERBAND AND OTHER EXTRANEIOUS MATTER.
 SPREAD PLANTING SOIL MIXTURE TO THE MINIMUM DEPTH REQUIRED TO MEET LINES, GRADES AND ELEVATION INDICATED. AFTER LIGHT BULBS AND NATURAL SETTLEMENT, PLACE AMMOCOR AND STOCK AND STONES, RUBBERBAND AND OTHER EXTRANEIOUS MATTER.
 PREPARATION OF PLANTING SOIL: REMOVE ALL DEBRIS, ROOTS, PLANTS, SOILS, CLAY, LIMES AND OTHER EXTRANEIOUS MATERIALS FROM PLANTING BEDS. PLANTING SOIL MIXTURE WILL NOT FOLLOW PLACING OF PLANTING SOIL WITHIN SEVEN DAYS OF PLANTING. TOP SOIL SHALL BE PLACED IN PLANTING BEDS PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING.
 SCHEDULE OF PLANTING AND SOIL MIXTURE REQUIREMENTS:
 FOR PLANTING BEDS PROVIDE NOT LESS THAN THE FOLLOWING QUANTITIES OF SPECIFIED MATERIALS:
 1/2 CUP MEAL FOR ONE GALLON CONTAINER PLANTS
 1/2 CUP BONE MEAL FOR 5 GALLON CONTAINER PLANTS AND TREES
 1/2 CUP BONE MEAL FOR 5 GALLON CONTAINER PLANTS AND TREES
 PLANT TAGS AS PER MANUFACTURERS DIRECTIONS
 EXCAVATION FOR TREES AND SHRUBS:
 EXCAVATE WITH VERTICAL SIDES WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER OF TREE OR SHRUB. LOOSEN SUBSOIL IN BOTTOM OF EXCAVATION. BALL DIAMETER AND EQUAL TO THE BALL DEPTH PLUS THE FOLLOWING ALLOWANCE FOR SETTING OF BALLS ON A LAYER OF CONTRACTED BACKFILL. ALLOW FOR SETTING OF PLANTING SOIL OR USE OF BACKFILL. REMOVE EXCESS BACKFILL FROM EXCAVATION. FILL AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.
 PLANTING TREES AND SHRUBS:
 SET BALLS AND STRAPPED STOCK ON LAYER OF CONTRACTED PLANTING SOIL. EXTREME PLANTS AND IN CENTER OF PIT OR TRENCH WITH TOP OF BALL AT 1 INCH ABOVE ELEVATION OF ADJACENT FINISH GRADE. WHEN SET, PLACE ADDITIONAL BACKFILL MATERIAL. 3/4 BALL WATER THROUGHOUT. FILL PLACING REMAINDER OF BACKFILL MATERIAL UNTIL TO TOP OF EXCAVATION. WATER AGAIN AS PER PLACING PLANTING SOIL.
 SET CONTAINER GROWN STOCK AS SPECIFIED FOR BALLS. AND BURNAL STOCK EXCEPT CUT GAINS ON 3 SIDES WITH AN APPROVED GAIN CUTTER. REMOVE EXCESS BACKFILL. REMOVE EXCESS BACKFILL. FILLING SO AS NOT TO DAMAGE ROOT BALLS.
 FOR PLANTING PLANTS PROVIDE ADDITIONAL BACKFILL BENEATH EDGE OF EXCAVATIONS TO FORM A BURNAL SAUCER TO COLLECT WATER.
 MULCH WITH TREES AND PLANTED AREAS. MULCH NOT LESS THAN 2 INCH THICKNESS OF MULCH AND WORK INTO TOP OF BACKFILL AND LEVEL TO ADJACENT FINISH GRADES.
 PRUNE THIN OUT AND SHAPE TREES AND SHRUBS IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. PRUNE TREES TO RETAIN REQUIRED HEIGHT AND SPREAD. DO NOT CUT TREE LEADERS AND REMOVE ONLY INURED OR DEAD BRANCHES.
 SET AND STAKE TREES IMMEDIATELY AFTER PLANTING AS PER DETAIL.
 BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.
 MAINTAIN TREES AND SHRUBS AND OTHER PLANTS UNTIL FINAL ACCEPTANCE BUT IN NO CASE LESS THAN SEVEN (7) DAYS AFTER PLANTING. MAINTAIN TREES AND SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS.
 TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
 SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE FROM INSECTS AND DISEASE.
 DURING LANDSCAPE WORK, STAKE MATERIALS AND EQUIPMENT WHERE DIRECTED. KEEP PAYMENT CLEAN AND WORK AREA AS ORDERED.
 PROTECT LANDSCAPE AREA AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS. OPERATIONS BY OTHER CONTRACTORS AND TRADE AND TREATMENTS. MAINTAIN PROTECTIVE COVERING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED.
 INSTRUCTIONS AND ACCEPTANCE: MAINTENANCE IS COMPLETED. THE BUILDER OR GENERAL CONTRACTOR SHALL NOTIFY OWNER OF FURTHER REQUIREMENTS.



LANDSCAPE PLAN EAST
SCALE 1" = 20'



PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUAN.	COMMENTS
AC	ACER CERULATUM	VINE MAPLE	6-8" H	5	MULTI-TRUNKED
AR	ACER RUBRUM ARMSTRONG	'ARMSTRONG' RED MAPLE	2 1/2" cal	3	SPECIMEN
BT	BERBERIS THUNBERGII 'ATROPURPUREA'	JAP. RED LEAF BARBERIS	3" cal	19	WELL BRANCHED
CH	COTONASTER HORIZANTIS	ROCK COTONASTER	1" cal	331	PLANT 4' OC.
CD	CARIX OSHIMENSIS	SENGE ENDOUR EMBER	1" cal	38	WELL BRANCHED
CS	CORNUS STOLONIFERA	RED TWIG DOGWOOD	3" cal	20	WELL BRANCHED
CK	CORNUS STOLONIFERA 'KELSEYII'	'KELSEY' RED TWIG DOGWOOD	1" cal	20	WELL BRANCHED
ERC	EVONYMUS ALATA COMPACTA	COMPACT BURLEIGH BUSH	3" cal	11	WELL BRANCHED
CD	CALOCEDRUS DECURENS	INCENSE CEDAR	5-6" H	11	WELL BRANCHED
PA	PENNSETUM ALOPECUROIDES 'HAMELI'	'HAMELI' MOUNTAIN GRASS	1" cal	38	WELL BRANCHED
PI	PIERIS JAPONICA 'MOUNTAIN FIRE'	'MOUNTAIN FIRE' ANDROMEDA	3" cal	7	WELL BRANCHED
PL	PRUNUS LAUROCEASUS 'OTTOLIKEN LAUREL'	OTTOLOKEN LAUREL	2" cal	61	WELL BRANCHED
PM	PSEUDOTSUGA MENDZESII	DOUGLAS FIR	6" H	6	WELL BRANCHED
ZS	ZELKONA SERRATA	'SANDER' ZELKONA	2 1/2" cal	16	SPECIMEN

ADDITIONAL PLANTING NOTES:
 • ALL SHRUBS SHALL BE A MINIMUM OF 24" IN HEIGHT FROM FINISH GRADE AT PLANTING.
 • ALL PLANTINGS TO BE GUARANTEED TO BE IN GOOD CONDITION FOR ONE YEAR AFTER FINAL INSPECTION.
 • ALL PLANT MATERIAL TO BE NURSEY GROWN MATERIAL & MEET ANSI STANDARDS.

REVISIONS

No.	Description	Date
1	GT TREES	12-7-18
2	PLANT LIST	10-8-19

DRAWN BY: BB
 CHECKED BY: EBE
 JOB NO: 17-034
 DATE: 9/12/18
 ISSUED FOR: DESIGN REVIEW

SHEET TITLE
 LANDSCAPE PLAN EAST

SHEET NO.
L1

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 SANDY, OREGON

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DESIGN GROUP
 ARCHITECTURE & ENGINEERING, INC.
 11104 S.E. STARK STREET
 PORTLAND, OR 97216
 T: 503.284.0988 | F: 503.546.9276

SANDY VAULT
 CHAMPION WAY
 SANDY, OR 97055

REVISIONS

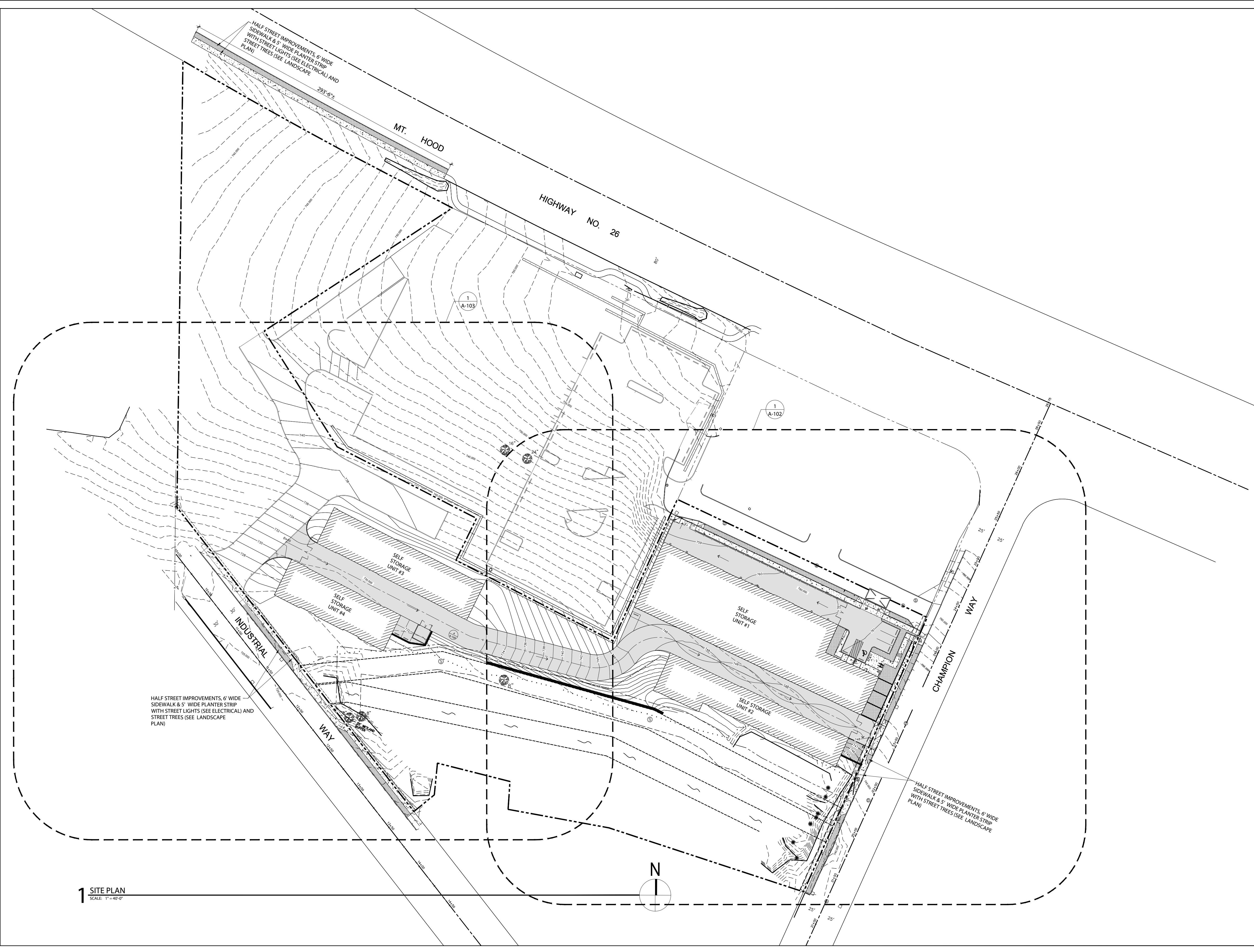
No.	Description	Date

DRAWN BY: FN
 CHECKED BY: DH
 JOB NO: 17-034
 DATE: 06/19/2019
 ISSUED FOR: 75% PROGRESS

SHEET TITLE
 SITE PLAN

SHEET NO.

A-101



S:\Project\2017\Projects\17-034_Sandy_Vault\Drawings\F2_Current\CAD\Value Engineering\A-101 - 17-034 - Site Plan.dwg © Plot Date: Nov 12 19:01 Time: 9:14 AM

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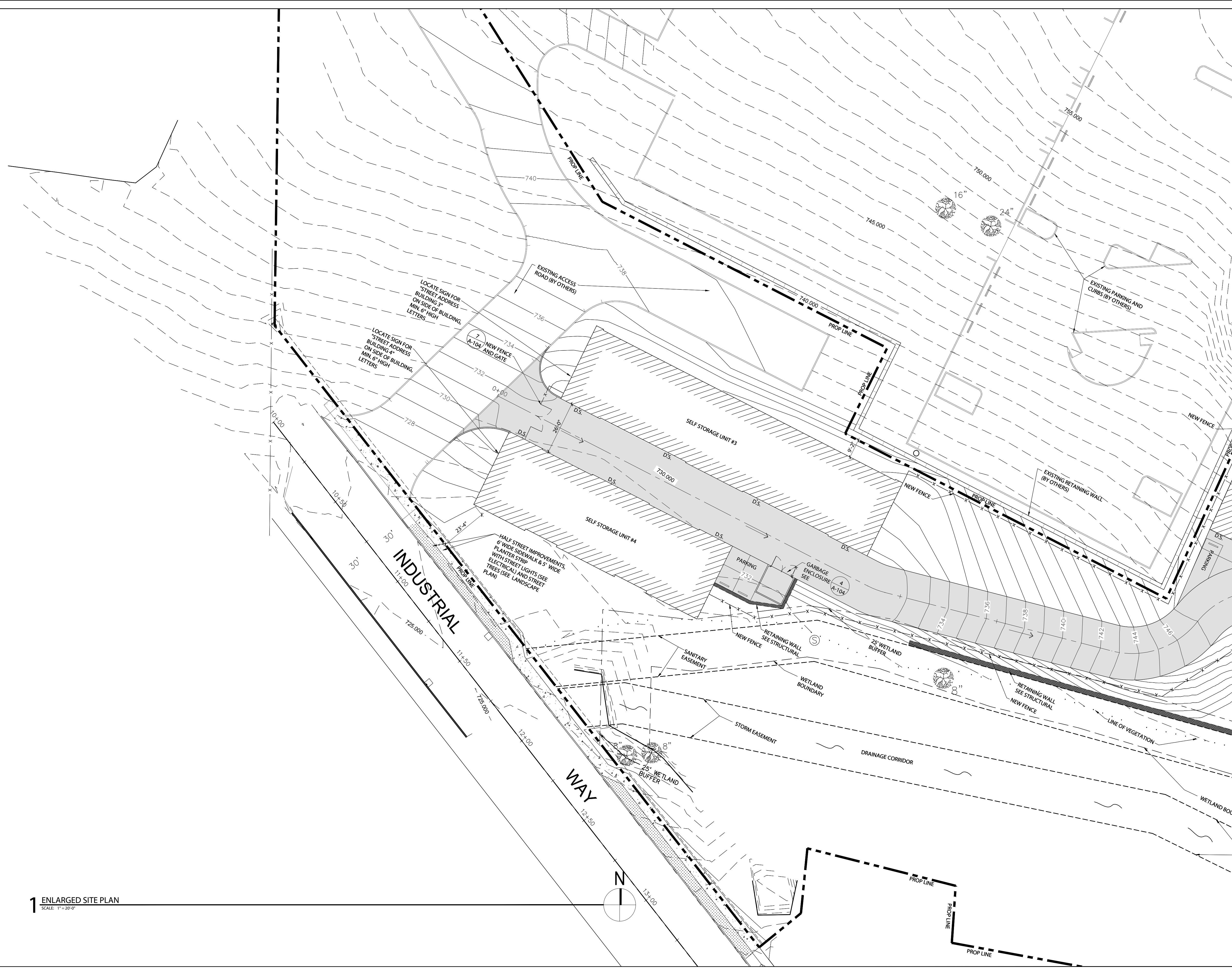
No.	Description	Date

DRAWN BY: FN
 CHECKED BY: DH
 JOB NO: 17-034
 DATE: 06/19/2019
 ISSUED FOR: 75% PROGRESS

SHEET TITLE
 ENLARGED SITE PLAN

SHEET NO.

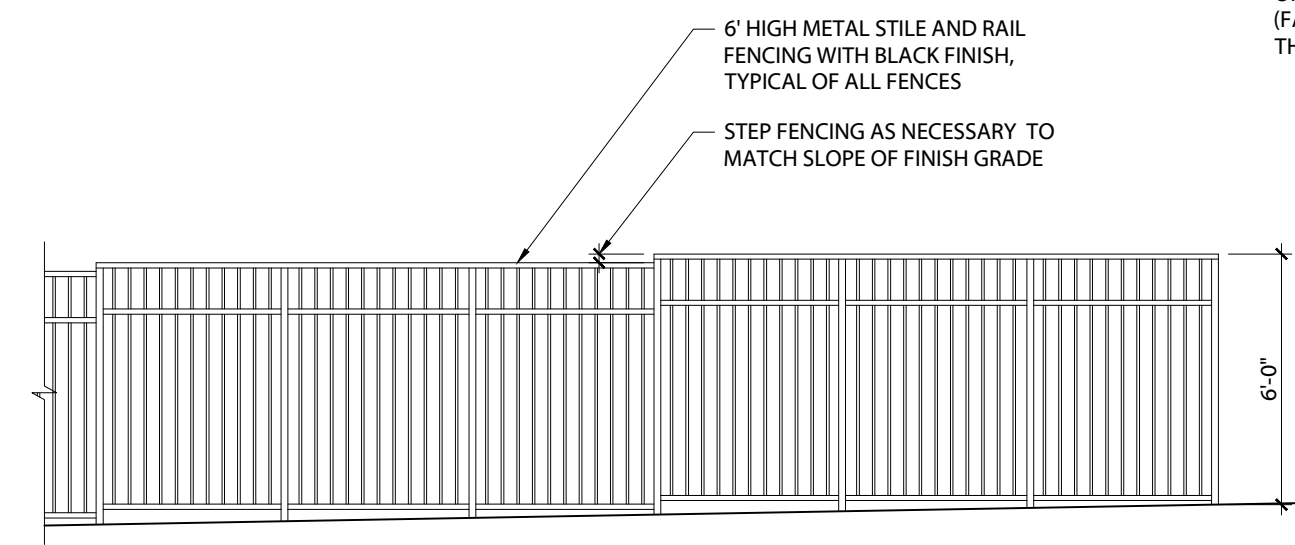
A-103



1 ENLARGED SITE PLAN
 SCALE: 1" = 30'-0"

S:\Project\2017\Project\17-034_Sandy_Vault\Drawings\F2_Current\CAD\Value Engineering\A-103 - 17-034 - Enlarged Site Plan.dwg © Plot Date: Oct 30 19 00 Time: 1:49 PM

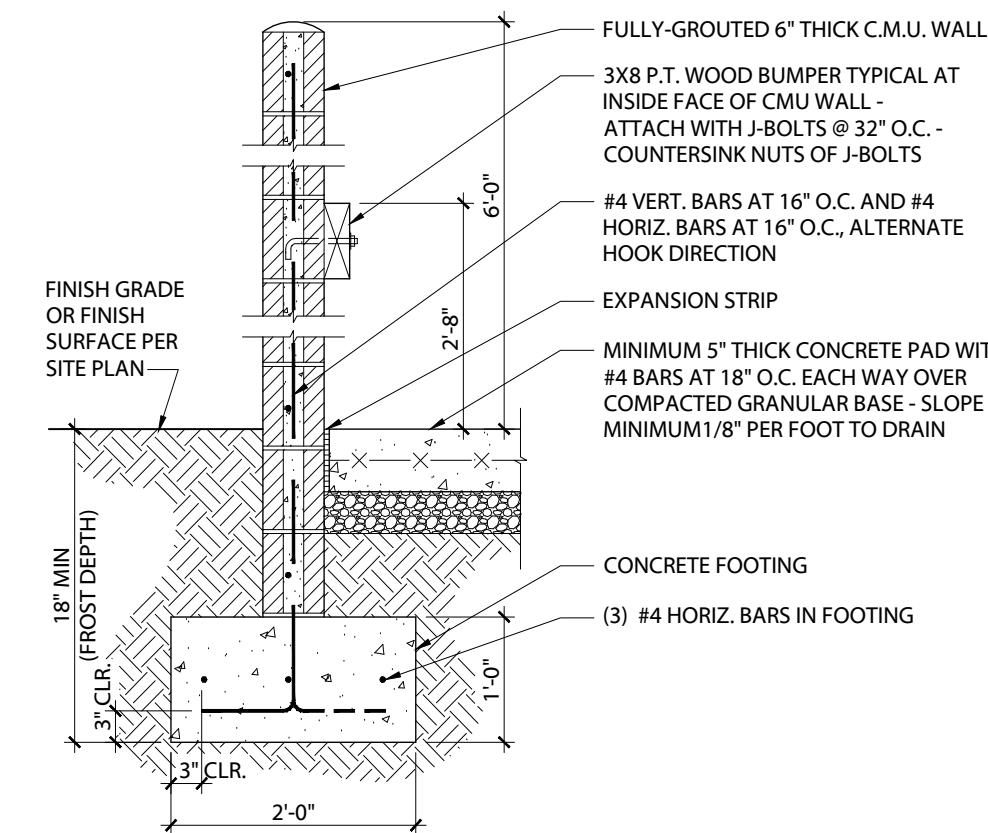
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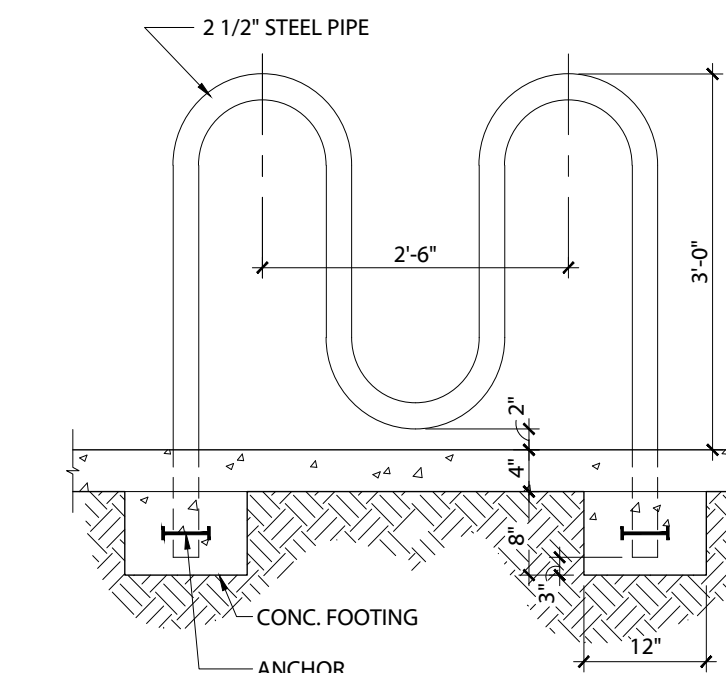
EAST ELEVATION AT GATE

NOTE: THESE DRAWINGS INDICATE DESIGN INTENT ONLY. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL. SHOP DRAWINGS SHALL PROVIDE DETAILS FOR FENCE MEMBER SIZES, METHOD OF ATTACHMENT (WELDS/FASTENERS), AND FINISH (FACTORY-, SHOP-, OR FIELD-APPLIED TYPE OF COATING THAT IS DURABLE AND WEATHER-RESISTANT).

7 ELEVATIONS AT FENCING
SCALE: 1/4" = 1'-0"

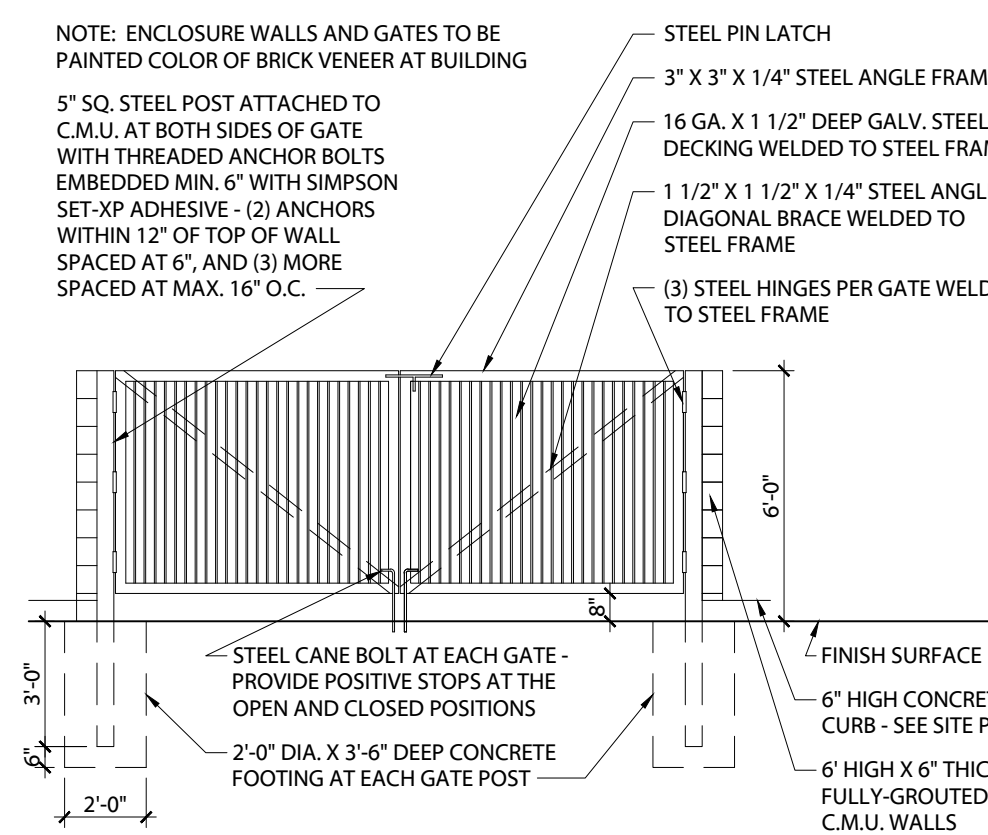


6 TRASH ENCLOSURE WALL SECTION
SCALE: 3/4" = 1'-0"

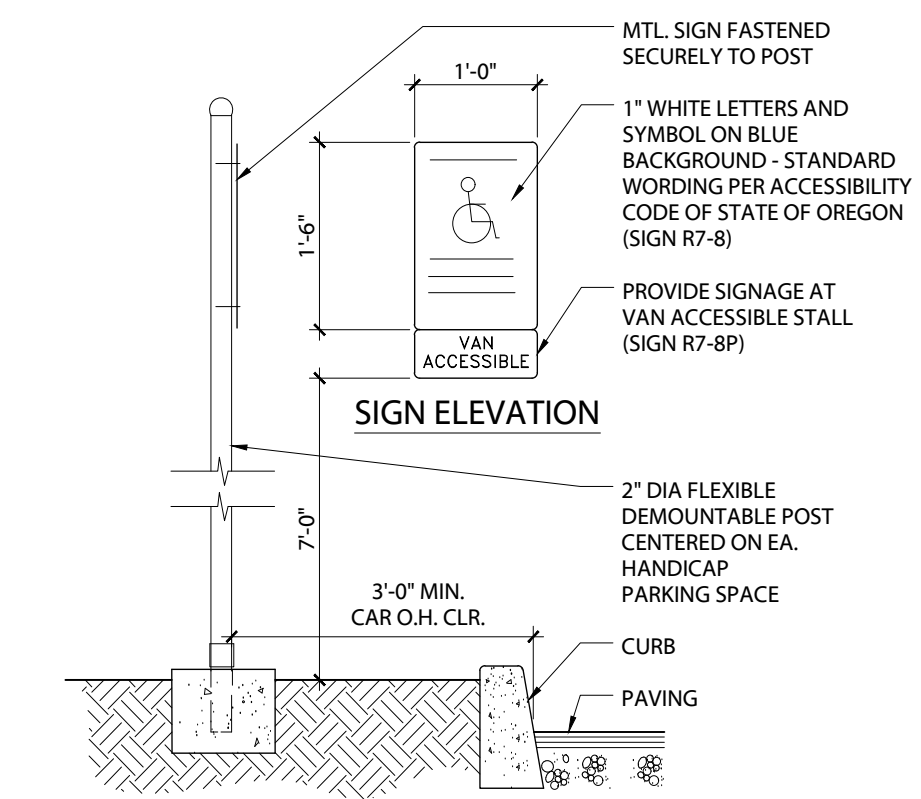


SPACES FOR (2) BIKES

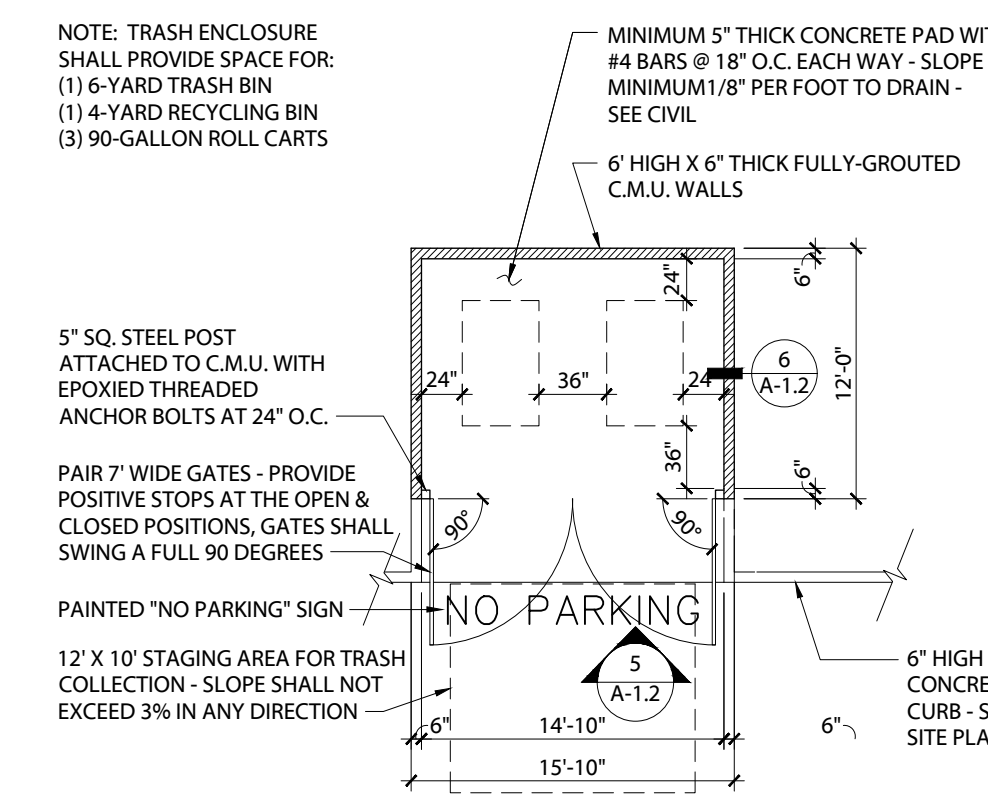
3 BIKE RACK
SCALE: 3/4" = 1'-0"



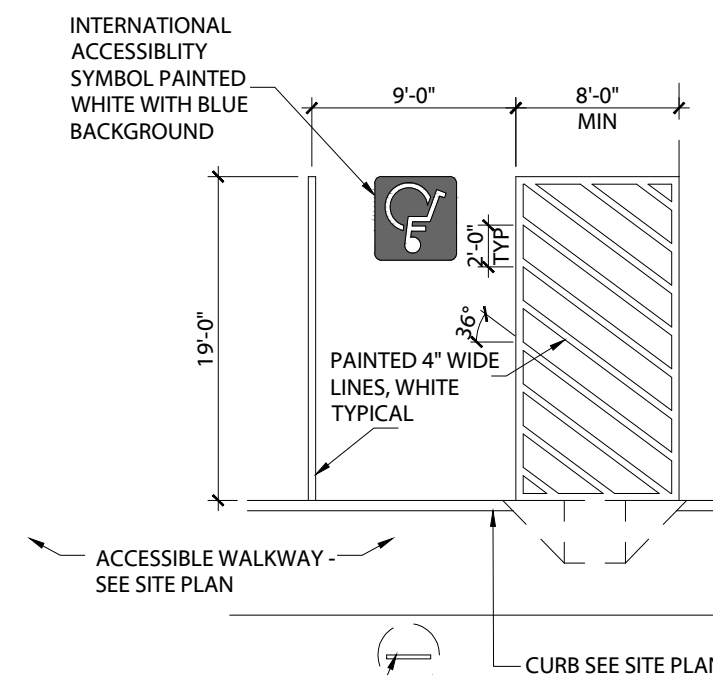
5 TRASH ENCLOSURE GATE ELEVATION
SCALE: 1/4" = 1'-0"



2 ACCESSIBLE PARKING SIGNAGE
SCALE: 3/4" = 1'-0"



4 TRASH ENCLOSURE PLAN
SCALE: 1/8" = 1'-0"



1 ACCESSIBLE PARKING
SCALE: 1/8" = 1'-0"

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AXIS
DESIGN GROUP
ARCHITECTURE & ENGINEERING, INC.
11104 S.E. STARK STREET
PORTLAND, OR 97216
T: 503.284.0988 | F: 503.546.9276

SANDY VAULT
CHAMPION WAY
SANDY, OR 97055

REVISIONS

No.	Description	Date

DRAWN BY: FN
CHECKED BY: DH
JOB NO: 17-034
DATE: 06/19/2019
ISSUED FOR: 75% PROGRESS

SHEET TITLE
SITE DETAILS

SHEET NO.

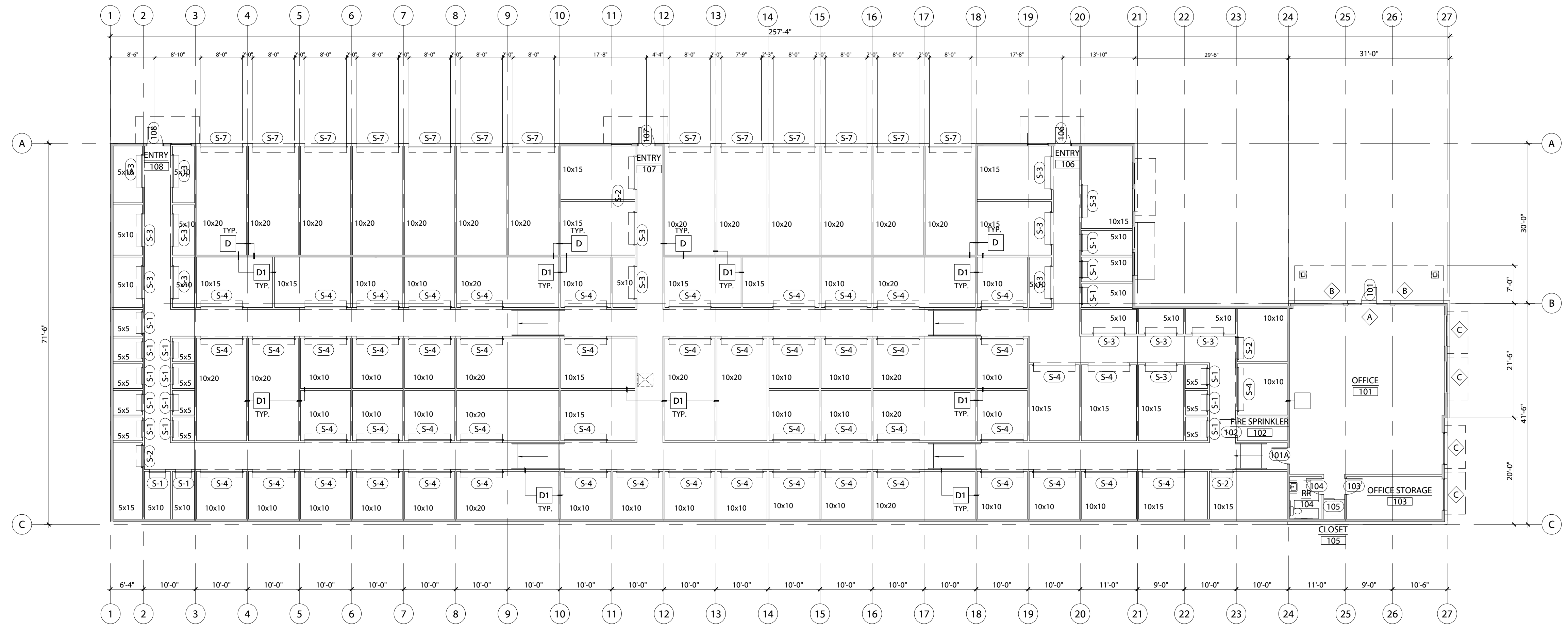
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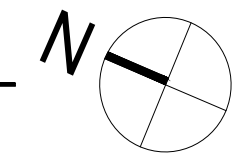


DESIGN GROUP
 ARCHITECTURE & ENGINEERING, INC.
 11104 S.E. STARK STREET
 PORTLAND, OR 97216
 T: 503.284.0988 | F: 503.546.9276

SANDY VAULT
 CHAMPION WAY
 SANDY, OR 97055



1 BUILDING 1 - MAIN FLOOR PLAN
 SCALE: 3/32" = 1'-0"



PLAN LEGEND

NOT ALL SYMBOLS MAY BE USED.

- DOOR
- RELIGHT
- WALL SYSTEM
- HALF WALL
- BASE CASEWORK
- UPPER CASEWORK
- SINK
- NEW WALL
- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- F.E.
- WALL-MOUNTED FIRE EXTINGUISHER. MIN. 2A 20B C, SEE 2/A-121
- NEW WINDOW
- NEW DOOR
- 120V/20AMP GENERAL-PURPOSE DUPLEX RECEPTACLE (MAXIMUM OF 6 PER CIRCUIT)
- FLOOR RECEPTACLE
- TELEPHONE (VERIFY LOCATIONS)
- DATA (VERIFY LOCATIONS)
- STANDARD LIGHT SWITCH
- EXISTING DOOR
- NEW DOOR

PLAN SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OR CENTERLINE OF STUD, FACE OF CONCRETE, OR GRID LINE UON. FOR DOOR OPENING DIMENSIONS SEE DOOR SCHEDULE.

REVISIONS

No.	Description	Date

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 CHECKED BY: DH
 JOB NO: 17-034
 DATE: 06/19/2019
 ISSUED FOR: 75% PROGRESS

SHEET TITLE
 BUILDING 1 MAIN FLOOR PLAN

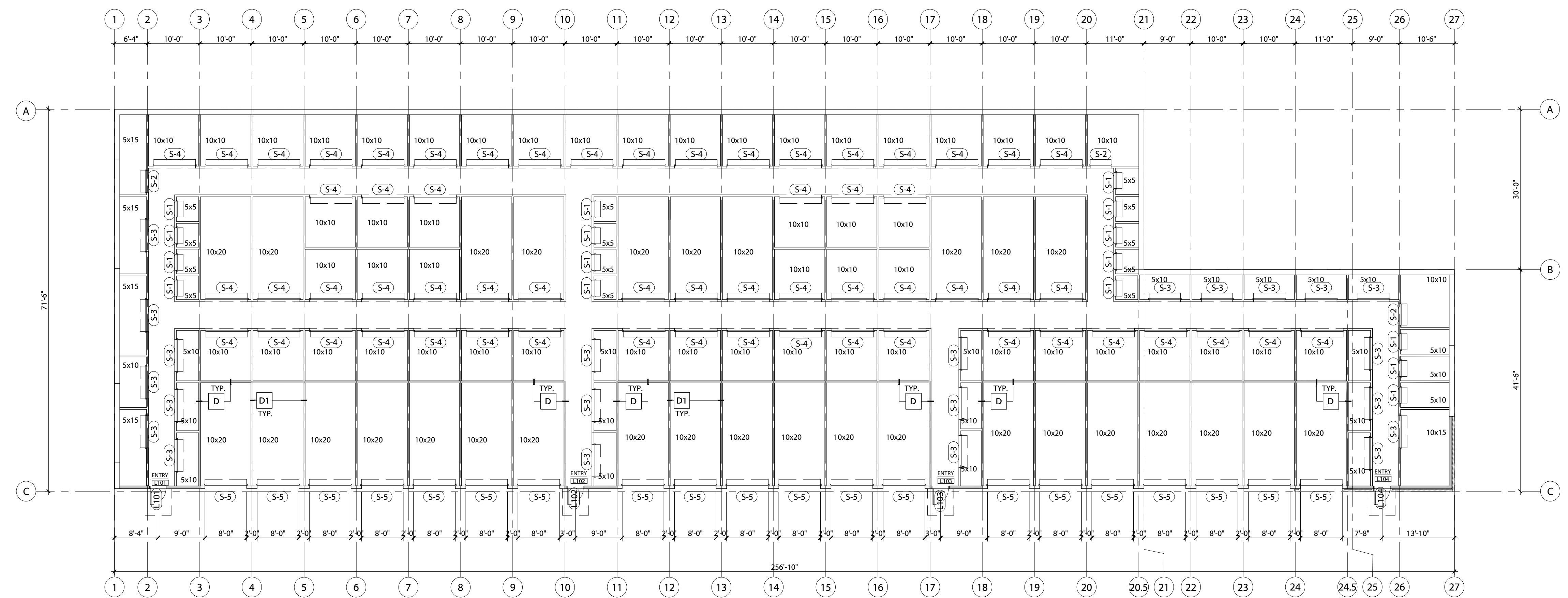
SHEET NO.
A-121

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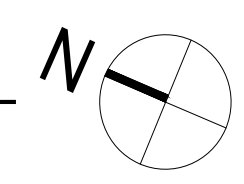


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 11104 S.E. STARK STREET
 PORTLAND, OR 97216
 T: 503.284.0988 | F: 503.546.9276

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 CHAMPION WAY
 SANDY, OR 97055



1 BUILDING 1 - LOWER FLOOR PLAN
 SCALE: 1/8" = 1'-0"



PLAN LEGEND

- NOT ALL SYMBOLS MAY BE USED.
- DOOR
 - RELIGHT
 - WALL SYSTEM
 - HALF WALL
 - BASE CASEWORK
 - UPPER CASEWORK
 - SINK
 - NEW WALL
 - EXISTING WALL
 - EXISTING WALL TO BE REMOVED
 - F.E.
 - WALL-MOUNTED FIRE EXTINGUISHER, MIN. 2A 20B C, SEE 2/A-121
 - NEW WINDOW
 - NEW DOOR
 - 120V/20AMP GENERAL-PURPOSE DUPLEX RECEPTACLE (MAXIMUM OF 6 PER CIRCUIT)
 - FLR. FLOOR RECEPTACLE
 - TELEPHONE (VERIFY LOCATIONS)
 - DATA (VERIFY LOCATIONS)
 - STANDARD LIGHT SWITCH
 - EXISTING DOOR
 - NEW DOOR

PLAN SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OR CENTERLINE OF STUD, FACE OF CONCRETE, OR GRID LINE U.O.N. FOR DOOR OPENING DIMENSIONS SEE DOOR SCHEDULE.

REVISIONS

No.	Description	Date

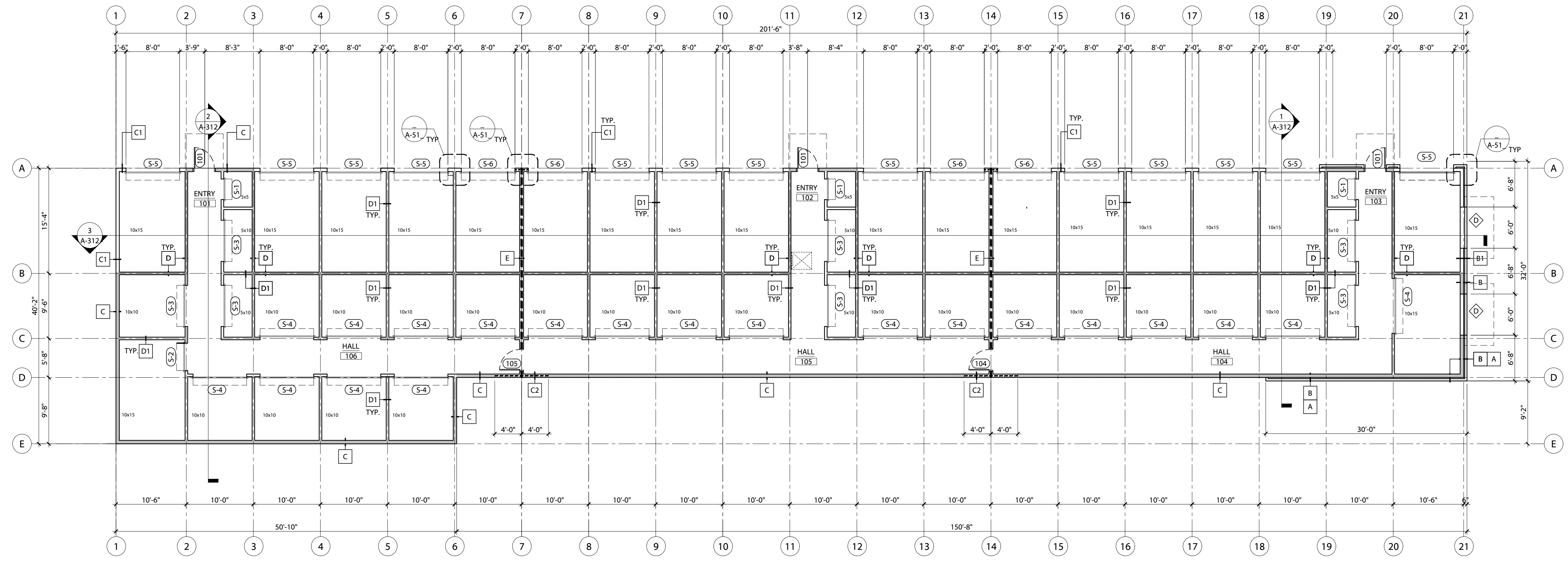
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 JOB NO: 17-034
 DATE: 06/19/2019
 ISSUED FOR: 75% PROGRESS

SHEET TITLE
 BUILDING 1 LOWER FLOOR PLAN

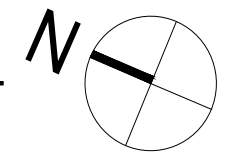
SHEET NO.

A-122

S:\Projects\2017 Projects\17-034_Sandy_Storage\F2_Current\CAD\Value Engineering\A-123-17-034-Building 2 Floor Plan.dwg © Plot Date: Sep 24 19 © Time: 10:47 AM



1 BUILDING 2 - FLOOR PLAN
SCALE: 1/8" = 1'-0"



PLAN LEGEND
NOT ALL SYMBOLS MAY BE USED.

	DOOR		F.E. WALL-MOUNTED FIRE EXTINGUISHER. MIN. 2A 20B C, SEE 2/A-121
	RELIGHT		NEW WINDOW
	WALL SYSTEM		NEW DOOR
	HALF WALL		120V/20AMP GENERAL-PURPOSE DUPLEX RECEPTACLE (MAXIMUM OF 6 PER CIRCUIT)
	BASE CASEWORK		FLOOR RECEPTACLE
	UPPER CASEWORK		TELEPHONE (VERIFY LOCATIONS)
	SINK		DATA (VERIFY LOCATIONS)
	NEW WALL		STANDARD LIGHT SWITCH
	EXISTING WALL		EXISTING DOOR
	EXISTING WALL TO BE REMOVED		NEW DOOR

PLAN SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OR CENTERLINE OF STUD, FACE OF CONCRETE, OR GRID LINE UNLESS NOTED OTHERWISE. FOR DOOR OPENING DIMENSIONS SEE DOOR SCHEDULE.

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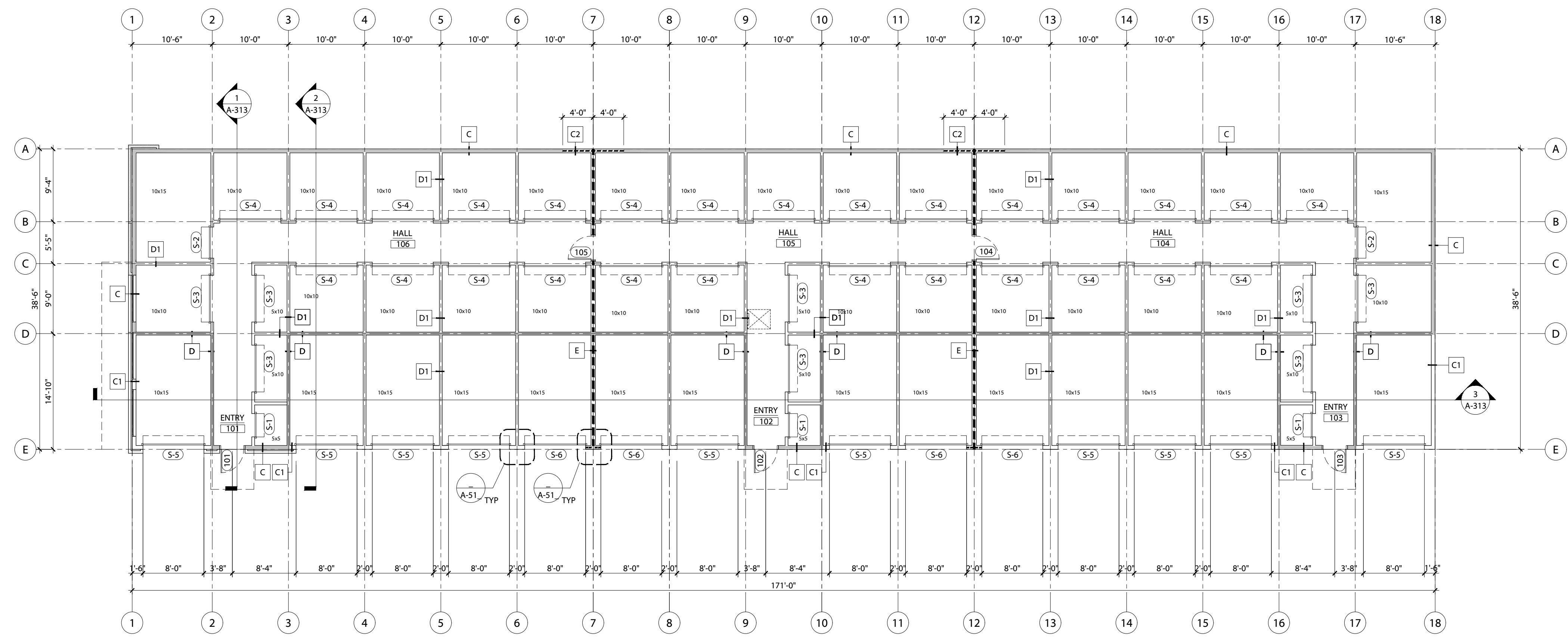
No.	Description	Date

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JOB NO: 17-034
DATE: 09-13-19
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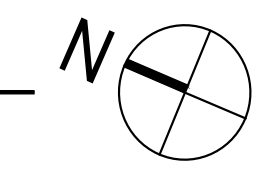
SHEET TITLE
BUILDING 2 FLOOR PLAN

SHEET NO.

A-123



1 BUILDING 3 - FLOOR PLAN
SCALE: 1/8" = 1'-0"



PLAN LEGEND

- NOT ALL SYMBOLS MAY BE USED.
- DOOR
 - RELIGHT
 - WALL SYSTEM
 - HALF WALL
 - BASE CASEWORK
 - UPPER CASEWORK
 - SINK
 - NEW WALL
 - EXISTING WALL
 - EXISTING WALL TO BE REMOVED
 - F.E. WALL-MOUNTED FIRE EXTINGUISHER. MIN. 2A 20B C, SEE 2/A-121
 - NEW WINDOW
 - NEW DOOR
 - 120V/20AMP GENERAL-PURPOSE DUPLEX RECEPTACLE (MAXIMUM OF 6 PER CIRCUIT)
 - FLOOR RECEPTACLE
 - TELEPHONE (VERIFY LOCATIONS)
 - DATA (VERIFY LOCATIONS)
 - STANDARD LIGHT SWITCH
 - EXISTING DOOR
 - NEW DOOR

PLAN SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OR CENTERLINE OF STUD, FACE OF CONCRETE, OR GRID LINE UNLESS NOTED OTHERWISE. FOR DOOR OPENING DIMENSIONS SEE DOOR SCHEDULE.

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No.	Description	Date

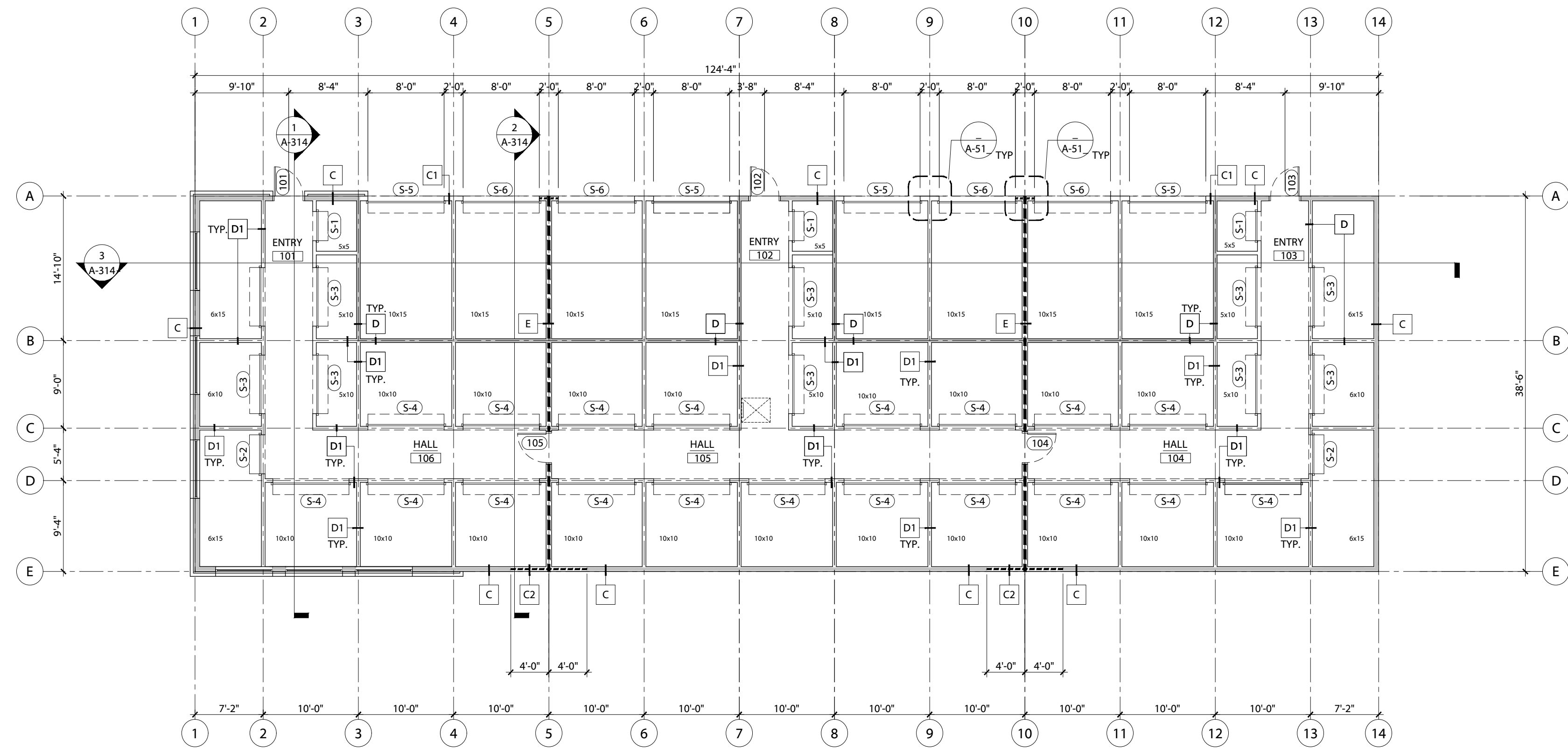
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JOB NO: 17-034
DATE: 09-13-19
ISSUED FOR: VALUE ENGINEERING

SHEET TITLE
BUILDING 3 FLOOR PLAN

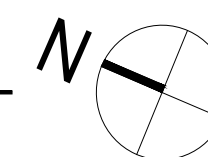
SHEET NO.

A-124

S:\Projects\2017 Projects\17-034_Sandy_Storage\F2_Current\CAD\Value Engineering\A-125-17-034-Building 4 Floor Plan.dwg © Plot Date: Sep 24 19 © Time: 10:55 AM

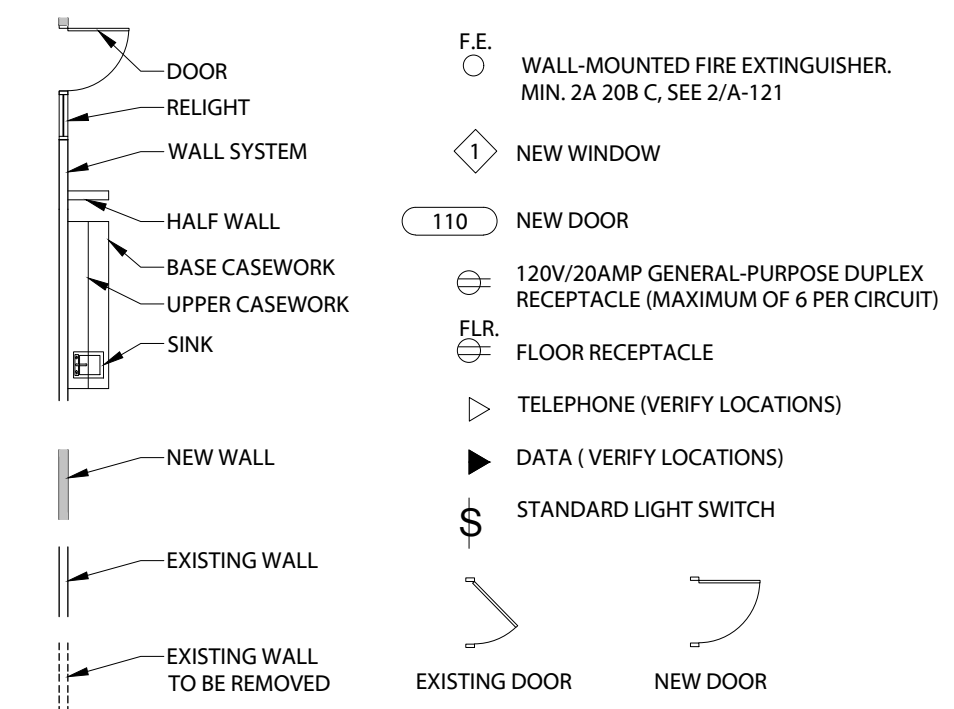


1 BUILDING 4 - FLOOR PLAN
SCALE: 1/8" = 1'-0"



PLAN LEGEND

NOT ALL SYMBOLS MAY BE USED.



PLAN SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OR CENTERLINE OF STUD, FACE OF CONCRETE, OR GRID LINE UON. FOR DOOR OPENING DIMENSIONS SEE DOOR SCHEDULE.

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ARCHITECTURE & ENGINEERING, INC.
11104 S.E. STARK STREET
PORTLAND, OR 97216
T: 503.284.0988 | F: 503.546.9276

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CHAMPION WAY
SANDY, OR 97055

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No.	Description	Date

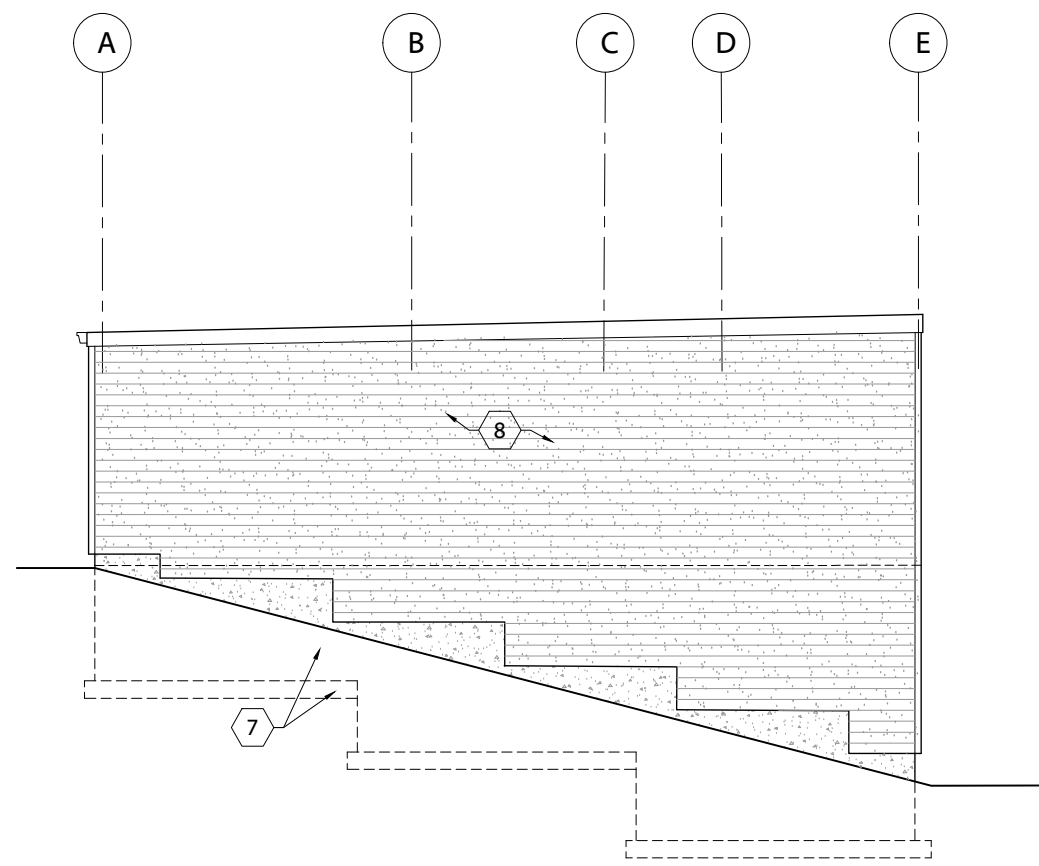
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JOB NO: 17-034
DATE: 09-13-19
ISSUED FOR: VALUE ENGINEERING

SHEET TITLE
BUILDING 4 FLOOR PLAN

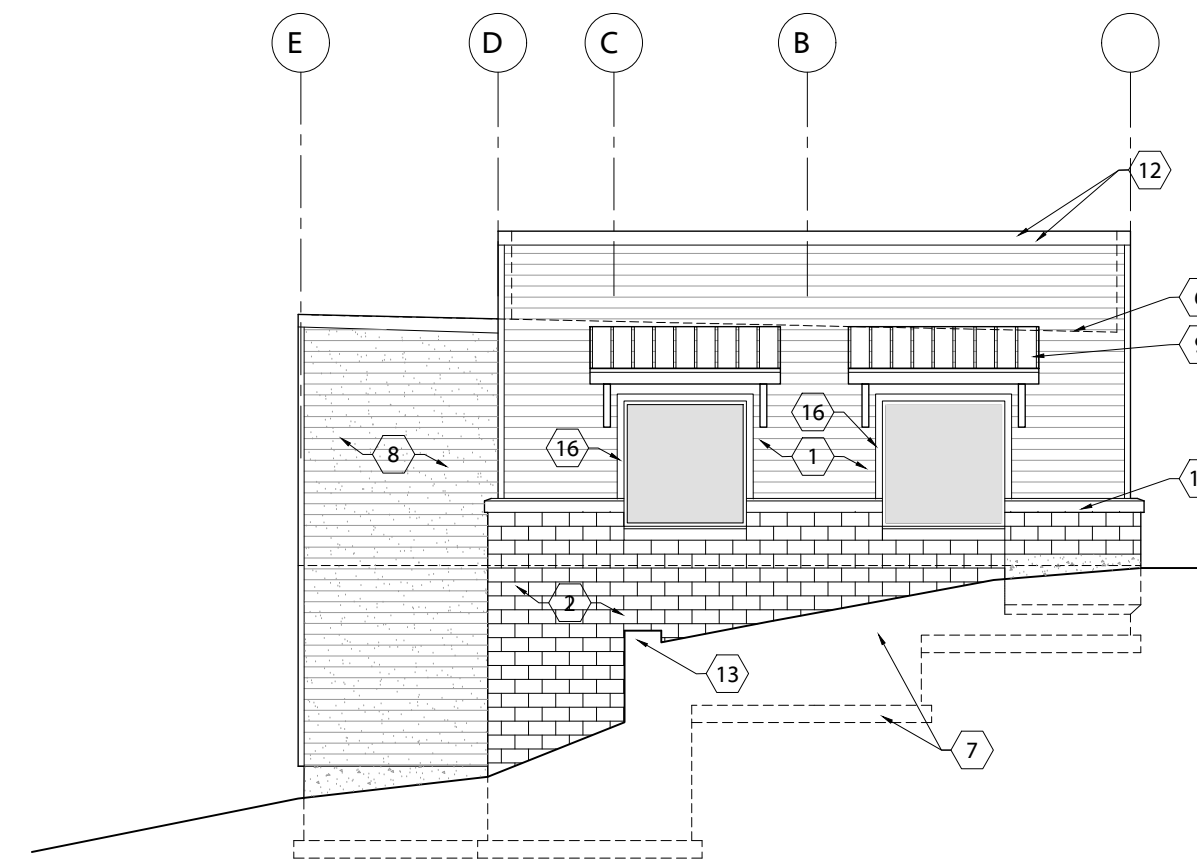
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A-125

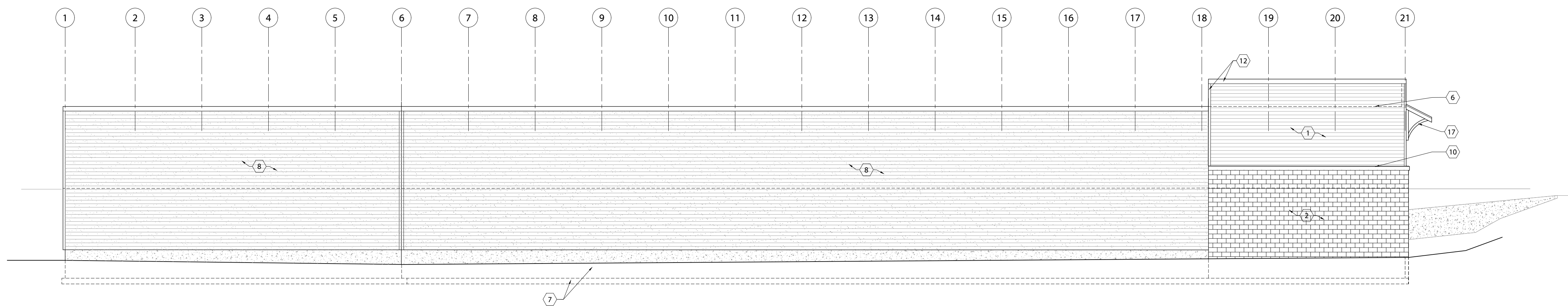
S:\Projects\2017\Projects\17-034_Sandy_Storage\F_Drawings\F2_Current\CAD\Value Engineering\A-222 17-034 - Building 2 - Exterior Elevations.dwg © Plot Date: Oct 3 19 @ Time: 2:40 PM



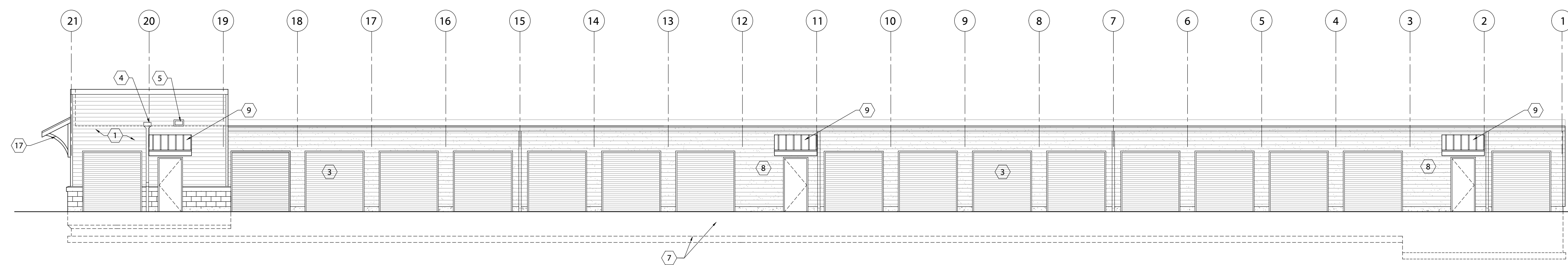
1 BUILDING 2 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING 2 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING 2 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING 2 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

- 1 "HARDIEPLANK" 6" EXPOSURE FIBER CEMENT LAP SIDING, COLOR: MILLER PAINT HISTORIC COLLECTION "MAPLE"
- 2 SPLIT FACE CMU VENEER, MODULAR SMOOTH TEXTURE, COLOR: MOUNTAIN BLEND
- 3 8w x 8h OVERHEAD COILING DOOR
- 4 SCUPPER TO MATCH SIDING COLOR
- 5 OVERFLOW
- 6 ROOF LINE, TYP.
- 7 FOUNDATION & FOOTING
- 8 "METALLION INDUSTRIES" (PBR) WALL PANEL, COLOR: EVERGREEN
- 9 METAL AWNING "METALLION INDUSTRIES" (CLIPLOC) STANDING SEAM ROOFING, COLOR: EVERGREEN
- 10 CMU SILL
- 11 8w x 10h OVERHEAD COILING DOOR
- 12 TRIM 3/4" x 4" CEDAR TRIM SURROUND, COLOR: MILLER HISTORIC COLOR COLLECTION "LAGNDON DOVE"
- 13 RETAINING WALLS, SEE SITE PLAN
- 14 HEAVY TIMBER COVERED ENTRY, NATURAL COLOR (SEALED)
- 15 BLACK METAL BRACKETS ON TIMBER TRUSS TYPICAL
- 16 WINDOW TRIM 3/4" x 4" CEDAR TRIM SURROUND, COLOR: NATURAL (SEALED)
- 17 AWNING WOOD BRACKETS, NATURAL COLOR (SEALED)

EXTERIOR ELEVATION GENERAL NOTES

- 1. ALL DIMENSIONS ARE TO TOP OF SLAB, TOP OF FLOOR TOPPING, TOP OF PLATE, OR TOP OF ROOF, U.O.N.
- 2. ALL EXTERIOR MECHANICAL EQUIPMENT SHALL BE SCREENED BY LANDSCAPING SO THAT NO EQUIPMENT WILL BE VISIBLE FROM PEDESTRIAN LEVEL SITE LINES - SEE LANDSCAPE PLAN.
- 3. SEE SITE LIGHTING PLAN FOR EXTERIOR LIGHTING AT EXTERIOR WALLS AND SOFFITS.

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DESIGN GROUP
ARCHITECTURE & ENGINEERING, INC.
11104 S.E. STARK STREET
PORTLAND, OR 97216
T: 503.284.0988 | F: 503.546.9276

SANDY VAULT
CHAMPION WAY
SANDY, OR 97055

REVISIONS

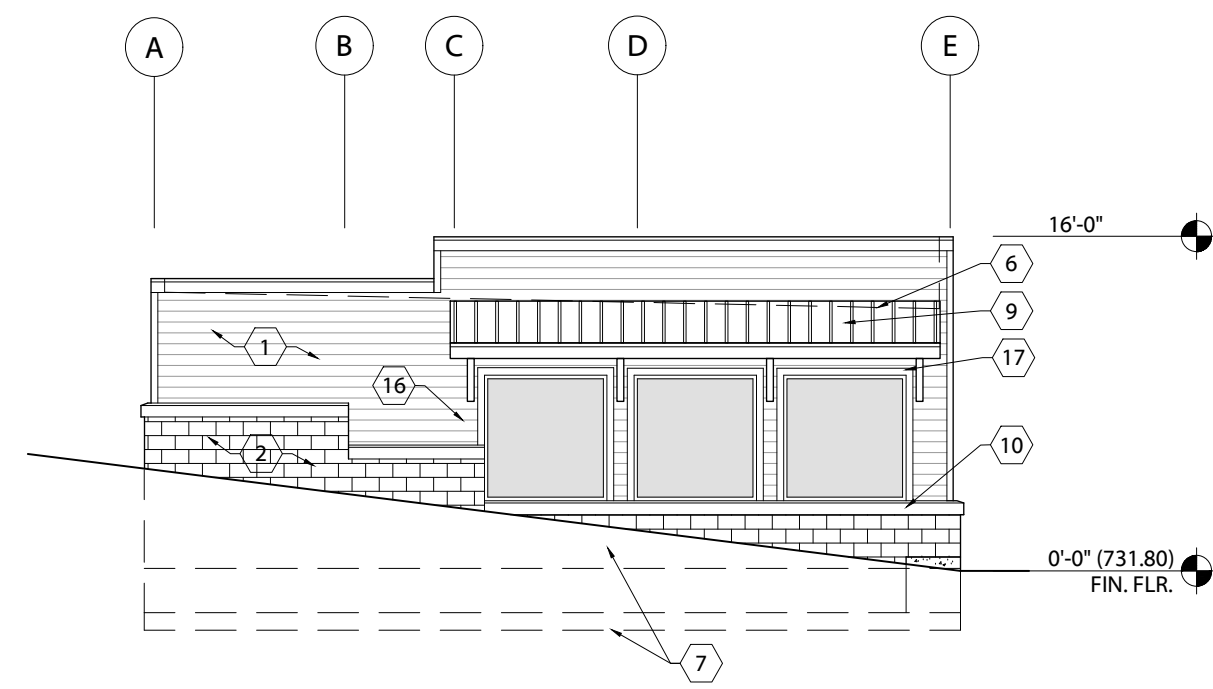
No.	Description	Date

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JOB NO: 17-034
DATE: 09-13-19
ISSUED FOR: VALUE ENGINEERING

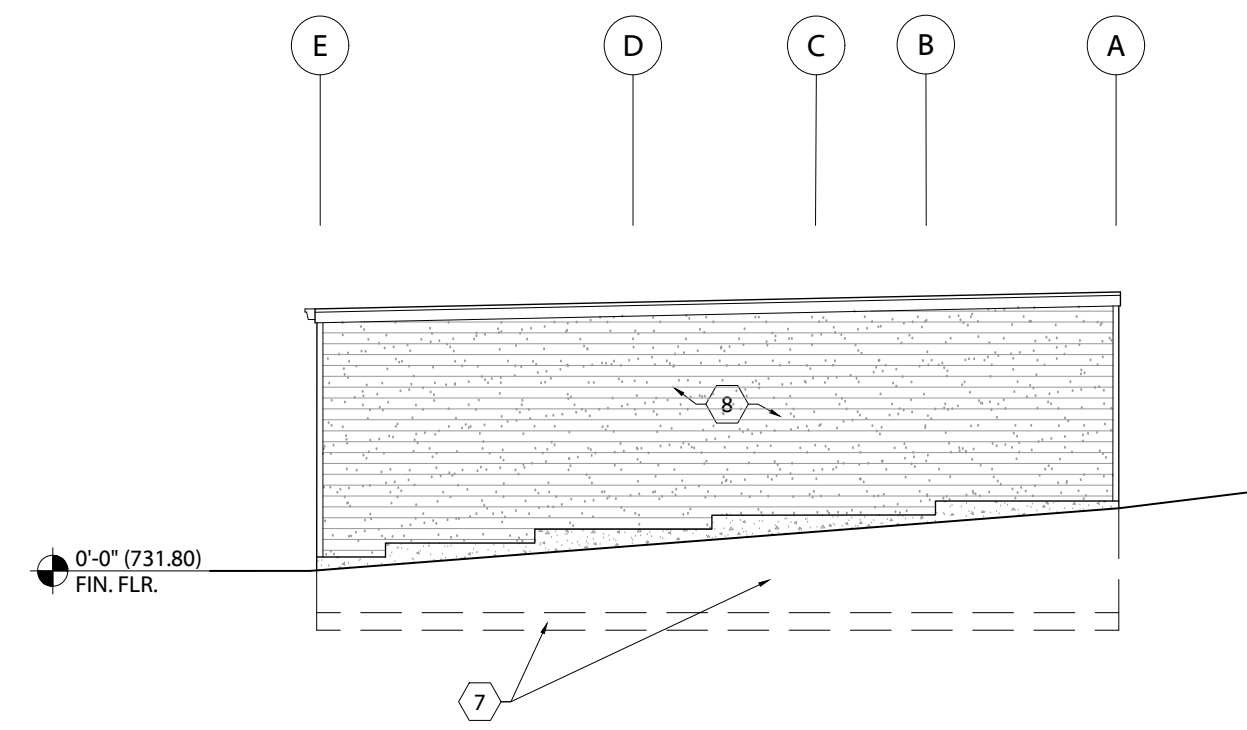
SHEET TITLE
BUILDING 2 - EXTERIOR ELEVATIONS

SHEET NO.

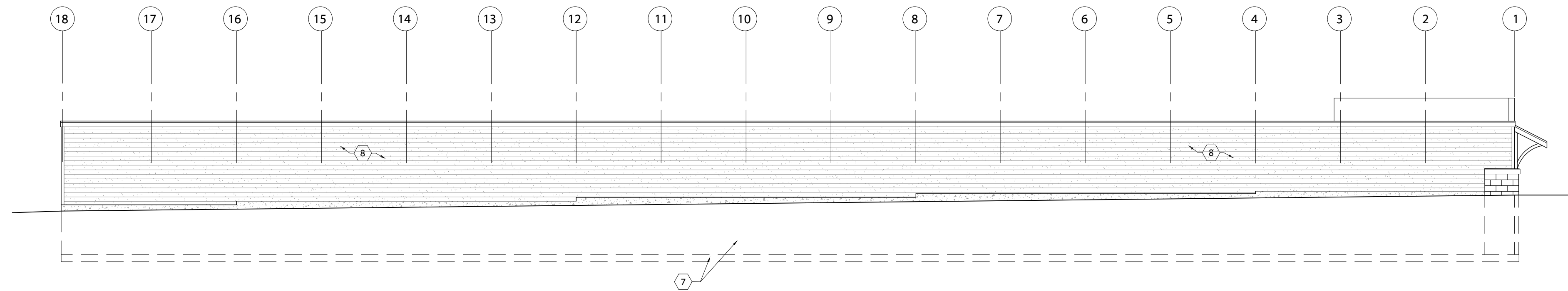
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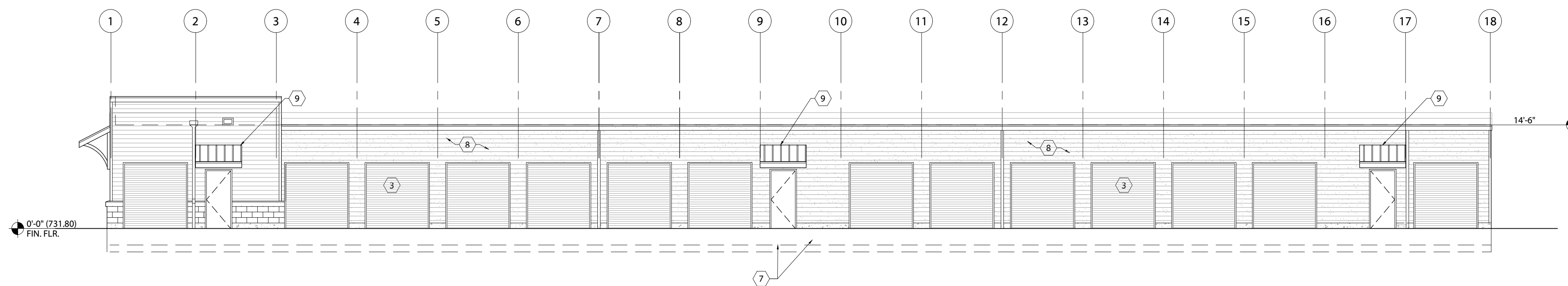
1 BUILDING 3 - WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING 3 - EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING 3 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING 3 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

- ① "HARDIEPLANK" 6" EXPOSURE FIBER CEMENT LAP SIDING. COLOR: MILLER PAINT HISTORIC COLLECTION "MAPLE"
- ② SPLIT FACE CMU VENEER. MODULAR SMOOTH TEXTURE. COLOR: MOUNTAIN BLEND
- ③ 8w x 8h OVERHEAD COILING DOOR
- ④ SCUPPER TO MATCH SIDING COLOR
- ⑤ OVERFLOW
- ⑥ ROOF LINE. TYP.
- ⑦ FOUNDATION & FOOTING
- ⑧ "METALLION INDUSTRIES" (PBR) WALL PANEL. COLOR: EVERGREEN
- ⑨ METAL AWNINGS "METALLION INDUSTRIES" (CLIFLOCK) STANDING SEAM ROOFING. COLOR: EVERGREEN
- ⑩ CMU SILL
- ⑪ 8w x 10h OVERHEAD COILING DOOR
- ⑫ TRIM, 1/2" x 4" CEDAR TRIM SURROUND COLOR: MILLER HISTORIC COLOR COLLECTION "LAGNDON DOVE"
- ⑬ RETAINING WALLS, SEE SITE PLAN
- ⑭ HEAVY TIMBER COVERED ENTRY, NATURAL COLOR (SEALED)
- ⑮ BLACK METAL BRACKETS ON TIMBER TRUSS TYPICAL
- ⑯ WINDOW TRIM, 1/2" x 4" CEDAR TRIM SURROUND COLOR: NATURAL (SEALED)
- ⑰ AWNING WOOD BRACKETS, NATURAL COLOR (SEALED).

EXTERIOR ELEVATION GENERAL NOTES

- 1. ALL DIMENSIONS ARE TO TOP OF SLAB, TOP OF FLOOR TOPPING, TOP OF PLATE, OR TOP OF ROOF, UON.
- 2. ALL EXTERIOR MECHANICAL EQUIPMENT SHALL BE SCREENED BY LANDSCAPING SO THAT NO EQUIPMENT WILL BE VISIBLE FROM PEDESTRIAN LEVEL SITE LINES - SEE LANDSCAPE PLAN.
- 3. SEE SITE LIGHTING PLAN FOR EXTERIOR LIGHTING AT EXTERIOR WALLS AND SOFFITS.

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SANDY VAULT
CHAMPION WAY
SANDY, OR 97055

REVISIONS

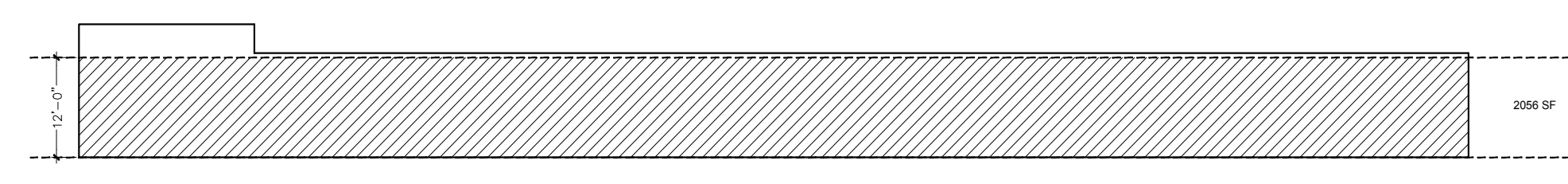
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CHECKED BY: DH
JOB NO: 17-034
DATE: 09-13-19
ISSUED FOR: VALUE ENGINEERING

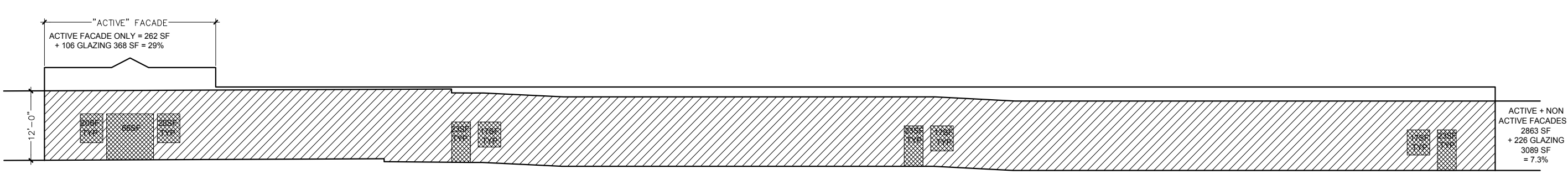
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BUILDING 3 - EXTERIOR ELEVATIONS

SHEET NO.

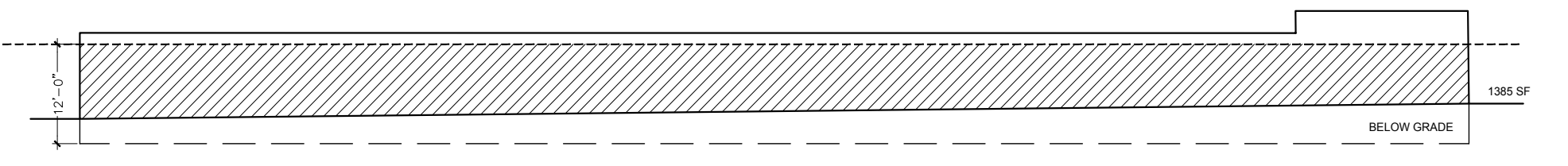
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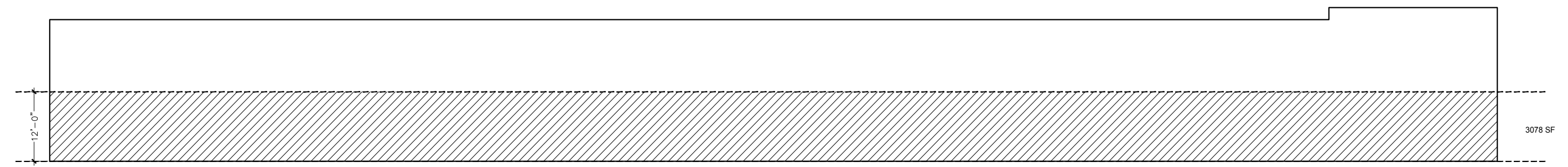
14 SOUTH ELEVATION BUILDING 3
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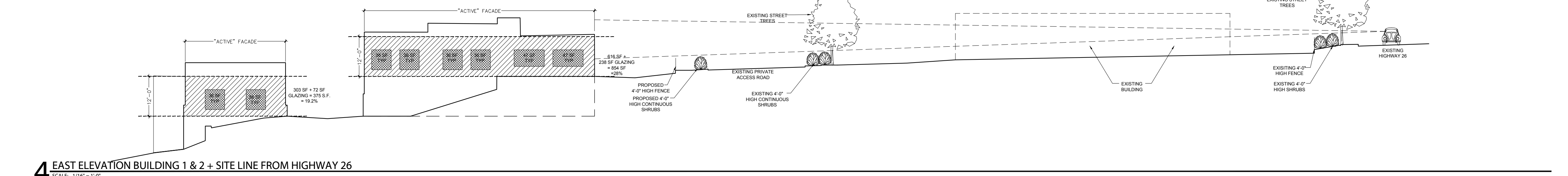
6 NORTH ELEVATION BUILDING 1
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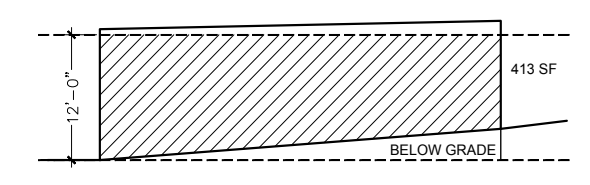
13 NORTH ELEVATION BUILDING 3
SCALE: 1/16" = 1'-0"



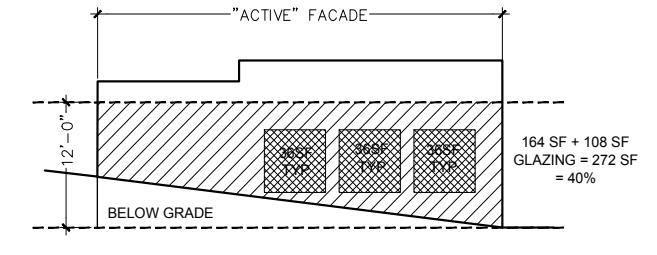
5 SOUTH ELEVATION BUILDING 1
SCALE: 1/16" = 1'-0"



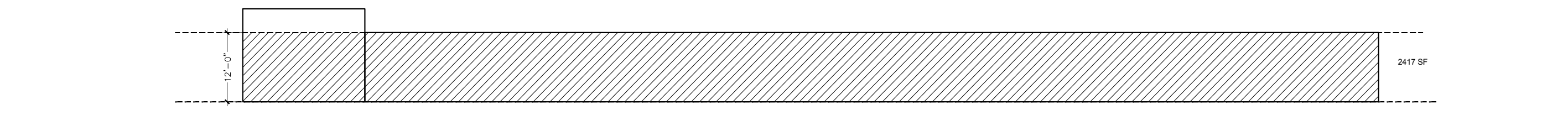
4 EAST ELEVATION BUILDING 1 & 2 + SITE LINE FROM HIGHWAY 26
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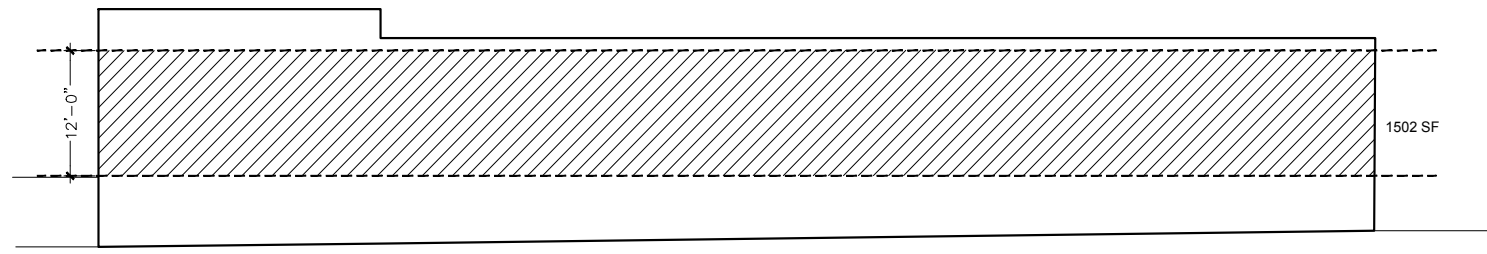
12 EAST ELEVATION BUILDING 3
SCALE: 1/16" = 1'-0"



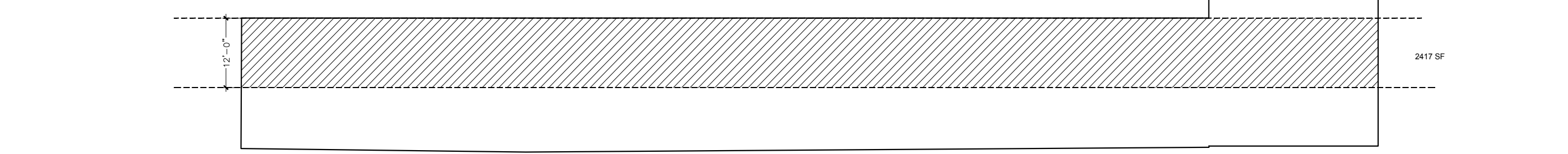
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SCALE: 1/16" = 1'-0"



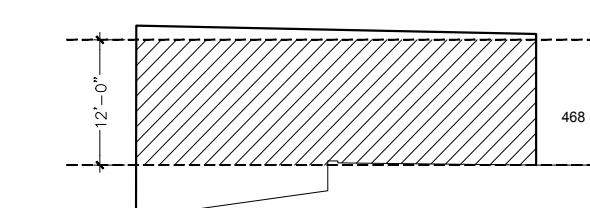
3 NORTH ELEVATION BUILDING 2
SCALE: 1/16" = 1'-0"



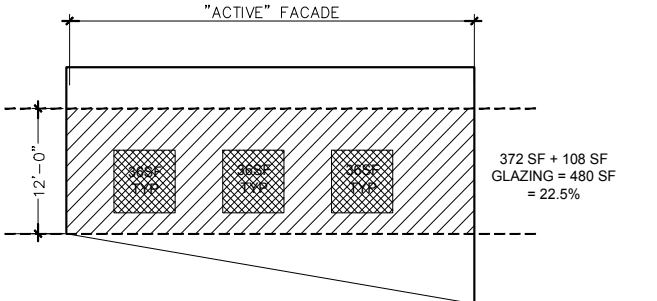
10 NORTH ELEVATION BUILDING 4
SCALE: 1/16" = 1'-0"



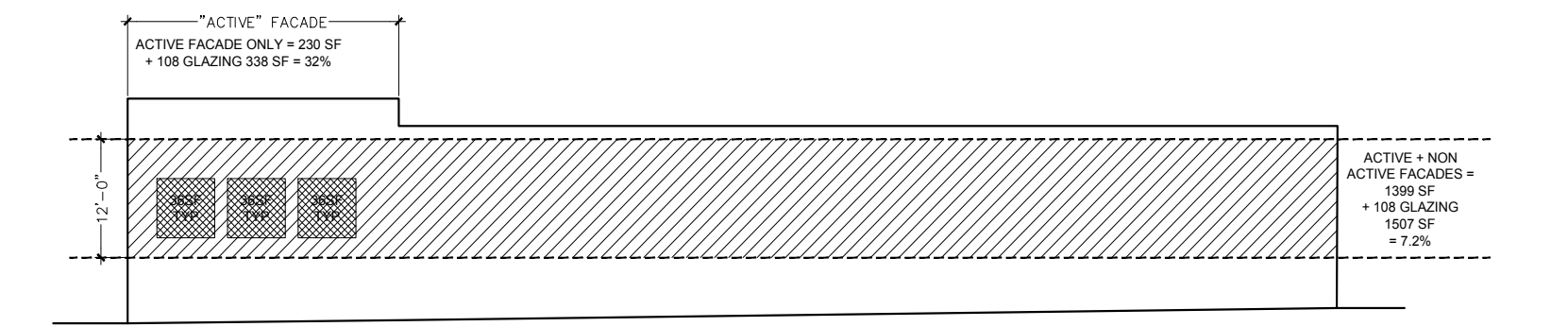
2 SOUTH ELEVATION BUILDING 2
SCALE: 1/16" = 1'-0"



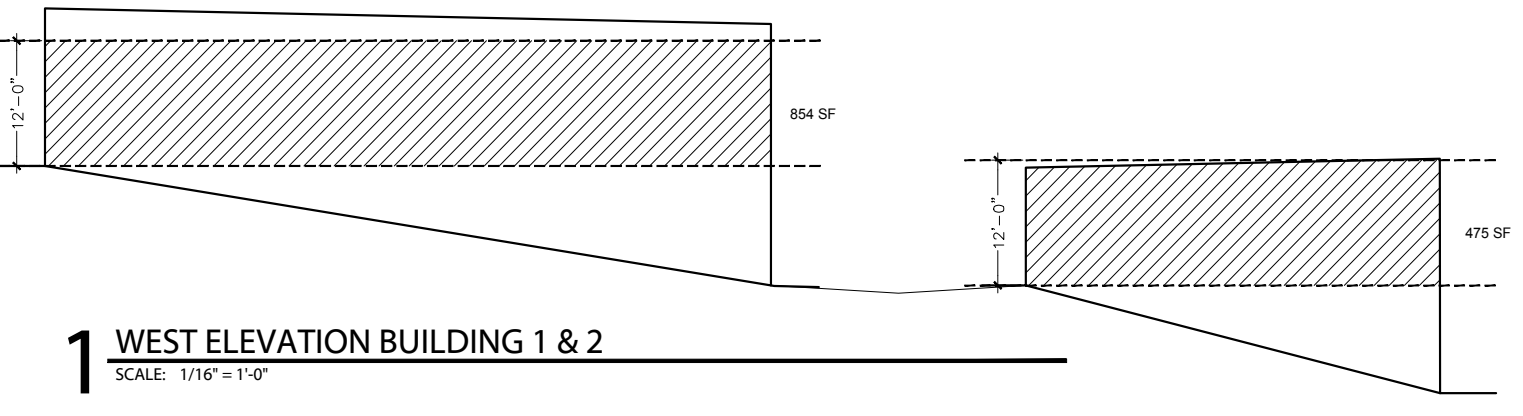
9 EAST ELEVATION BUILDING 4
SCALE: 1/16" = 1'-0"



8 WEST ELEVATION BUILDING 4
SCALE: 1/16" = 1'-0"



7 SOUTH ELEVATION BUILDING 4 & 5
SCALE: 1/16" = 1'-0"



1 WEST ELEVATION BUILDING 1 & 2
SCALE: 1/16" = 1'-0"

METHODOLOGY
WALL AREA IS MEASURED AS THE PORTION OF A WALL ENCLOSING OCCUPIABLE SPACE.
OCCUPIABLE SPACE = 0' TO + 8'-0" AFF

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SANDY VAULT
CHAMPION WAY
SANDY, OR 97055

REVISIONS

No.	Description	Date

DRAWN BY: BW
CHECKED BY:
JOB NO: 17-034
DATE: 06/19/2019
ISSUED FOR: 75% PROGRESS

SHEET TITLE
GLAZING DIAGRAMS
& CALCULATIONS

SHEET NO.

A5

FINDINGS OF FACT and FINAL ORDER
TYPE III DECISION

DATE: April 4, 2019

FILE NO.: 18-047 DR/VAR/ADJ

PROJECT NAME: Sandy Vault Storage

APPLICANT: Axis Design Group

OWNER: Sandy Automotive, LLC (Mark Benson)

LEGAL DESCRIPTION: T2S R4E Section 15A, Tax Lot 209

The above-referenced proposal was reviewed as a Type III Design Review with Variances, Adjustments, and a Design Deviation. The following Findings of Fact are adopted supporting approval of the plan in accordance with the Sandy Municipal Code.

EXHIBITS:

Applicant's Submittals:

- A. Land Use Application
- B. Design Review Narrative and Deviation, Adjustment, and Variance Narrative
- C. Plan Set

Architectural Plans

- Sheet A1 – Cover Sheet and Site Plan
- Sheet A1.1 – Simplified Site Plan
- Sheet A1.2 – Site Plan Details
- Sheet A1.3 – Truck Turning Radius Diagram
- Sheet A2 – Floor Plans
- Sheet A3 – Elevations Building 1 and 2
- Sheet A4 – Elevations Buildings 3, 4, and 5
- Sheet A5 – Glazing Diagrams and Elevations

Engineering Plans

- Sheet 1 – Cover Sheet and Notes
- Sheet 2 – Existing Conditions
- Sheet 3A – Site Plan West
- Sheet 3B – Site Plan NW Corner
- Sheet 4 – Site Plan East
- Sheet 5 – Grading Plan West
- Sheet 6 – Grading Plan East
- Sheet 7 – Utility Plan West

- Sheet 8 – Utility Plan East
- Sheet 9 – Erosion Control Notes and Details

Other Plans

- Sheet E0.1 – Photometric Plan
- Sheet E0.2 – Site Power Plan
- Sheet L1 – Landscape Plan East
- Sheet L2 – Landscape Plan West

- D. Trip Generation Letter
- E. Arborist Report
- F. Geotechnical Engineering Report
- G. Wetlands Memo
- H. Preliminary Stormwater Report
- I. Lighting Cut-sheets
- J. Materials Board

Agency Comments:

- K. City Engineer (February 26, 2019)
- L. Transportation Engineer (February 25, 2019)
- M. Public Works Director (March 4, 2019)
- N. ODOT (March 5, 2019)

Additional Documents Submitted by Staff

- O. Final Order 18-027 INT Highway 26 Storage Code Interpretation

Public Comments Submitted the Day of the Planning Commission Hearing

- P. Elie Kasab (March 19, 2019)
- Q. Tracy Brown (March 19, 2019)

FINDINGS OF FACT

General

1. These findings are based on the applicant’s submittal received on October 4, 2018 and additional information received on January 17, 2019. The application was deemed complete on January 30, 2019 and the 120-day deadline is May 30, 2019.
2. This final order is based upon the Exhibits listed above, as well as agency comments and public testimony.
3. The subject site is approximately 5.44 acres and is Parcel 4 of the approved partition (File No. 18-019 MP) of tax lot 209 (8.07 acres). The site is located south of Highway 26, west of Champion Way, and north of Industrial Way.
4. The parcel has a Comprehensive Plan Map designation of Light Industrial and a Zoning Map designation of I-1, Industrial Park.

5. Axis Design Group submitted an application on behalf of Sandy Automotive (Mark Benson) for a self-storage facility located on a 4.3-acre site at the NW corner of Champion Way and Industrial Way. The proposal includes five (5) self-storage buildings varying in size from 5,324 square feet to 33,178 square feet. The northernmost building (Building 1) will be accessed via the existing driveway on Champion Way south of the Arco gas station; the remaining four (4) buildings will be accessed by a new one-way driveway with an ingress from Industrial Way and an egress to Champion Way. There is no development being proposed for the portion of the site in the BPA powerline easement with this application. The applicant is requesting the following variances and design deviations:
 - A variance to allow greater than 30 percent metal siding (Section 17.90.120(B.3.d.4))
 - A variance to the 150 foot driveway spacing minimum (Sections 17.98.80(A) and 17.90.120(A.3))
 - A variance to allow a flat roof on a building that has a span of less than 50 feet (Section 17.90.120(C.1))
 - A variance to allow a front yard retaining wall height in excess of 6 feet (Section 17.74.40(B.3))
 - A variance to reduce the ground floor widow coverage requirement (Section 17.90.120(E.2))
 - A design deviation to not provide a primary entrance on all activated frontages (Section 17.90.120(D.3 and 7))
6. Notification of the proposed application was mailed to property owners within 300 feet of the subject property and affected agencies on February 21, 2019. A legal notice was published in the Sandy Post on March 6, 2019.
7. Agency comments were received from the Public Works Director, City Engineer, City Transportation Engineer, and ODOT.
8. Two written public comments were received the day of the March 19, 2019 Planning Commission hearing. Elie Kassab (Exhibit P), owner of the Sandy Cinema, had concerns that the proposed storage buildings would block the visibility of the cinema from Highway 26. Tracy Brown (Exhibit Q) expressed concerns about the number of variances the applicant is requesting as well as staff's recommended conditions related to pest control and lighting fixtures.
9. The following individuals spoke at the March 19, 2019 public hearing:
 - Applicant:
 - Tim Brenner, Axis Design Group
 - Jonathan Konkol, Axis Design Group
10. The Planning Commission held a hearing on March 19, 2019 and approved the Sandy Vault self-storage facility with the conditions outlined in this final order.
11. **Prior to submitting construction plans or building permits, including grading and erosion control permits, the applicant shall update the plan set and associated**

documents based on the conditions of approval and shall submit two (2) full sets to Planning Division staff for review and approval.

17.48 – I-1 Industrial Park

12. Section 17.48.10 lists uses permitted outright in the I-1 zone. The site is zoned as Industrial Park (I-1) and is being reviewed under the Industrial Park (I-1) zoning district standards. Per Section 17.48.10(A.2.i), self-service storage in buildings with less than 60,000 square feet of gross floor area is an outright permitted use. The proposed five (5) storage buildings total 57,559 square feet in area.
13. Section 17.48.30(A) contains development standards for buildings in the I-1 zone. For the purposes of this review, Champion Way is considered the front yard. All proposed buildings are set back 20 feet or more from any public right-of-way in compliance with the setback requirements of Section 17.48.30. The applicant's narrative (Exhibit B) states that the proposed building coverage is 31 percent, landscape coverage is 59 percent, and maximum building height is 25 feet 6 inches.

17.74 – Accessory Development

14. Section 17.74.40(B) contains height requirements for fences and retaining walls in commercial and industrial zones. The subject property is zoned Industrial Park (I-1). The maximum combined height of any proposed retaining walls/fences in the front yard is 6 feet and the maximum combined height in the side and rear yards is 8 feet. It appears that the applicant is proposing three (3) retaining walls; however, the applicant only submitted a wall profile for the terraced wall along the east edge of the subject property on Champion Way. The maximum allowed height for a retaining wall on Champion Way (the front yard) is 6 feet. The applicant requested a variance to retaining wall height for the terraced wall, which is approximately 8.5 feet in height at its tallest point. The variances to retaining wall height are discussed further in Chapter 17.66 of this document.

The submitted Site Plan (Exhibit C, Sheets 3A and 4) details two additional retaining walls: one south of the proposed driveway between Buildings 2 and 4, and a second north of Building 3. Both proposed walls are located in the side yard and, therefore, shall not exceed 8 feet. The applicant did not submit details on either proposed retaining wall so staff does not know the heights of these walls. **The applicant shall submit details on all proposed retaining walls on the subject property, including wall height and proposed architectural finish for staff review and approval. If the wall between Buildings 2 and 4 or the wall north of Building 3 exceeds 8 feet in height, the applicant shall apply for an additional variance.** At the March 19, 2019 Planning Commission hearing, the applicant indicated that there is a retaining wall south of Buildings 2 and 4 that is proposed to be two (2) feet in height.

17.80 – Additional Setbacks

15. Chapter 17.80 requires any structure located on arterial or collector streets to have a minimum 20-foot setback measured from the property line. The subject property has frontage on Highway 26, which is a major arterial, and Champion Way and Industrial Way, which are collector streets. All structures on the subject property shall be constructed to comply with the standards of Section 17.80.20. **All structures shall maintain a minimum 20-foot**

setback from the Highway 26, Champion Way, and Industrial Way public rights-of-way. There are no buildings proposed along the Highway 26 frontage. The Site Plan (Exhibit C, Sheets 3A and 4) depicts all proposed buildings at 20 feet (or greater) from the Champion Way and Industrial Way rights-of-way.

17.84 – Improvements Required with Development

16. Section 17.84.20 specifies the timing of improvements. **All required improvements shall be installed or financially guaranteed prior to final occupancy of the Sandy Vault Self Storage building.**

17. Section 17.84.30(A) requires setback sidewalks with a minimum width of six feet along arterial streets such as Highway 26, and collector streets, such as Champion Way and Industrial Way. The Site Plan (Exhibit C, Sheets 3A and 4) depicts new 6 foot sidewalks with a 5 foot planter strip along the site frontage of both Champion Way and Industrial Way. There are existing 5 foot wide sidewalks on the Highway 26 frontage of the site. Highway 26 is a major arterial; therefore, 6 foot wide sidewalks are required. **ODOT (Exhibit N) recommends that the applicant be required to bring the sidewalk up to current City and ODOT standards. Sidewalk and planter strip shall be constructed as necessary to be consistent with local, ODOT and ADA standards. The applicant shall obtain all appropriate permits and agreement to work in the ODOT right-of-way (see Exhibit N).** The Site Plan (Exhibit C, Sheet 3B) indicates the applicant will remove the existing 5 foot sidewalks and install 6 foot wide sidewalks along the Highway 26 frontage of the site that will match the approved Tractor Supply sidewalk alignment. Per the Public Works Director (Exhibit M), **the applicant shall provide pedestrian improvements on all site frontages (Champion Way, Industrial Way, and Highway 26) consisting of a five-foot planter strip and six-foot sidewalks per Sections 15.28 and 17.84.30 of the Sandy Municipal Code (SMC). Street trees approved by staff are required in the planter strips at 30 foot on-center spacing. In addition, street lighting shall be required at the west end of Champion Way where there are currently no streetlights (approximately 400 lineal feet) and the west end of the Highway 26 frontage (approximately 300 lineal feet).**

18. Section 17.84.30(B) requires the provision of safe and convenient pedestrian and bicyclist facilities that strive to minimize travel distance to the extent practicable in conjunction with new development within and between new subdivisions, planned developments, commercial developments, industrial areas, residential areas, public transit stops, school transit stops, and neighborhood activity centers such as schools and parks. There is an existing 5 foot walkway adjacent to the 30 foot common access easement that connects to the Champion Way sidewalk to the east and the recently approved Tractor Supply Company site to the west. The applicant is proposing to install a 5 foot landscaped buffer in the 30 foot common access easement to separate the 5 foot walkway from the vehicular area of the common access driveway. The applicant submitted a truck turning template (Exhibit C, Sheet A1.3) that staff believe is meant to demonstrate that a fueling truck can still access the Arco site to the north if the 5 foot landscaped planter is placed in the 30 foot common access easement; however, the submitted truck turning template is not labeled adequately and, thus, it is not clear what vehicle type or intersection the truck turning template is accounting for. Per the Public Works Director (Exhibit M), there are no dimensions on the size of the access the truck is turning from or the width of the roadway the truck is turning onto much less which drive or roadway

is which. There is no information on the type or size of vehicle (WB-40, WB-50, WB-62, etc.). A radius is shown, but there are no dimensions. The distance between the center point of the radius and the front axle is not shown. The wheel path (inside and outside), swept path and overhang are not identified. It is not clear what the (N) and the (E) refer to in relation to the curb. **The applicant shall submit an updated truck turning template demonstrating that a fueling truck can access the Arco site. The turning template shall include appropriate dimensions, details on the type of truck, road labels, etc.**

The applicant proposes to replace the existing 5 foot wide sidewalk along the Highway 26 frontage of the site with a 6 foot wide sidewalk as required by ODOT and to install 6 foot wide sidewalks on Champion Way and Industrial Way. The proposal also includes a walkway connecting the sidewalk on Champion Way to the front entrance of proposed Building 1, which is where the main office for the storage facility will be located.

19. The applicant submitted a trip generation letter prepared by Firwood Design Group dated September 17, 2018 (Exhibit D). The analysis predicts 16 morning peak hour trips and 18 evening peak hour trips. The TIS was reviewed by the City's Transportation Engineer (Exhibit L). The City's Transportation Engineer finds that the trip generation letter provides an adequate, if somewhat high, estimate of traffic from the proposed facility; however, he has concerns with the proposed development's layout and site circulation. To minimize the chance of conflict between eastbound traffic on the shared common access easement driveway and inbound traffic to the Sandy Vault site, **the City's Transportation Engineer recommends that the ingress to the Sandy Vault office and Building 1 be located opposite the existing drive aisle between the Arco station and the convenience store. The City Transportation Engineer estimates that distance to be approximately 120 feet west of the west curb of Champion Way.**
20. Section 17.84.50(D) requires sites to provide access from a public street improved to City standards. The site contains frontage on Highway 26, Champion Way, and Industrial Way. Per the City Engineer (Exhibit K), **half street improvements including right-of-way dedications will be required along the entire site frontages to include 5-foot wide landscape strips with landscaping, 6-foot wide sidewalks, street lights, and utility extensions as required by the City of Sandy or the City Engineer. The City Engineer recommends the existing roadway width be maintained for consistency and uniformity to match the existing paved surface.**
21. Section 17.84.50(H) contains standards related to location, grades, alignment, and widths for public streets. Per the City Engineer (Exhibit K), **the final construction plans shall include a plan and profile for Champion Way and Industrial Way improvements to include a plan and profile extensions of a minimum 200 feet in each direction to ensure future grades can be met.**
22. Section 17.84.60 contains specifications for public facility extensions. The City Engineer (Exhibit K) submitted the following comments:
 - Sanitary sewer collection system exists to the south of this site. Connection can be made to the sewer line. An easement may be necessary from the adjoining property to the south depending on the connection point.

- The preliminary plan doesn't show where the domestic water connection will be made to the waterline on Champion Way. The final plans shall detail the connection location and the size of the meter.
- The submitted preliminary storm drainage plan (Exhibit H) is incomplete. A revised storm drainage plan shall be submitted for review. **At the final design stage and prior to construction a detailed storm drainage report addressing water quality and quantity requirements shall be submitted by the applicant's engineer for review and approval by the City in conformance with Sandy Development Code (SDC) Standards, Section 13.18 and the 2018 City of Portland Stormwater Management Manual (SWMM) standards that were adopted by reference into the Sandy Development Code.**

Per the Public Works Director (Exhibit M), the Utilities Plan East (Exhibit C, Sheet 8) shows a water service connected to the private water main in the common access easement. Water service laterals may only be connected to public water lines. **The water service for the site shall be connected to the public water main in Champion Way.** The Utilities Plan also depicts a sewer lateral connected to the existing private sewer main in the common access easement. **The applicant shall sign and record a sewer maintenance agreement reviewed and approved by the City for multiple properties under separate ownership served by a private common sewer line. All stormwater detention and treatment shall conform to the requirements of Sections 13.18 and 13.20 of the SMC and the City of Portland Stormwater Management Manual (SWMM). Prior to beginning design on the utility service lines the applicant shall consult with Sandy Fire District regarding fire hydrant locations and spacing on the site.**

23. Section 17.84.70 contains requirements regarding public improvement procedures. **The applicant shall confer with Sandy Fire District to determine the number and location of on-site fire hydrants necessary to comply with the requirements of the Sandy Fire District Fire Marshall. Per the City Engineer (Exhibit K), the final construction plans shall be submitted to the Sandy Fire District for review and approval to ensure that adequate fire protection and access are provided to all buildings.**
24. Section 17.84.80 contains specifications for franchise utility installations. Municipal Code 15.20.030(B) states the following regarding undergrounding of utilities: "No building permit shall be issued for remodeling, alteration or addition to any building or structure when the estimated cost of the remodeling, alteration or addition exceeds twenty percent of the value of the building or structure before such remodeling, alteration or addition is commenced on any lot which is not served by underground utilities, unless the applicant agrees to construct equipment and related facilities to accept and receive all underground utility lines which shall serve the building or structure, including but not limited to those required for all electric, communication and cable TV services in conjunction with the construction activity related to the building permit." **The applicant shall place all onsite overhead electrical and communications wires underground in conformance with Section 15.20.** Private utility services will be submitted for review and approval by service providers and City staff in association with construction plans, and all utility lines will be extended to the perimeter of the site. **All franchise utilities shall be installed underground and in conformance with City standards.**

25. Section 17.84.100 contains provisions for mail delivery facilities. **Mail delivery facilities shall be provided by the applicant in conformance with 17.84.100 and the standards of the USPS. The applicant shall submit a mail delivery plan to the City and USPS for review and approval prior to installation of the mail delivery facility.**

17.90 – Design Standards

26. The applicant proposes construction of a new building within the I-1 zoning district. As such the application is subject to the provisions of Chapter 17.90, Design Standards.
27. Section 17.90.70 specifies that **design review approval shall be void after two (2) years from the date of the Final Order, unless the applicant has submitted plans for building permit approval.**
28. Because the subject property is located in the I-1 zoning district the application was reviewed for compliance with the provisions of Section 17.90.120.
29. Section 17.90.120(A)(1) requires that all lots abut or have cross access to a dedicated public street. The subject property abuts Highway 26, Champion Way, and Industrial Way.
30. Section 17.90.120(A)(3) requires off-street parking to be located to the rear or side of buildings with no portion of the parking lot located within required setbacks or within 10-feet of the public right-of-way, as shown in Figure 17.90.120-A. When access must be provided directly from a public right-of-way, driveways for ingress or egress shall be limited to one per 150 linear ft. For lots with frontage of less than 150 ft. or less, shared access may be required. Five (5) of the proposed parking spaces are located on the north side of proposed Building 1 and outside of the 20 foot required setback from Champion Way. Access to the five (5) parking spaces will be from a driveway connected to the existing 30 foot common access easement that connects to Champion Way. The remaining two (2) parking spaces are on the interior of the site east of Building 4 and will be accessed from the proposed driveway connected to Industrial Way. The applicant is requesting a variance to the 150 foot minimum driveway spacing for the proposed egress on Champion Way. The variance request will be discussed further in Chapter 17.66 of this document.
31. Section 17.90.120(A)(5) requires urban design details, such as raised or painted pedestrian crossings and similar devices incorporating changes in paving materials, textures or color, shall be used to calm traffic and protect pedestrians in parking areas. The applicant is proposing a new pedestrian connection from Champion Way to the proposed civic space and front door to the office located in Building 1. Pedestrians will not need to cross the parking area to access the front door.
32. Section (A)(7) requires walkways connecting from the public street sidewalk to the building entrance(s) to be provided. Crosswalks through parking lots and drive aisles shall be constructed of a material contrasting with the road surface or painted (e.g., colored concrete inlay in asphalt). The proposal includes an existing five foot wide walkway along the south side of the 30 foot common access easement that connects to the Champion Way sidewalk to the east and the recently approved Tractor Supply Company site to the west. The applicant is proposing an additional pedestrian connection from Champion Way to the proposed civic space and front door to the office located in Building 1. A full evaluation of on-site walkways is contained in

Section 17.84.30 of this staff report.

33. Section (A)(8) requires connection to adjacent properties. The proposal includes an existing five foot wide walkway along the south side of the 30 foot wide common access easement that connects to the Champion Way sidewalk to the east and the recently approved Tractor Supply Company site to the west. The Champion Way sidewalk connects to existing buildings on adjacent properties including the Arco gas station site to the north, which includes the convenience store, fuel pump canopy, and drive-thru coffee shop. The proposed Champion Way sidewalk improvements will connect to the existing sidewalk adjacent to the property to the south where Champion Collision is located.
34. Section (A)(9) requires joint use of access points. The proposal includes an existing 30 foot wide common access easement that serves the subject property as well as the proposed Tractor Supply Company site to the west and the existing Arco gas station site to the north. There is also an existing 5 foot wide walkway south of the 30 foot wide common access easement that connects to the Champion Way sidewalk to the east and the recently approved Tractor Supply Company site to the west. In addition, the proposal includes a new driveway on Industrial Way that will serve the subject property and the Tractor Supply Company site.
35. Section (A)(11) requires free-standing buildings to be connected to one another with a seamless pedestrian network that provides access to building entrances and adjacent civic spaces. There are five (5) proposed building on the site; however, the buildings are proposed for self-storage units and it is unlikely that a pedestrian would be walking from one storage building to another adjacent storage building. The applicant is retaining the existing 5 foot walkway adjacent to the 30 foot common access easement and proposing an additional walkway to connect the Champion Way sidewalk to the front door of the office located in Building 1. The Champion Way sidewalk connects to existing buildings on adjacent properties including the Arco gas station site to the north, which includes the convenience store, fuel pump canopy, and drive-thru coffee shop. The proposed Champion Way sidewalk improvements will connect to the existing sidewalk adjacent to the property to the south where Champion Collision is located.
36. Section 17.90.120(B)(1) requires that buildings be articulated, varied and provide visual interest. The subject property abuts Highway 26, Champion Way, and Industrial Way. The applicant previously applied for a code interpretation (File No. 18-027 INT, Exhibit P). The Planning Commission determined the activated frontages of each building as follows:
 - The north elevation of Building 1 will be visible from Highway 26
 - The east elevations of Buildings 1 and 2 will be visible from Champion Way
 - The south and west elevations of Building 4, and west elevation of Building 3 will be visible from Industrial Way

At the time, the applicant was not proposing Building 5 so the Planning Commission did not discuss activated frontages on Building 5; however, staff has determined that the south and east elevations of Building 5 will be visible from Industrial Way.

Per the submitted narrative (Exhibit B), the proposed “building facades are broken up in planes that protrude 6 inches and entries that are recessed 5 feet into each of the buildings. Parapets are stepped in heights as well.” In addition, “some of the windows at more

prominent locations have bracketed ‘eyebrow’ canopies above.” The applicant’s use of the term ‘eyebrow’ is consistent with an awning. The west and east elevations of Buildings 2-5 do not have any wall planes that are greater than 40 lineal feet. The submitted elevations (Exhibit C, Sheets A3 and A4) detail covered recessed entries and windows with awnings on the north façade of Building 1, and windows with awnings on the east facades of Buildings 1 and 2. The south elevations of Buildings 4 and 5 are activated frontages and exceed 40 lineal feet. The submitted elevations (Exhibit C, Sheet A4) detail a change in parapet height and windows on the south elevations of Buildings 4 and 5; however, the windows do not have awnings and it is unclear whether there are any changes in the wall plane associated with the change in parapet height. **The applicant shall update the elevations to detail awnings above the windows on the south elevations of Buildings 4 and 5 and shall update the plan set to include a 6-inch change in plane where the parapet height changes.**

37. Section 17.90.120(B)(2) requires that buildings incorporate pedestrian shelters over primary building entrances. Pedestrian shelters shall extend at least five feet over the pedestrian area. The primary entrance for the proposed self-storage facility is located on the north elevation of Building 1 and has a covered recessed entry way with heavy timber trusses. The submitted elevations (Exhibit C, Sheet A3) detail additional 5 foot deep pedestrian shelters with heavy timber trusses over the remaining three doors on the north elevation of Building 1. The elevations do not show gabled entries over the pedestrian entryways on the lower level (south elevation) of Building 1 or on Buildings 2-5; however, the submitted narrative (Exhibit B) states that all buildings will have entrances that are recessed 5 feet and covered.
38. Section 17.90.120(B.3.a) requires all buildings on the same site be architecturally unified. There are five (5) buildings proposed for the subject property. Per the submitted elevations (Exhibit D, Sheets A3 and A4) all activated building elevations are proposed to have split faced CMU veneer and hardie board siding. The south elevation of Buildings 4 and 5 also includes metal siding interspersed with the hardie board siding and CMU veneer. The applicant submitted a materials board (Exhibit J) for all buildings, which includes proposed colors in conformance with the Sandy color palette; the CMU veneer will be khaki, the hardie board siding will be Spanish pine, and the trim will be Langdon dove. In addition, there will be a cedar wood accent and an evergreen standing seam metal roof for the window awnings. The metal awnings are proposed on the east elevations of Buildings 1 and 2. To provide additional architectural unity, **the applicant shall update the elevations to detail metal awnings above the windows on the south elevations of Buildings 4 and 5.**
39. Section 17.90.120(B.3.b) requires that at least 36 inches of a buildings base contains stone on the sides of the building visible from the public street. The activated frontages of the proposed buildings have a 36-inch split faced CMU veneer base. The proposed CMU veneer base is khaki colored by Mutual Material.
40. Section 17.90.120(B.3.d) specifies approved building materials. Section 17.90.120(B.3.d.3) states that where masonry siding is used, it shall consist of brick, stone, or rusticated concrete block, and must incorporate decorative patterns over not less than 15 percent of every elevation where it is used. The proposed siding for the building is 8-inch split-faced concrete block and hardieplank lap siding for the entryway on the east elevation. Both of these siding materials are acceptable siding materials.

41. Section 17.90.120(B.3.d.4) specifies that metal siding shall be used as an accent only, comprising not more than 30 percent of the surface area of the building elevation. The applicant is proposing to use metal siding on Buildings 2, 3, 4, and 5 and is requesting a variance to use 36 percent metal siding (20 percent more than the 30 percent maximum allowed); however, the submitted elevations (Exhibit C, Sheet A4) detail approximately 90 to 100 percent metal siding on two facades. The applicant's deviation, adjustment, and variance narrative (Exhibit B) states that the metal siding is visually indistinguishable from the hardie board lap siding and that it will only be used on facades that will be hidden from view by retaining walls, trees and/or other buildings. The variance request will be discussed further in Chapter 17.66 of this document.
42. Section 17.90.120(B.3.e) requires building elevations facing a public street to incorporate at least three (3) of the features from the list in Section 17.90.120(B.3.e). The north elevation of proposed Building 1 is visible from Highway 26 and incorporates exposed heavy timber trusses and metal canopies; a third Sandy Style feature is not identified. The east elevations of Buildings 1 and 2 are visible from Champion Way and include metal canopies (awnings) over the windows; however, the remaining two required Sandy Style elements are not identified. The south and east elevations of Building 5, south and west elevations of Building 4, and west elevation of Building 3 are visible from Industrial Way. Each elevation includes windows and 2-3 contrasting types of siding; however, none of the visible elevations include heavy timbers, wood beams, wood shingles, metal canopies, metal brackets, or other Sandy Style elements. **The applicant shall update the submitted elevations to detail a minimum of three (3) Sandy Style elements from the list in Section 17.90.120(B.3.e) on each activated frontage of each building.**
43. Section 17.90.120(B.3.f) specifies that materials required on elevations visible from an abutting public street must turn the building corner and incorporate appropriate transitions onto elevations not requiring these materials for a distance of not less than four (4) feet. A split faced block veneer base is proposed along all elevations with the exception of the north elevation of Building 3 and the west side of the south elevation of Building 2. Neither of these elevations should be visible from an abutting public street. **The applicant shall update the elevations to detail the stone base wrapping around the corners on the north elevation of Building 3 and the west side of the south elevation of Building 2 for a distance of at least 4 feet.**
44. Section 17.90.120(B.4) requires exterior building colors to include warm earth tones that conform to the Color Palette in Chapter 17.90, Appendix C. The submitted materials board (Exhibit J) details the primary wall color as "Spanish Pine" with an accent trim of "Langdon Dove." The split-faced CMU veneer base is "Khaki." Spanish Pine and Langdon Dove are in conformance with the Color Palette in Appendix C. The Khaki CMU veneer is consistent with other Sandy Style buildings.
45. Section 17.90.120(C.1) requires that primary roof forms on buildings with a span of 50-feet or less contain a minimum roof pitch of 6:12. The proposed building span for Building 1 is greater than 50 feet so the building is not required to be constructed with a pitched roof. The proposal does include a pitched roof over the primary entrance on Building 1. Buildings 2-5

have a span of 42 feet, which is less than 50 feet and, therefore require pitched roofs. The applicant is requesting a Type II Adjustment to allow a flat roof on Buildings 2-5 similar to the roof on Building 1. The adjustment request is discussed further in Chapter 17.66 of this document.

46. Section 17.90.120(C.5) states that visible roof materials must be wood shingle or architectural grade composition shingle, slate, or concrete tile. The proposed roofs are flat and not visible. The primary roof color is Sandstone by Metallion Industries, with an accent roof color of Evergreen. The applicant is also proposing several canopies (window awnings) that will have standing seam metal roofs in "Evergreen." Both Sandstone and Evergreen are on the City of Sandy approved metal roofing color palette.
47. Section 17.90.120(C.6) states that all roof and wall-mounted mechanical, electrical, communications, and service equipment, including satellite dishes and vent pipes, shall be screened from view from all adjacent public rights-of-way and civic spaces by parapets, walls or by other approved means. The applicant did not submit details on rooftop equipment. **All rooftop equipment shall be screened from view from all adjacent rights-of-way and civic spaces. The applicant shall submit line of sight analysis for the rooftop equipment prior to submitting building permits.**
48. Section 17.90.120(C.8) contains standards for exceptions to pitched roofs. The proposed building span for Building 1 is approximately 72 feet, which is greater than 50 feet. The applicant did not provide a reason for not using the applied pitched roof. The applicant is requesting a flat roof design with parapets for all buildings. The parapets visible from an abutting public street are spaced so as not to exceed 40 feet without a change in the parapet height of at least 2 feet.
49. Section 17.90.120(D) contains standards related to building orientation and entrances. Section 17.90.120(D.1) states that buildings shall be oriented to a public street or civic space. The proposed buildings contain frontage on Champion Way and Industrial Way. The applicant is not proposing any development adjacent to Highway 26 with this proposal. Furthermore, the frontage along Highway 26 is restricted by the BPA easement and, therefore, a building would not be allowed. The total Champion Way frontage of the site is approximately 320 feet. However, approximately 110 feet of the Champion Way frontage is the wetland and storm sewer easement area and is, therefore, unbuildable. The combined Champion Way frontage of Buildings 1 and 2 within 20 feet of the Champion Way sidewalk is approximately 65 feet, which is approximately 59 percent of the street frontage (excluding the wetland area). The site frontage on Industrial Way is approximately 385 feet; however, approximately 170 feet is the wetland and storm sewer easement area and is, therefore, unbuildable. Both Buildings 4 and 5 are set back farther than 20 feet, with the exception of the SW corner of Building 4. In order to meet the requirements of Section 17.90.120(D.1), the applicant would need to redesign the layout of Buildings 4 and 5 such that the combined frontage of Buildings 4 and 5 within 20 feet of Industrial Way is approximately 107.5 feet (50 percent of the 215 feet of Industrial Way frontage that is not wetland). Alternatively, the applicant would need to request a Special Variance to Section 17.90.120 (D.1) and pay the Special Variance fee (\$1,070). At the March 19, 2019 Planning Commission hearing, the applicant indicated they would like to request a

variance to Section 17.90.120 (D.1). The variance request is discussed further in Chapter 17.66 of this document.

50. Section 17.90.120(D.2) states that where parking is placed between a front façade and a street, a landscaped berm and/or architectural features, such as a knee wall, colonnade, arbor, trellis and/or similar device, shall be placed behind the sidewalk to partially screen the parking area from the sidewalk. The partial screen shall be designed to achieve at least 50 percent opacity at the time of installation, with openings for walkways connecting to the building's primary entrance. The proposal does not include parking between the building and street frontage.
51. Section 17.90.120(D.3) states that ground floor spaces shall face a public street or civic space and shall be connected to it by a direct pedestrian route (i.e., avoid out-of-direction travel). The applicant has requested a design deviation to not provide pedestrian entries on all activated frontages. The primary pedestrian entry is on the north elevation of Building 1, where the main office for the storage facility will be located. The applicant is proposing a new pedestrian walkway connecting the Champion Way sidewalk to the civic space and office entrance at the northeast corner of Building 1. Staff acknowledges that, aside from the office entrance, the remaining storage facility buildings will not be accessed by the general public and, therefore, a direct pedestrian route to each building is not necessary. **Staff recommends the Planning Commission approve the applicant's request for a deviation to not provide direct pedestrian routes to public entrances on Buildings 2-5.**
52. Section 17.90.120(D.4) states that buildings located at the intersection of two streets shall use a corner building entrance. The proposed buildings are not located at the intersection of two streets so this design standard does not apply.
53. Section 17.90.120(D.5) states that for structures greater than 40,000 gross square feet, there shall be at least two (2) clearly articulated public entrances on the structure; at least one such entrance shall be visible from a public street and connected to that street by a pedestrian sidewalk or walkway. All five (5) of the proposed buildings are less than 40,000 square feet.
54. Section 17.90.120(D.6) states that retail buildings shall provide at least one customer entrance for every 200 lineal feet of space. Buildings 1 and 2 exceed 200 lineal feet on their east-west axis; however, the short end of the buildings are oriented towards the street so this design standard does not apply.
55. Section 17.90.120(D.7) states that buildings shall provide at least one (1) elevation where the pedestrian environment is "activated." An elevation is "activated" when it meets the window transparency requirements in subsection 17.90.120(E), below, and contains a public entrance with a pedestrian shelter extending at least five (5) feet over an adjacent sidewalk, walkway or civic space. The applicant previously applied for a code interpretation (File No. 18-027 INT, Exhibit 0). The Planning Commission determined the activated frontages of each building as follows: the north elevation of Building 1 will be visible from Highway 26; the east elevations of Buildings 1 and 2 will be visible from Champion Way; and the south and west elevations of Building 4, and west elevation of Building 3 will be visible from Industrial Way. At the time, the applicant was not proposing Building 5 so the Planning Commission did not discuss activated frontages on Building 5; however, staff has determined that the south and east elevations of Building 5 will be visible from Industrial Way. The proposed

designs for the north elevation of Building 1 includes false windows and four (4) recessed gabled pedestrian entryways. The east elevations of Buildings 1 and 2, the south and west elevations of Building 4, the west elevation of Building 3, and the south and east elevations of Building 5 all contain false windows. The applicant is requesting a design deviation to not provide pedestrian entryways on all activated frontages, with the exception of the north elevation of Building 1. Per the applicant's narrative (Exhibit B), "the proposed use, self-storage, is incompatible with [the public entrance] requirement, despite being an allowed use in the I-1 zone. The applicant has attempted to follow the intent of this standard to the extent that it is feasible by locating the active use, the office, at the street facing end of building one. This is the public face of the project, and includes a prominent entry and civic space, as shown on the renderings and site plans. Because the remainder of the buildings contain no active uses, the applicant contends that a deviation from this standard is appropriate." Staff acknowledges that, aside from the office entrance, the remaining storage facility buildings will not be accessed by the general public. **Staff recommends the Planning Commission approve the applicant's request for a deviation to not provide public entrances on Buildings 2-5.** The applicant is also requesting a variance to the window requirements of Section 17.90.120(E). The variance request to window coverage is discussed further in Chapter 17.66 of this document.

56. Section 17.90.120(D.8) states that primary entrances must be architecturally emphasized, visible from the public right-of-way, and sheltered with a canopy, overhang, or portico with a depth of at least five (5) feet. Architectural emphasis should be provided by a gabled shelter where practical, consistent with the Sandy Style. Detailing around the base of the building, such as stonework, benches or art, should also be used to emphasize an entrance. The proposed primary entrance to the self-storage facility is on the north elevation of Building 1, where the office for the storage facility will be located. The entrance includes a gable roofed entry featuring heavy timbers and posts. The entryway will be visible from Champion Way and will be connected to the Champion Way sidewalk by a pedestrian walkway.
57. Section 17.90.120(E) contains standards for construction and placement of windows. The intent of windows is to promote business vitality, public safety, and aesthetics through effective window placement and design. The activated elevations of all five (5) buildings contain false windows. The applicant submitted window glazing diagrams and calculations (Exhibit C, Sheet A5) that detail proposed windows on each elevation as well as a calculation of window percent for each elevation. Only the east elevation of Building 1 meets the required window percentage. The applicant has requested a variance to the window coverage requirement for all other activated frontages. The applicant previously submitted an application for a code interpretation related to the storage project (File No. 18-027 INT, Exhibit O). During the Planning Commission hearing, the Planning Commission decided that faux or false windows could count towards the required window percentage. Thus, the applicant is not required to apply for a variance to allow the use of faux windows rather than clear glass windows as required by Section 17.90.120(E.2.a). The variance request to reduce required window percentage is discussed further in Chapter 17.66 of this document.
58. The intent of Section 17.90.120(F) is to promote business vitality, public safety and aesthetics through effective landscaping and streetscape design, consistent with the Sandy Style, and to provide for a continuous pedestrian network that promotes pedestrian safety,

comfort and convenience, and provides materials and detailing consistent with the Sandy Style. Section 17.90.120(F.2) states that parcels abutting Highway 26 shall provide a landscape buffer comprising not less than 30 percent of the highway frontage, to a depth of not less than 20 feet. Section 17.90.120(F.3) contains a list of species approved for the landscape buffer. The subject property abuts Highway 26 and, therefore, is required to provide a landscape buffer comprising not less than 30 percent of the highway frontage to a depth of not less than 20 feet. There are no existing trees within the 20 foot buffer to Highway 26. The proposed Landscape Plan (Exhibit C, Sheet L1) details street trees along Highway 26, but no buffer plants.

The applicant is not proposing to develop the portion of the site under the BPA easement with this application. **The applicant shall be required to meet the requirements of Section 17.90.120(F) at the time of development of the portion of the site under the BPA easement. At that time, the applicant shall update the Landscape Plan to detail a landscape buffer comprising not less than 30 percent of the highway frontage. The required landscape buffer plantings along Highway 26 shall be at least 20 feet deep and shall contain a mixture of deciduous and evergreen species of a sufficient quantity to provide a partial buffer within two (2) years from the date they are planted. The applicant shall select species from the list in Section 17.90.120(F.3) (with the exception of maples), or propose alternative native species for staff review and approval.** Staff recommends including serviceberry and a few additional shrubs and/or groundcover species from the following: red flowering currant, ceanothus 'Blue Blossom,' salal, rock rose, or low growing Oregon grape.

59. Section 17.90.120(G) contains standards for civic spaces within developments. The intent of civic space is to connect buildings to the public realm and create comfortable and attractive gathering places and outdoor seating areas for customers and the public. The code requires 3 percent of the building area be developed as civic space and in no instance have an area less than 64 square feet. The total area of the five (5) proposed buildings is 57,559 square feet, therefore, the required civic space is 1,727 square feet. The submitted Site Plan (Exhibit C, Sheet A1.1) details a 250 square foot civic space located adjacent to the proposed office at the northeast corner of Building 1. **The civic space shall include at least one public bench and one public art element or similar pedestrian amenity reviewed and approved by staff.** Based on the proposed use as a storage facility, staff believes the proposed 250 square foot civic space located adjacent to the office entry is reasonable; however, this would require a special variance since it's of the applicant's making. At the March 19, 2109 Planning Commission hearing, the applicant indicated that they would like to request a special variance to Section 17.90.120(G) and pay the appropriate fee (\$1,070). The variance request is discussed further in Chapter 17.66 of this document.
60. Section 17.90.120(H) contains standards regarding lighting. Section 17.90.120(H.3) specifies that walkways and parking lots should be illuminated at 1.5 – 2.0 foot candles. Section 17.90.120(H.3) specifies that walkways and parking lots should be illuminated at 1.5 – 2.0 foot candles. The submitted Photometric Plan (Exhibit C, Sheet E0.1) details parking lot illumination at 0.3 to 4.7 foot candles and walkway illumination at 0.6 to 19.2 foot candles. The applicant is proposing multiple different types of lights. **The applicant shall update the proposed parking area lights with lights that have a smaller distribution and emit less**

intense light and shall add pedestrian scale lighting along the walkways such that they are illuminated at 1.5 – 2.0 foot candles. Lighting is discussed further in Chapter 15.30 (Dark Sky) of this document.

61. Section 17.90.120(I) contains standards to promote natural surveillance of public spaces. Section 17.90.120(I.1) requires windows to be located in a manner that enables tenants, employees, and police to watch over pedestrian, parking, and loading areas. The proposed parking area is located adjacent to the north elevation of Building 1 near the proposed office. The north elevation for Building 1 (Exhibit C, Sheet A3) does not specify that the windows along the office portion of the building are real windows. Real windows would allow visibility from the office to the pedestrian entrance and parking area. **The applicant shall update the north elevation of Building 1 to detail real windows along the office portion of Building 1.**
62. Section 17.90.120(I.2) states that in commercial, public, and semipublic development, windows should be located in a manner that enables surveillance of interior activity from the public right-of-way. The proposed windows along the north façade of Building 1 will allow visibility between the proposed office area and the proposed civic space. Visibility of the civic space from the office is a desirable surveillance feature.
63. Section 17.90.120(I.3) contains standards to provide street address numbers. **The applicant shall provide street address numbers measuring a minimum of six (6) inches high, which clearly locate buildings and their entries for patrons and emergency services. The applicant shall verify the location(s) of the address with the Building Official and emergency service providers.**
64. Section 17.90.120(I.4) states that on-site lighting should be located, oriented, and selected to facilitate surveillance of on-site activities from the public right-of-way and other public areas. On-site lighting is evaluated in Chapter 15.30 of this staff report. Lighting has been designed to illuminate driveways and building entrances.
65. The intent of Section 17.90.120(J) is to promote land use compatibility and aesthetics, particularly where development abuts public spaces. Section 17.90.120(J.1) states that exterior storage of merchandise and/or materials, except as specifically authorized as a permitted accessory use, is prohibited. The applicant is proposing an indoor self-storage facility and is not proposing any outdoor storage. The applicant also proposes a trash enclosure area, which will be screened.
66. Section 17.90.120(J.2) states that where storage is allowed, it must be screened from view from public rights of way and civic spaces at least eight (8) feet and not more than 10 feet unless the screen is a continuation of the building wall. The applicant is not proposing any outdoor storage areas.
67. Section 17.90.120(J.3) states that mechanical, electrical, communications equipment including meters and transformers, and service and delivery entrances and garbage storage areas shall be screened from view from public rights-of-way and civic spaces. Garbage storage areas are addressed in staff's response to Section 17.90.120(J.4), below. The

submitted building elevations (Exhibit C, Sheets A.3 and A.4) do not detail the proposed locations of rooftop mechanical equipment. **All rooftop equipment shall be screened from view from all adjacent rights-of-way and civic spaces. The applicant shall submit line of sight analysis for the rooftop equipment prior to submitting building permits.**

68. Section 17.90.120(J)(4) contains standards for trash collection and recycling areas. The applicant proposes a trash enclosure area to the east of Building 4, which will not be visible from any public rights-of-way or civic spaces. The applicant submitted elevations for the trash enclosure area (Exhibit C, Sheet A1.2) that detail a 6-foot tall, 6-inch thick CMU enclosure with a steel gate. The enclosure detail states that the wall and gate will be painted the same color as the brick veneer of the buildings.
69. Section 17.90.120(J.5) contains standards for exceptions to the provisions in Section 17.90.120(J). No exceptions to the external storage requirements are being requested.

17.92 – Landscaping

70. Section 17.92.90 contains general provisions for landscaping. Per Section 17.92.10(C), significant trees should be preserved to the greatest extent practicable, integrated into the design of a development, and protected from damage during construction by a construction fence located 5 feet outside the dripline of trees. The subject site has many trees within the wetland area at the south edge of the site. The applicant is not proposing any tree removal. **The applicant shall install tree protection fencing located 5 feet outside of the dripline of all existing trees on site. Per Section 17.92.10(L), all landscaping shall be continually maintained, including necessary watering, weeding, pruning, and replacing.**
71. Section 17.92.20 contains minimum landscaping area requirements. The subject property is zoned Industrial Park, I-1. Section 17.92.20 requires that a minimum of 20 percent of the site be landscaped in the Industrial Park (I-1) zoning district. The submitted Landscape Plan (Exhibit C, Sheets L.1 and L.2) does not identify the percent of landscaping. **The applicant shall submit additional calculations demonstrating that the 20 percent landscaping standard is met.** Street trees and landscaping in the public rights-of-way do not count towards the required landscaping.
72. Section 17.92.30 requires trees to be planted in parking lots with more than four parking spaces, and along public street frontages. Section 17.92.30 requires trees to be planted along public street frontages. Based on the proposed planter area width the requirement will be medium sized trees spaced 30 feet on center. The submitted Landscape Plan (Exhibit C, Sheets L.1 and L.2) detail street trees along all three site frontages (Highway 26, Champion Way, and Industrial Way) in compliance with the code. **The applicant will be required to obtain a permit from ODOT to place trees within the highway right-of-way. All street trees shall be a minimum of 1.5-inches in caliper measured 6 inches above the ground and shall be planted per the City of Sandy standard planting detail. Trees and planter strip shall be installed per the approved landscape plan. Tree ties shall be twine and loosely tied so as not to damage the trunk and shall be removed after one growing season (or a maximum of 1 year).**
73. Section 17.92.40 requires that landscaping shall be irrigated. The submitted Landscape Plan (Exhibit C, Sheet L.2) indicates that an automatic underground irrigation system will be used.

74. Section 17.92.50 requires that plant materials meet a particular size. Shrubs and bushes shall be a minimum of one gallon in size or two feet in height when planted. Evergreen trees shall be at least five feet in height and deciduous trees at least 1.5 inches in caliper when planted. The Landscape Plan (Exhibit C, Sheet L.1) identifies the following street trees at 2.5-inch caliper:

- 8 *Acer rubrum* 'Armstrong'
- 23 *Zelkova serrata*
- 6 *Acer ginnala*
- 5 *Styrax japonica*

In addition, the Landscape Plan identifies nine (9) evergreen *Pseudotsuga menziesii* at 6 feet in height and eight (8) *Acer circinatum* at 6-8 feet in height. Due to concerns with Asian Longhorn Beetle and Emerald Ash Borer, staff do not recommend planting new maples or ashes at this time. **The applicant shall update the proposed tree list to include an alternate species for the three (3) proposed maples (*Acer rubrum* 'Armstrong,' *Acer ginnala*, and *Acer circinatum*). The straight species of the Zelkova is not of the City of Sandy street tree list. The applicant shall update the proposed tree list to include one of the three approved varieties of *Zelkova serrata*: 'Green Vase,' 'Halka,' or 'Village Green.'** Street trees are typically required to be a minimum caliper of 1.5-inches measured 6 inches from grade. The applicant is proposing 2.5-inch caliper street trees; however, staff has received feedback that fewer species are available at the 2.5-inch caliper size. **To provide species diversity, staff recommends requiring 1.5-inch caliper street trees.**

The Landscape Plan identifies all shrubs at least one gallon in size or 24-inches in height in compliance with the code requirement

The proposed landscaping includes *Prunus laurocerasus* 'Otto Luyken.' *P. laurocerasus* is identified as a Rank C nuisance species on the Portland Nuisance Plant List. Although Rank C nuisance species pose less of a threat than species ranked A or B, staff doesn't recommend approval of any plants identified as nuisance plants. **The applicant shall update the Landscape Plan and plant materials list to remove *Prunus laurocerasus* and replace it with an alternative native shrub.**

75. Section 17.92.60 requires revegetation of natural landscaped areas. The applicant did not submit any plans for re-vegetation of areas damaged through grading/construction. **The applicant shall maintain all unlandscaped and/or revegetated areas for a period of two years following the issuance of the Certificate of Occupancy for the facility.** While the code states that revegetated areas have to be maintained for at least two years, the code also states that the site shall have a minimum of 20 percent of the site landscaped, so in actuality the revegetated areas have to be maintained in perpetuity.

76. Section 17.92.130 contains standards for a performance bond. The applicant has the option to defer the installation of street trees and/or landscaping for weather-related reasons. Staff recommends the applicant utilize this option rather than install trees and landscaping during the dry summer months. **If the applicant chooses to postpone street tree and/or landscaping installation, the applicant shall post a performance bond equal to 120 percent of the cost of the landscaping, assuring installation within 6 months. The cost of street trees shall be based on the street tree plan and at least \$500 per tree. The cost of**

landscaping shall be based on the average of three estimates from three landscaping contractors; the estimates shall include as separate items all materials, labor, and other costs of the required action, including a three-year maintenance and warranty period.

17.98 – Parking

77. Section 17.98.20 contains off-street parking requirements for different uses. The proposed use is a self-storage facility and most closely resembles ‘General, professional, or banking offices and services’ in the off-street parking requirements table. Customers will likely be parking directly in front of their unit to facilitate loading and unloading of items so staff doesn’t think it makes sense to base the parking requirement on the total square footage of all five buildings. However, staff thinks providing at least one parking space near each building is reasonable. In addition, employees and customers renting a storage unit, closing an account, or paying a rental invoice will need to park by the office. The office is proposed to be 600 square feet, which would require 2 parking spaces (600 divided by 300), plus 1 parking space per 2 employees. The applicant did not state how many employees there will be on the largest shift but staff assumes no more than two (2) employees. Thus, the parking requirement for the office area is 3 parking spaces (2 customer parking spaces plus 1 employee parking space). The applicant is proposing five (5) parking spaces near the office plus an additional two (2) parking spaces east of Building 4. The parking spaces east of Building 4 are located in close proximity to both Buildings 3 and 4 so meet staff’s recommendation of providing one parking space per building for Buildings 3 and 4. **The applicant shall update the site plan to detail four (4) parking spaces in the parking area adjacent to the office (3 for the office use, plus 1 for Building 1). In addition, the applicant shall update the site plan to detail one (1) parking space near Building 2 and one (1) parking space near Building 5. The applicant shall submit the updated parking plan to staff for review and approval.**

Two (2) bicycle parking spaces are required. The submitted Site Plan Detail sheet (Exhibit C, Sheet A1.2) details 2 bicycle parking spaces located east of the office entrance.

78. Section 17.98.50 contains parking setback requirements. The primary proposed parking area is located to the north of Building 1, with two additional spaces located on the interior of the site, east of Building 4. The proposed parking spaces near Building 1 are set back 20 feet from the Champion Way right-of-way in adherence with the code requirement.

79. Section 17.98.60 includes standards on parking lot design, size, and access. Section 17.98.60(A) requires parking lots to be constructed with a durable hard surface such as concrete or asphalt. The parking lot is designed to be constructed with asphalt.

80. Section 17.98.60(B) contains standards for the size of parking spaces. The Site Plan (Exhibit C, Sheets 3A and 4) identifies seven (7) parking spaces total. The five (5) parking spaces located near the office in Building 1 are standard parking spaces at 9 feet by 19 feet, including 1 ADA parking space, and the remaining two (2) parking spaces located east of Building 4 are 10 feet by 20 feet. The ADA parking space is detailed with the aisle on the driver’s side. **The applicant shall update the plan set to detail the ADA parking space with the aisle on the passenger side. Signage associated with the ADA parking space shall meet the head clearance distance requirement in the Building Code.**

81. Section 17.98.60(C) contains standards on parking lot aisle width. All parking aisles are proposed to meet or exceed the minimum aisle width standards for one-way and two-way single sided parking aisles. The parking area by Building 1 is adjacent to a 24 foot wide driveway. The two parking spaces east of Building 4 are accessed by a 26 foot wide one-way driveway.
82. Section 17.98.80 contains provisions for access to arterial and collector streets. Primary access to the upper floor of Building 1, including the office, is proposed via a driveway from the existing 30 foot wide common access easement connecting to Champion Way. An additional driveway is proposed off of Industrial Way, which will provide access to Building 5 to the west, and Buildings 2-4 and the lower storage level of Building 1 to the east, as well as access for delivery vehicles to the Tractor Supply Company site. The driveway to Buildings 2-4 and the lower level of Building 1 is designed as a one-way driveway with an egress onto Champion Way. The applicant is requesting a variance to allow a second driveway on Champion Way with less than the required 150 feet spacing to another driveway. The variance request is discussed further in Chapter 17.66 of this document.
83. Section 17.98.100 contains standards for driveways. The upper floor of Building 1, which includes the main office, will gain access via a driveway from the existing 30 foot wide common access easement connecting to Champion Way. The City's Transportation Engineer (Exhibit L) has concerns with the proposed driveway off of the common access easement. He believes that the proposed configuration may result in traffic conflicts between the customers and employees of Sandy Vault and those of nearby properties. The resulting traffic conflicts could produce stoppages in the shared driveway and even on Champion Way. He further states that, while traffic volumes are low, the stoppages are a predictable outcome that could result in unsafe conditions. To minimize the chance of conflict between eastbound traffic on the shared common access easement driveway and inbound traffic to the Sandy Vault site, **the City's Transportation Engineer recommends that the ingress to the Sandy Vault office and Building 1 be located opposite the existing drive aisle between the Arco station and the convenience store. The City's Transportation Engineer estimates that distance to be approximately 120 feet west of the west curb of Champion Way.** The proposal also includes a new 36 foot wide driveway on Industrial Way that will provide access to Building 5 to the west, Buildings 2-4 and the lower storage level of Building 1 to the east, and delivery access to the Tractor Supply Company. The driveway to Buildings 2-4 and the lower level of Building 1 is designed as a one-way driveway with an egress onto Champion Way. Per the City Engineer (Exhibit K), **the proposed driveway accesses at Industrial Way and Champion Way shall be concrete Commercial Driveway approaches constructed to City standards.** The City's Transportation Engineer (Exhibit L) states that as long as sight distance is provided for exiting vehicles and the gate placement does not cause vehicles to encroach on the street or sidewalk, the exit-only driveway onto Champion Way appears acceptable.
84. Section 17.98.120 contains landscaping and screening provisions. Section 17.98.120(A) requires screening of parking areas containing 4 or more spaces. The primary proposed parking area is located north of Building 1 and adjacent to Champion Way. A landscaped buffer with a walkway is proposed between the Champion Way right-of-way and the parking area.

85. Section 17.98.120(C) requires parking facilities to include at least 10 percent landscaping. The proposal features a landscaped buffer along the majority of the perimeter of the primary parking area associated with Building 1. The applicant did not submit a landscaping analysis for the parking area. **The applicant shall submit additional information regarding landscaping in the parking area by Building 1 to ensure that the 10 percent minimum landscaping as required by Section 17.98.120(C) is met.**
86. Section 17.98.120(D) restricts parking bays to no more than 20 spaces and requires landscape planters at the ends of each parking bay. The proposal contains planter bays at the ends of the parking rows by Building 1; however, the planter bay north of the three (3) parking spaces is less than five feet in width. The two (2) parking spaces east of Building 4 do not have any planter bays or landscaping proposed; however, they are located on the interior of the site and contain fewer than 4 spaces. Staff is recommending that the applicant update the site plan to detail four (4) parking spaces rather than 5 parking spaces adjacent to Building 1. This will provide additional space to meet the five foot landscaping buffer at each end of each parking bay in the office parking area. **The applicant shall update the Landscape Plan to detail a minimum 5 foot by 17 foot landscape planter at the north end of the parking bay adjacent to Building 1. The landscape planters shall contain at least one structural tree and groundcover; however, staff recommends all landscaping buffers contain a mix of trees, shrubs, and groundcover.**
87. Section 17.98.120(E) states that parking area setbacks shall be landscaped with major trees, shrubs, and ground cover. The proposal features a landscaped buffer with a walkway along the Champion Way perimeter of the parking area by Building 1. Section 17.92.80 requires a mix of plant materials be planted to buffer parking lots from adjacent properties and the public right-of-way and states: "A balance of low-lying ground cover and shrubs, and vertical shrubs and trees shall be used." The portion of the buffer west of the walkway is proposed to contain Japanese red leaf barberry and the portion of the buffer east of the walkway is proposed to contain a mix of rock cotoneaster, sedge 'Evercolor Everest,' 'Mountain Fire' Andromeda, and 'Kelsey' red twig dogwood. The applicant is not proposing any trees in the parking area setback. **The applicant shall update the Landscape Plan to detail a mix of trees, shrubs, and groundcover in the parking area setback adjacent to Champion Way.**
88. Section 17.98.120(F) requires wheel stops or other method to protect landscaped areas. The submitted plan set details wheel stops in the parking area near Building 1. No wheel stops are detailed in the two-stall parking area east of Building 4; however, there are no adjacent walkways.
89. Section 17.98.140 requires parking areas, aisles, and turnarounds to provide adequate provisions for on-site collection of stormwater to eliminate sheet flow onto sidewalks, public rights-of-way and abutting private property. **The applicant shall comply with the requirements of Section 13.18 of the Sandy Municipal Code and the City of Portland Stormwater Management Manual, as discussed in Chapter 17.84 above.**
90. Section 17.98.150 requires lighting to be provided in all required off-street parking areas. The applicant submitted lighting cut-sheets for new site lighting, and a photometric plan. These submittals are reviewed in Chapter 15.30 below.

91. Section 17.98.160 details requirements related to the provision of bicycle parking. The submitted Site Plan (Exhibit C, Sheet A1.2) details 2 bicycle parking spaces located east of the office entrance. Section 17.98.160(B.1) requires each bicycle parking space to be at least 2.5 feet by 6 feet. Per Section 17.98.20, two (2) bicycle parking spaces are required based on the proposed use and parking spaces provided. Two bicycle parking spaces require an area that is at least 5 feet by 6 feet.

17.102 – Urban Forestry

92. Section 17.102.20 contains information on the applicability of Urban Forestry regulations. The subject property contains 5.44 acres and, therefore, compliance with this Chapter is required. Chapter 17.102 requires retention of 16 (5.44 x 3) trees 11-inches or greater (DBH) and in good condition. The applicant is not proposing to remove any trees from the subject property.
93. Section 17.102.50 requires the retention of at least three trees 11 inches DBH or greater to be retained for every one acre of contiguous ownership. The subject property is 5.44 acres and, therefore, requires retention of at least 16 trees 11-inches or greater DBH and in good health. There are many trees located in the wetland and storm sewer easement area towards the south end of the subject property. The applicant is not proposing to remove any trees from the subject property.
94. Section 17.102.50(B.1) requires tree protection fencing be placed no less than 10 horizontal feet from the outside edge of the trunk. Per the Pacific Northwest International Society of Arboriculture (ISA), the ISA defines the critical root zone (CRZ) as “an area equal to a 1-foot radius from the base of the tree’s trunk for each 1 inch of the tree’s diameter at 4.5 feet above grade (referred to as diameter at breast height).” Often the drip-line is used to estimate a tree’s CRZ; however, it should be noted that a tree’s roots typically extend well beyond its drip-line. Section 17.92.10(C) requires tree protection fencing located 5 feet beyond the drip-line of a tree, taking into account that there are many roots beyond the drip-line and that trees continue to grow. The applicant is proposing to retain all trees on the subject property. The submitted arborist’s report (Exhibit E) states: “There should be no impact to the trees located in the storm sewer easement on the south side of the Sandy Storage Site from the development and construction of the storage units on the site.” The arborist report identifies two trees south of Building 2 where development will encroach within the drip line of the trees but concludes that there should be no long-term impact to either tree’s health or stability as long as construction activity is not allowed to extend beyond the limits of construction, which is based on a line staked out on October 6, 2018 prior to the arborist’s site visit. The arborist report recommends placing tree protection fencing along the north side of the storm sewer easement to protect the trees. **Tree protection fencing shall be located at least 5 feet beyond the dripline of all retention trees, with the exception of the two trees identified in the arborist report whose drip lines extend beyond the staked limit of construction line (an alder and a cottonwood). For these two trees, the tree protection fencing shall not encroach more than 4 feet into the drip line of the alder and more than 10 feet into the dripline of the cottonwood identified in the arborist report. Tree protection fencing shall be a minimum of six feet tall supported with metal posts placed no farther than ten feet apart installed flush with the initial undisturbed grade. Staff recommends using 6-foot tall no-jump horse fencing. The applicant shall affix a laminated sign (minimum**

8.5 inches by 11 inches) to the tree protection fencing indicating that the area behind the fence is a tree retention area and that the fence shall not be removed or relocated. No construction activity shall occur within the tree protection zone, including, but not limited to, dumping or storage of materials such as building supplies, soil, waste items, equipment, or parked vehicles. The applicant shall request an inspection of tree protection measures prior to any excavation, grading, or other construction activity on the site.

8.04 – Nuisances General Provisions

95. Section 8.04.020 regulates public nuisances. The presence of pests is considered to be a nuisance and potentially detrimental to public health. Prior to development of the site, **staff recommends the applicant have a licensed pest control agent evaluate the site to determine if pest eradication is needed.**

15.30 – Dark Sky Ordinance

96. Chapter 15.30 regulates outdoor lighting in order to reduce or prevent light pollution. The applicant submitted a Photometric Plan (Exhibit C, Sheet E0.1) detailing the location of proposed lighting and projected foot candles. Section 15.30.60(D) requires all lighting systems to be designed so that the area 10 feet beyond the property line receives no more than 0.25 (one quarter) of a foot-candle of light. It is difficult to see the property lines on the submitted Photometric Plan, but it appears that light trespass 10 feet beyond the subject property lines exceeds the 0.25 foot-candle limit in multiple places. **The applicant shall update the Photometric Plan such that illumination 10 feet beyond the property lines in all directions does not exceed 0.25 foot candles. The property lines and foot candles at 10 feet from the property line shall be labeled and legible.**

Section 17.90.120(H.3) specifies that walkways and parking lots should be illuminated at 1.5 to 2.0 foot candles. The submitted Photometric Plan (Exhibit C, Sheet E0.1) details parking lot illumination at 0.3 to 4.7 foot candles and walkway illumination at 0.6 to 19.2 foot candles. The applicant is proposing multiple different types of lights. **The applicant shall update the proposed parking area lights with lights that have a smaller distribution and emit less intense light and shall add pedestrian scale lighting along the walkways such that they are illuminated at 1.5 – 2.0 foot candles.**

- The Dark Sky ordinance requires that all new lighting be full-cutoff and downward facing. The submitted lighting cut-sheets (Exhibit I) and Photometric Plan (Exhibit C, Sheet E0.1) indicate that multiple proposed lights are 4,000 Kelvins. Based on recommendations from the Audubon Society of Portland and the International Dark-Sky Association, **staff recommends all proposed lighting be full-cutoff and not exceed 3,000 Kelvins. The applicant shall submit updated lighting fixture cut-sheets for all proposed exterior lighting that detail the lighting fixtures as full-cutoff and not exceeding 3,000 Kelvins to minimize negative impact on wildlife and human health.**

15.44 – Erosion Control

97. Chapter 15.44 applies to all ground disturbing activities within city limits. Per the City Engineer (Exhibit K), **all earthwork activities should follow the requirements of the most**

current edition of the Oregon Structural Specialty Code (OSSC). Site grading shall not in any way impede or impound or inundate the surface drainage flow from the adjoining properties without a proper collection system. The earthwork activities shall be observed and documented under the supervision of the geotechnical engineer. The City Engineer feels the Geotechnical Engineering Report (Exhibit F) dated December 11, 2011 that was prepared as part of the ARCO am/pm fuel station should be compatible with this site's existing conditions. All the work within the public right-of-way and within the paved area should comply with American Public Works Association (APWA) and City requirements as amended. The applicant shall submit a grading and erosion control permit and request an inspection of installed devices prior to any additional grading onsite. The grading and erosion control plan shall include a re-vegetation plan for all areas disturbed during construction. All erosion control and grading shall comply with Section 15.44 of the Municipal Code. The proposed development is greater than one acre which typically requires approval of a DEQ 1200-C Permit. The applicant shall submit confirmation from DEQ if a 1200-C Permit will not be required.

98. Section 15.44.50 contains requirements for maintenance of a site including re-vegetation of all graded areas. **The applicant's Erosion Control Plan shall be designed in accordance with the standards of Section 15.44.50.**

17.66 – Adjustments and Variances

99. Variances are a means of requesting a complete waiver or major adjustment to certain development standards. They may be requested for a specific lot or as part of a land division application. The Type II variance process is generally reserved for major adjustments on individual lots, while variances to development standards proposed as part of a land division are processed as a Type III application (requiring a public hearing). The applicant originally requested the following three (3) Type II variances:
- A Type II variance to allow greater than 30 percent metal siding (Section 17.90.120(B.3.d.4))
 - A Type II variance to the 150 foot driveway spacing minimum (Sections 17.98.80(A) and 17.90.120(A.3))
 - A Type II variance to allow a flat roof on a building that has a span of less than 50 feet (Section 17.90.120(C.1))

100. METAL SIDING VARIANCE/ADJUSTMENT

Section 17.90.120(B.3.d.4) states: "Where metal siding is used, it shall be used as an accent only, comprising not more than 30 percent of the surface area of the building elevation (e.g., wainscoting or other accent paneling)."

Request: In the submitted deviation, adjustment, and variance narrative (Exhibit B), the applicant requests approval to allow 36 percent metal siding on Buildings 2, 3, and 4.

Note: Thirty-six percent is 20 percent more than the 30 percent maximum allowed so staff would typically review this as an adjustment. In the submitted narrative, the applicant asks for a Type II variance. However, a review of the elevations (Exhibit C, Sheets A3 and A4) determined that the applicant is proposing to use metal siding as follows:

- South elevation of Building 2: 89.7 percent
- North elevation of Building 3: 100 percent
- South elevation of Buildings 4: 36 percent
- South elevation of Building 5: 36 percent

Staff can process the requests to use 36 percent metal siding for the south elevations of Buildings 4 and 5 as a Type II adjustment. However, staff cannot process the requests to use 89.7 percent metal siding on the south elevation of Building 2 and 100 percent metal siding on the north elevation of Building 3 as adjustments. In reviewing Type II and III Variance Criterion A, staff determined that the use of metal siding in excess of 30 percent is of the applicant's making and, therefore, the request cannot be processed as a Type II Variance. Staff recommends processing the request to use 89.7 percent metal siding on the south elevation of Building 2 and 100 percent metal siding on the north elevation of Building 3 as a Type III Special Variance.

South elevations of Buildings 4 and 5

Criteria A of Section 17.66.40 states: "The proposed development will not be contrary to the purposes of this chapter, policies of the Comprehensive Plan, and any other applicable policies and standards adopted by the City." The use of 36 percent metal siding is only 20 percent above the 30 percent maximum metal siding allowed by code and will not be contrary to the purposes of the code, the Comprehensive Plan, or any other policies and standards adopted by the City. Criterion A is met.

Criteria B of Section 17.66.40 states: "The proposed development will not substantially reduce the amount of privacy enjoyed by users of nearby structures when compared to the same development located as specified by this Code." The use of 36 percent metal siding rather than hardieplank, wood, board and batten, or any other siding approved by code will not reduce the amount of privacy enjoyed by users of nearby structures. Criterion B is met.

Criteria C of Section 17.66.40 states: "The proposed development will not adversely affect existing physical systems and natural systems, such as traffic, drainage, dramatic land forms, or parks." Whether the applicant uses metal siding or an alternative type of siding that is approved by code the development will not affect physical systems and natural systems. Criterion C is met.

Criteria D of Section 17.66.40 states: "Architectural features of the proposed development will be compatible to the design character of existing structures on adjoining properties and on the proposed development site." The use of 36 percent metal siding instead of the maximum of 30 percent metal siding should not significantly affect the architectural design of the south elevations of Buildings 4 and 5. The applicant's deviation, adjustment, and variance narrative (Exhibit B) states that "the metal siding to be used is visually indistinguishable from Hardiboard lap siding. It will have a matching profile, smooth finish, and identical City-approved color." Criterion D is met.

The Planning Commission approves a Type II Adjustment to allow 36 percent metal siding on the south elevations of Buildings 4 and 5. In addition, the applicant shall detail landscaped trellises in the two proposed sections of metal siding on the south elevations of Buildings 4 and 5.

South elevation of Building 2 and north elevation of Building 3

The south elevation of Building 2 and the north elevation of Building 3 are proposed to be 100 percent metal siding. As previously stated, staff recommends processing the request to use 100 percent metal siding on the south elevation of Building 2 and the north elevation of Building 3 as a Type III special variance. To be granted a Type III Special Variance, the applicant must meet one of the following criteria in Section 17.66.80:

- A. The unique nature of the proposed development is such that:
 - 1. The intent and purpose of the regulations and of the provisions to be waived will not be violated; and
 - 2. Authorization of the special variance will not be materially detrimental to the public welfare and will not be injurious to other property in the area when compared with the effects of development otherwise permitted.
- B. The variance approved is the minimum variance needed to permit practical compliance with a requirement of another law or regulation.
- C. When restoration or replacement of a nonconforming development is necessary due to damage by fire, flood, or other casual or natural disaster, the restoration or replacement will decrease the degree of the previous noncompliance to the greatest extent possible.

The applicant is proposing 89.7 percent metal siding on the south elevation of Building 2 and 100 percent metal siding on the north elevation of Building 3 rather than the 30 percent maximum allowed by code. The intent of Section 17.90.120(B.3.d.4) is to limit the use of metal siding such that it is an accent only. The code cites wainscoting and other accent paneling as examples of how metal siding should be used. The applicant could design the south elevation of Building 2 and the north elevation of Building 3 to be similar to the design proposed for the south elevations of Buildings 4 and 5, which only uses 36 percent metal siding. However, both elevations will have minimal visibility from the public right-of-way.

The Planning Commission approves a Special Variance to allow 100 percent metal siding on the north elevation of Building 3 and 89.7 percent metal siding on the south elevation of Building 2, as proposed by the applicant.

101. DRIVEWAY SPACING VARIANCE

Section 17.90.120(A.3) states: "Off-street parking shall be located to the rear or side of buildings with no portion of the parking lot located within required setbacks or within 10-feet of the public right-of-way, as shown in Figure 17.90.120-A. When access must be provided directly from a public right-of-way, driveways for ingress or egress shall be limited to one driveway per every 150 linear feet of frontage. For lots with frontage of less than 150 ft. or less, shared access may be required."

Section 17.98.80(A) states: "Location and design of all accesses to and/or from arterials and collectors (as designated in the Transportation System Plan) are subject to review and approval by the City Engineer. Where practical, access from a lower functional order street

may be required. Access to arterials or collectors shall be located a minimum of 150 ft. from any other access or street intersection. Exceptions may be granted by the City Engineer. Evaluations of exceptions shall consider posted speed of the street on which access is proposed, constraints due to lot patterns, and effects on safety and capacity of the adjacent public street, bicycle and pedestrian facilities.”

Request: The applicant requests approval to allow a second driveway on Champion Way that will be approximately 101 feet south of the existing shared common access driveway.

Criteria A. of Section 17.66.70 states “The circumstances necessitating the variance are not of the applicant’s making.” The applicant’s deviation, adjustment, and variance narrative (Exhibit B) states that the distance between the common access easement and the wetland to the south is approximately 176 feet, which does not provide adequate distance to place the driveway between proposed Buildings 1 and 2 so it can serve both structures. However, the applicant could design the site differently to either relocate the second proposed driveway on Champion Way further south than proposed, or eliminate it entirely and provide a turnaround instead so that vehicles would enter from and exit to Industrial Way. Thus, the proposed design is of the applicant’s making and, therefore, staff does not believe it can be processed as a Type II variance. Staff recommends processing the request as a Type III special variance. To be granted a Type III Special Variance, the applicant must meet one of the following criteria in Section 17.66.80:

- A. The unique nature of the proposed development is such that:
 - 1. The intent and purpose of the regulations and of the provisions to be waived will not be violated; and
 - 2. Authorization of the special variance will not be materially detrimental to the public welfare and will not be injurious to other property in the area when compared with the effects of development otherwise permitted.
- B. The variance approved is the minimum variance needed to permit practical compliance with a requirement of another law or regulation.
- C. When restoration or replacement of a nonconforming development is necessary due to damage by fire, flood, or other casual or natural disaster, the restoration or replacement will decrease the degree of the previous noncompliance to the greatest extent possible.

The applicant is proposing a right-out only egress for the proposed second driveway on Champion Way. In addition, the proposed driveway has been sited to align with the existing driveway across the street on the east side of Champion Way. Due to the limited number of vehicles expected to be exiting the site on any given day, the second driveway egress should not be detrimental to the public welfare or injurious to other property in the area. The City Engineer (Exhibit K) states that the second proposed driveway on Champion Way is one-way out with few trips; therefore, the City Engineer does not have concerns with granting the variance request. **The Planning Commission approves a Special Variance to allow a second right-out only driveway egress on Champion Way to be spaced less than 150 feet from the existing common access easement driveway, or as otherwise approved by the**

City Transportation Engineer. Per the Public Works Director (Exhibit M), **the proposed right-out only driveway approach shall be constructed with a pork chop or other feature approved by the City Engineer to prevent turning movements other than a right turn out of the driveway. ODOT (Exhibit N) recommends that the applicant submit truck turning templates to demonstrate that the Champion Way egress functions with the applicant’s intended use and anticipated truck traffic.**

102. FLAT ROOF VARIANCE

Section 17.90.120(C.1) states: “Except as provided in subsections 17.90.120(C)(8), below, pitched (gabled or hipped) roofs are require on all new buildings with a span of 50-feet or less. Gable and hipped roof forms must achieve a pitch not less than the following:”

Zoning District	Primary Roof Forms (minimum)	Secondary Roof Forms (minimum)
C-2 and I-1	6:12	4:12

Request: In the submitted deviation, adjustment, and variance narrative (Exhibit B), the applicant requests a Type II variance to allow a flat roof on Buildings 2-5, which have a span of less than 50 feet. Building 1 has a roof span of greater than 50 feet so is exempt from the pitched roof requirement by Section 17.90.120(C.8).

Criteria A. of Section 17.66.70 states “The circumstances necessitating the variance are not of the applicant’s making.” The applicant is proposing flat roofs on buildings with roof spans less than 50 feet; however, the applicant could redesign the buildings such that they have pitched or gabled roofs. Thus, the proposed design is of the applicant’s making and, therefore, staff does not believe it can be processed as a Type II variance. Staff recommends processing the request as a Type III Special Variance. To be granted a Type III Special Variance, the applicant must meet one of the flowing criteria in Section 17.66.80:

- A. The unique nature of the proposed development is such that:
 - 1. The intent and purpose of the regulations and of the provisions to be waived will not be violated; and
 - 2. Authorization of the special variance will not be materially detrimental to the public welfare and will not be injurious to other property in the area when compared with the effects of development otherwise permitted.
- B. The variance approved is the minimum variance needed to permit practical compliance with a requirement of another law or regulation.
- C. When restoration or replacement of a nonconforming development is necessary due to damage by fire, flood, or other casual or natural disaster, the restoration or replacement will decrease the degree of the previous noncompliance to the greatest extent possible.

The applicant is proposing a flat roof on Building 1, which qualifies for an exception to the pitched roof standard of Section 17.90.120(C.1) because it has a roof span greater than 50

feet. Buildings 2-5 have a roof span of 42 feet, which is less than 50 feet and, therefore require pitched roofs. The applicant is proposing a flat roof for Buildings 2-5 similar to the roof on Building 1 to create a consistent appearance for all the buildings on the site. The use of flat roofs will not be materially detrimental to the public welfare or injurious to other property in the area.

The Planning Commission approves a Special Variance to allow flat roofs on all buildings.

103. The Planning Commission may grant a special variance waiving a specified provision under the Type III procedure if it finds that the provision is unreasonable and unwarranted due to the specific nature of the proposed development. In submitting an application for a Type III Special Variance, the proposed development explanation shall provide facts and evidence sufficient to enable the Planning Commission to make findings in compliance with the criteria set forth in this section while avoiding conflict with the Comprehensive Plan.

One of the following sets of criteria shall be applied as appropriate.

- A. The unique nature of the proposed development is such that:
 - 1. The intent and purpose of the regulations and of the provisions to be waived will not be violated; and
 - 2. Authorization of the special variance will not be materially detrimental to the public welfare and will not be injurious to other property in the area when compared with the effects of development otherwise permitted.
- B. The variance approved is the minimum variance needed to permit practical compliance with a requirement of another law or regulation.
- C. When restoration or replacement of a nonconforming development is necessary due to damage by fire, flood, or other casual or natural disaster, the restoration or replacement will decrease the degree of the previous noncompliance to the greatest extent possible.

The applicant originally requested the following Special Variances:

- A Type III Special Variance to allow a front yard retaining wall height in excess of 6 feet (Section 17.74.40(B.3))
- A Type III Special Variance to reduce the ground floor widow coverage requirement (Section 17.90.120(E.2))

During staff's detailed review of the applicant's submittal, staff identified two (2) additional variances:

- A Special Variance to Section 17.90.120(D.1) to provide less than the required 50 percent of the site's street frontage as buildings within 20 feet of a sidewalk.
- A Special Variance to Section 17.90.120(G) to allow less than the required amount of civic space.

104. FRONT YARD RETAINING WALL HEIGHT SPECIAL VARIANCE

Section 17.74.40(B.3) states: "Fences in a front yard (Industrial). The height of a fence or retaining wall in a front yard shall not exceed 6 ft."

Request: The applicant requests approval of a special variance to allow a terraced retaining wall along Champion Way that will be approximately 8.5 feet at its tallest point.

The site has existing topography that slopes away from Highway 26. The submitted Grading Plan (Exhibit C, Sheet 6) shows the location of the proposed retaining wall along Champion Way as well as proposed re-grading of the site. The applicant's deviation, adjustment, and variance narrative (Exhibit B) states: "Since it is constructed perpendicular to the slope of the land, the wall will step down and thus the maximum height of 8'-6" (Approx.) will only occur at the end of each step and the average height of each segment will be lower." The Grading Plan with retaining wall details (Exhibit C, Sheet 6) includes an elevation of the proposed terraced wall and confirms that a majority of the wall will be less than 6 feet in height, with only one terraced segment exceeding 6 feet in height. Thus, staff believes the wall design does not violate the intent and purpose of the retaining wall height requirements nor will it be materially detrimental to the public welfare. Criterion A is met. Per the narrative, "The area supported by the retaining walls will be terraced and landscaped in an attractive manner as shown on the Landscape Plan. Additionally, the wall itself will be constructed of an attractive, architectural material keyed to the building facades."

The Planning Commission approves a Special Variance to allow the retaining wall in the front yard to exceed 6 feet. The Planning Commission approve a maximum 8.5 foot wall reveal, as proposed by the applicant. The applicant shall submit proposed architectural treatment for all exposed sections of the retaining wall for staff review and approval.

105. WINDOW COVERAGE SPECIAL VARIANCE

Section 17.90.120(E.2) states: The ground floor elevation of all new buildings shall contain ground floor display areas, windows, and doorways on the 'activated' frontage as follows:

Building Size	Percentage Windows Required
0 - 10,000 sq. ft.	30 percent of elevation
10,000 sq. ft. - 30,000 sq. ft.	25 percent of elevation
Greater than 30,000 sq. ft.	20 percent of elevation

Request: Proposed Building 1 is 33,178 square feet so the building requires 20 percent window coverage on its activated frontages (north and east elevations). The east elevation of Building 1 contains 30 percent window coverage, which exceeds the minimum requirement. Buildings 2-5 are all under 10,000 square feet so those buildings require 30 percent window coverage on their activated frontages. The applicant requests approval to provide less than the required percent window coverage on the following activated elevations:

- North elevation of Building 1 – request to provide 13 percent instead of 20 percent
- East elevation of Building 2 – request to provide 21 percent instead of 30 percent
- West elevation of Building 3 – request to provide 23 percent instead of 30 percent

- South elevation of Building 4 – request to provide 20 percent instead of 30 percent
- West elevation of Building 4 – request to provide 23 percent instead of 30 percent
- South elevation of Building 5 – request to provide 20 percent instead of 30 percent
- East elevation of Building 5 – request to provide 23 percent instead of 30 percent

The applicant’s deviation, adjustment, and variance narrative (Exhibit B) states “the quantitative standards for window area are in conflict with the nature of the use, which is nevertheless allowed by right in this zone.” The applicant previously submitted an application for a code interpretation related to the storage project (File No. 18-027 INT, Exhibit O). During the Planning Commission hearing, the Planning Commission decided that faux or false windows could count towards the required window percentage. Staff is unclear as to why the applicant wouldn’t be able to satisfy the percent window coverage requirement using non-transparent faux windows, as proposed. Staff does not believe the requested variance to Section 17.90.120(E.2) meets any of the Special Variance criteria. Staff believes the applicant could satisfy the minimum percent window coverage requirement for each activated frontage using false or faux windows, which would still meet the design intent of the standard while preventing visibility into the building. However, after reviewing the submitted elevations (Exhibit C, Sheets A3 and A4), staff believes the proposed windows on the north elevation of Building 1 and the east elevation of Building 2 are sufficient to meet the aesthetic intent of the code with the combined use of metal awnings and gables above the proposed windows, which effectively increases the window area. **The Planning Commission approves a Special Variance to the window coverage requirement for the north elevation of Building 1 and the east elevation of Building 2.**

The south elevations of Buildings 4 and 5 are proposed to have 20 percent window coverage rather than the required 30 percent window coverage. The proposal contains three windows on each of the three sections of the elevation that contain hardie board siding. Windows are not being proposed on the metal siding portion of the facades. The applicant has not detailed metal awnings above the proposed windows on the south elevations of Buildings 4 and 5. The addition of metal awnings above the proposed windows would not only help unify the building design on the site, but would also effectively increase the window area. **The Planning Commission approves a Special Variance to the window coverage requirement for the south elevations of Buildings 4 and 5 and requires that the applicant update the elevations to detail metal awnings above the proposed windows on the south elevations of Buildings 4 and 5. In addition, the applicant shall detail landscaped trellises in the two proposed sections of metal siding on the south elevations of Buildings 4 and 5.**

The east elevation of Building 5 and the west elevations of Buildings 3 and 4 are proposed to have 23 percent window coverage rather than the 30 percent window coverage that’s required. Staff believes that the applicant could add one (1) additional window to each of these elevations to meet the 30 percent window coverage requirement. At the March 19, 2019 Planning Commission hearing, the applicant indicated that they will add a window to the east elevation of Building 5 and the west elevations of Buildings 3 and 4 to come into compliance with Section 17.90.120(E.2). **The Planning Commission denies the applicant’s request for a Special Variance to the window coverage requirement for the east elevation of Building 5 and the west elevations of Buildings 3 and 4. The applicant shall update the**

elevations to detail one (1) additional window on the east elevation of Building 5 and the west elevations of Buildings 3 and 4 to meet the 30 percent window coverage requirement.

106. BUILDING FRONTAGE SPECIAL VARIANCE

Section 17.90.120(D.1) requires buildings to be oriented to a public street or civic space such that at least 50 percent of the site's street frontage is comprised of building(s) placed within 20 feet of a sidewalk, walkway or civic space and not more than 20 percent of the off-street parking is located between a building's front façade and the adjacent street.

Request: The applicant did not request a variance to Section 17.90.120(D.1); however, 50 percent of the Industrial Way frontage is not comprised of buildings placed within 20 feet of the sidewalk as detailed on the submitted site plan (Exhibit C, Sheet A1.1). Because the site layout is of the applicant's making, a request to not meet the requirements of Section 17.90.120(D.1) would need to be processed as a Special Variance.

The intent of Section 17.90.120(D) is to "maintain and enhance General Commercial and Industrial streetscapes as public spaces, emphasizing pedestrian-scale and character in new development consistent with Sandy Style." Placing buildings within 20 feet of the sidewalk along at least 50 percent of a street's frontage contributes to the pedestrian character of a development. The site frontage on Industrial Way is approximately 385 feet; however, approximately 170 feet is the wetland and storm sewer easement area and is, therefore, unbuildable. Both Buildings 4 and 5 are set back farther than 20 feet, with the exception of the SW corner of Building 4. In order to meet the requirements of Section 17.90.120(D.1), the applicant would need to redesign the layout of Buildings 4 and 5 such that the combined frontage of Buildings 4 and 5 within 20 feet of Industrial Way is approximately 107.5 feet (50 percent of the 215 feet of Industrial Way frontage that is not wetland). In the staff report, staff recommended the applicant either update the site plan to detail Buildings 4 and 5 within 20 feet of the Industrial Way right-of-way for at least 50 percent of the frontage (excluding the wetland area) or request a Special Variance to Section 17.90.120(D.1) and pay the Special Variance fee (\$1,070). At the March 19, 2019 Planning Commission hearing, the applicant indicated they would like to apply and pay for the Special Variance to allow less than 50 percent of the Industrial Way right-of-way to be comprised of buildings placed within 20 feet of the sidewalk. The applicant stated that they intend to provide a wetland mitigation area and plant natural vegetation in the area between the Industrial Way right-of-way and Building 4. The Planning Commission and staff were supportive of providing a robust landscaping buffer in lieu of placing Buildings 4 and 5 within 20 feet of the sidewalk and requested that the same landscaping buffer be applied to the area between Building 5 and the Industrial Way right-of-way. **The Planning Commission approves a Special Variance to allow less than 50 percent of the Industrial Way frontage to be comprised of buildings within 20 feet of the right-of-way. The applicant shall expand the wetland natural area by planting a mix of native groundcover, shrubs, and trees in the areas between Buildings 4 and 5 and the Industrial Way right-of-way. The applicant shall submit a landscape plan for the areas between Buildings 4 and 5 and the Industrial Way right-of-way for staff review and approval. The applicant shall pay the Special Variance fee (\$1,070) prior to issuance of building permits.**

107. CIVIC SPACE SPECIAL VARIANCE

Section 17.90.120(G.1) requires that not less than three (3) percent of the building area of every development shall be improved as civic space.

Request: The applicant did not request a variance to Section 17.90.120(G); however, the applicant is proposing 250 square feet of civic space, which is less than the required amount. Because the amount of civic space provided is of the applicant's making, a request to not meet the requirements of Section 17.90.120(G.1) would need to be processed as a special variance.

The total area of the five (5) proposed buildings is 57,559 square feet, therefore, the required civic space is 1,727 square feet. Based on the proposed use as a storage facility, staff believes the proposed 250 square foot civic space located adjacent to the office entry is reasonable; however, this would require a Special Variance since it's of the applicant's making. In the staff report, staff recommended that the applicant either update the plan set to detail at least 1,727 square feet of civic space or request a Special Variance to Section 17.90.120(G) and pay the appropriate fee (\$1,070). The office space in Building 1 serves as the public interface of the proposed storage facility. This is where the general public would go if they wanted to rent a storage unit, close out an account, or pay a bill. The remaining four (4) buildings will only be accessed by people who are renting storage facilities. Thus, staff believes that locating 250 square feet of civic space adjacent to the office is reasonable. At the March 19, 2019 Planning Commission hearing, the applicant indicated they would like to apply and pay for the Special Variance to allow less than the required amount of civic space. **The Planning Commission approves a Special Variance to allow 250 square feet of civic space rather than the required 1,727 square feet. The applicant shall pay the Special Variance fee (\$1,070) prior to issuance of building permits.**

DECISION

For the reasons described above, the request by Axis Design Group to construct a self-storage facility consisting of five (5) buildings is hereby **approved as modified by the conditions listed below**. The Planning Commission also **approves** the following adjustments, variances, special variances, and deviations:

- a. Type II Adjustment to Section 17.90.120(B.3.d.4) to allow up to 36 percent metal siding on the south elevations of Buildings 4 and 5.
- b. Special Variance to Section 17.90.120(A.3) and 17.98.80(A) to allow a second right-out only driveway egress on Champion Way to be spaced less than 150 feet from the existing common access easement driveway, or as otherwise approved by the City Transportation Engineer.
- c. Special Variance to Section 17.90.120(C.1) to allow flat roofs on all buildings.
- d. Special Variance to Sections 17.90.120(E.2) to allow less than the required window coverage on the north elevation of Building 1, the east elevations of Buildings 1 and 2, and the south elevations of Buildings 4 and 5, provided the applicant detail metal awnings above the proposed windows and landscaped trellises in the two proposed sections of metal siding on the south elevations of Buildings 4 and 5.

- e. Special Variance to Section 17.74.40(B.3) to allow a retaining wall in the front yard greater than 6 feet tall. The Planning Commission approves a maximum 8.5 foot wall reveal, as proposed by the applicant.
- f. Special Variance to Section 17.90.120(B.3.d.4) to allow 89.7 percent metal siding on the south elevation of Building 2 and 100 percent metal siding on the north elevation of Building 3, as proposed by the applicant.
- g. Special Variance to Section 17.90.120(D.1) to allow less than 50 percent of the street frontage along Industrial Way to be comprised of buildings within 20 feet of the sidewalk, provided the applicant expand the wetland natural area by planting a mix of native groundcover, shrubs, and trees in the areas between Buildings 4 and 5 and the Industrial Way right-of-way.
- h. Special Variance to Section 17.90.120(G) to allow 250 square feet of civic space rather than the 1,727 square feet required.
- i. Design deviation to Section 17.90.120(D.3 and 7) to not require a public entrance and connecting walkway on Buildings 2-5.

The Planning Commission **denies** the applicant's request for a Special Variance to Section 17.90.120(E.2) to allow less than the required window percent coverage on the east elevation of Building 5 and the west elevations of Buildings 3 and 4.

CONDITIONS OF APPROVAL

- A. Within 30 days of issuance of this final order the applicant shall pay \$2,140 for the two additional Special Variance requests (civic space and 50 percent building frontage). These fees shall be paid regardless of the project progressing to grading, excavation, or construction.**
- B. Prior to submitting construction plans or building permits, including grading and erosion control permits, the applicant shall update the plan set and associated documents based on the conditions of approval and shall submit two (2) full sets to Planning Division staff for review and approval, including the following:**
 - 1. Submit a revised Site Plan and supplemental Plans to include all changes as identified in this Order including:
 - a. Detail the ingress to the Sandy Vault office and Building 1 located opposite the existing drive aisle between the Arco station and the convenience store. The City Transportation Engineer estimates that distance to be approximately 120 feet west of the west curb of Champion Way.
 - b. Detail a 6-inch change in plane where the parapet height changes.
 - c. Detail the civic space to include at least one public bench and one public art element or similar pedestrian amenity reviewed and approved by staff.
 - d. Detail four (4) parking spaces in the parking area adjacent to the office (3 for the office use, plus 1 for Building 1).
 - e. Detail one (1) parking space near Building 2 and one (1) parking space near Building 5.

- f. Detail the ADA parking space with the aisle on the passenger side. Signage associated with the ADA parking space shall meet the head clearance distance requirement in the Building Code.
2. Submit a revised Landscape Plan to include the following changes:
 - a. Detail a minimum 5 foot by 17 foot landscape planter at the north end of the parking bay adjacent to Building 1. The landscape planters shall contain at least one structural tree and groundcover; however, staff recommends all landscaping buffers contain a mix of trees, shrubs, and groundcover.
 - b. Update the proposed tree list to include an alternate species for the three (3) proposed maples (*Acer rubrum* 'Armstrong,' *Acer ginnala*, and *Acer circinatum*). The straight species of the Zelkova is not of the City of Sandy street tree list. The applicant shall update the proposed tree list to include one of the three approved varieties of *Zelkova serrata*: 'Green Vase,' 'Halka,' or 'Village Green.'
 - c. Update the plant materials list to remove *Prunus laurocerasus* and replace it with an alternative native shrub.
 - d. Detail a mix of trees, shrubs, and groundcover in the parking area setback adjacent to Champion Way.
 - e. Detail a mix of native groundcover, shrubs, and trees in the areas between Buildings 4 and 5 and the Industrial Way right-of-way.
 - f. Submit additional calculations demonstrating that the 20 percent landscaping standard is met.
 - g. Submit additional information regarding landscaping in the parking area by Building 1 to ensure that the 10 percent minimum landscaping as required by Section 17.98.120(C) is met.
 3. Submit a revised Lighting Layout Plan to include the following:
 - a. Detail pedestrian scale lighting along the walkways such that they are illuminated at 1.5 to 2.0 foot candles.
 - b. Update the proposed parking area lights with lights that have a smaller distribution and emit less intense light.
 - c. Detail illumination 10 feet beyond the property lines in all directions not exceeding 0.25 foot candles. The property lines and foot candles at 10 feet from the property line shall be labeled and legible.
 - d. Submit updated lighting fixture cut-sheets for all proposed exterior lighting that detail the lighting fixtures as full-cutoff and not exceeding 3,000 Kelvins to minimize negative impact on wildlife and human health and to minimize glare.
 4. Submit revised elevations to include the following:
 - a. Detail metal awnings above the windows on the south elevations of Buildings 4 and 5.
 - b. Detail landscaped trellises in the two proposed sections of metal siding on the south elevations of Buildings 4 and 5.
 - c. Detail a minimum of three (3) Sandy Style elements from the list in Section 17.90.120(B.3.e) on each activated frontage of each building.

- d. Detail the stone base wrapping around the corners on the north elevation of Building 3 and the west side of the south elevation of Building 2 for a distance of at least 4 feet.
 - e. Detail real windows (transparent) along the office portion of Building 1.
 - f. Detail one (1) additional window on the east elevation of Building 5 and the west elevations of Buildings 3 and 4 to meet the 30 percent window coverage requirement.
5. Submit details on all proposed retaining walls on the subject property for staff review and approval, including:
 - a. Wall height.
 - b. Proposed architectural finish for all exposed sections of the retaining wall.
 - c. If the wall between Buildings 2 and 4 or the wall north of Building 3 exceeds 8 feet in height, the applicant shall apply for an additional variance.
 6. Submit line of sight analysis for the rooftop equipment. All rooftop equipment shall be screened from view from all adjacent rights-of-way and civic spaces.
 7. Submit an updated truck turning template demonstrating that:
 - a. A fueling truck can access the Arco site. The turning template shall include appropriate dimensions, details on the type of truck, road labels, etc.
 - b. The Champion Way egress functions with the applicant's intended use and anticipated truck traffic. The proposed right-out only driveway approach shall be constructed with a pork chop or other feature approved by the City Engineer to prevent turning movements other than a right turn out of the driveway.

C. Prior to grading and/or excavation, the applicant shall complete the following and receive necessary approvals as specified below:

1. Submit proof of receipt of a Department of Environmental Quality 1200C permit, or submit confirmation from DEQ if a 1200-C Permit will not be required. (Submit to Planning Division).
2. Install tree protection fencing located 5 feet outside of the dripline of all existing trees on site. Tree protection fencing shall be located at least 5 feet beyond the dripline of all retention trees, with the exception of the two trees identified in the arborist report whose drip lines extend beyond the staked limit of construction line (an alder and a cottonwood). For these two trees, the tree protection fencing shall not encroach more than 4 feet into the drip line of the alder and more than 10 feet into the dripline of the cottonwood identified in the arborist report. Tree protection fencing shall be a minimum of six feet tall supported with metal posts placed no farther than ten feet apart installed flush with the initial undisturbed grade. The applicant shall use 6-foot tall no-jump horse fencing. The applicant shall affix a laminated sign (minimum 8.5 inches by 11 inches) to the tree protection fencing indicating that the area behind the fence is a tree retention area and that the fence shall not be removed or relocated. No construction activity shall occur within the tree protection zone, including, but not limited to, dumping or storage of materials such as building supplies, soil, waste items, equipment, or parked vehicles.

3. Request an inspection of tree protection measures prior to any excavation, grading, or other construction activity on the site.
4. Apply for and receive approval for a grading and erosion control permit in conformance with City standards detailed in Section 15.44 of the Municipal Code.
5. Request an inspection of installed erosion control measures in accordance with the approved plan. (Request to Public Works Department)
6. Have a licensed pest control agent evaluate the site to determine if pest eradication is needed. Submit the evaluation summary to the Planning Division.

D. Prior to all construction activities, except grading and/or excavation, the applicant shall submit additional information with the Building Permit plans and complete required items during construction as identified below:

1. Submit a detailed storm drainage report addressing water quality and quantity requirements prepared by the applicant's engineer for review and approval by the City in conformance with Sandy Development Code (SDC) Standards, Section 13.18 and the 2018 City of Portland Stormwater Management Manual (SWMM) standards that were adopted by reference into the Sandy Development Code.
2. Submit a mail delivery plan to the City and USPS for review and approval prior to installation of the mail delivery facility. Mail delivery facilities shall be provided by the applicant in conformance with 17.84.100 and the standards of the USPS.
3. Sign and record a sewer maintenance agreement reviewed and approved by the City for multiple properties under separate ownership served by a private common sewer line.
4. Prior to beginning design on the utility service lines the applicant shall consult with Sandy Fire District regarding fire hydrant locations and spacing on the site.
5. Pay appropriate SDCs as calculated with building permit.

E. Prior to occupancy (temporary or final) of any buildings the applicant shall complete the following or provide assurance for their completion:

1. All required improvements shall be installed or financially guaranteed prior to final occupancy of the Sandy Vault self-storage buildings.
2. Install half street improvements including right-of-way dedications along the entire site frontages to include 5-foot wide landscape strips with landscaping, 6-foot wide sidewalks, street lights, and utility extensions as required by the City of Sandy or the City Engineer. The City Engineer recommends the existing roadway width be maintained for consistency and uniformity to match the existing paved surface. The applicant shall provide pedestrian improvements on all site frontages (Champion Way, Industrial Way,

and Highway 26) consisting of a five-foot planter strip and six-foot sidewalks per Sections 15.28 and 17.84.30 of the Sandy Municipal Code (SMC). Street trees approved by staff are required in the planter strips at 30 foot on-center spacing. In addition, street lighting shall be required at the west end of Champion Way where there are currently no streetlights (approximately 400 lineal feet) and the west end of the Highway 26 frontage (approximately 300 lineal feet). Sidewalk and planter strip shall be constructed as necessary to be consistent with local, ODOT and ADA standards. The applicant shall obtain all appropriate permits and agreement to work in the ODOT right-of-way (see Exhibit N).

3. Install landscape materials as identified on the revised and approved Landscape Plan and install an automatic irrigation system in compliance with Section 17.92.40. If the applicant chooses to postpone street tree and/or landscaping installation, the applicant shall post a performance bond equal to 120 percent of the cost of the landscaping, assuring installation within six (6) months. The cost of street trees shall be based on the street tree plan and at least \$500 per tree. The cost of landscaping shall be based on the average of three estimates from three landscaping contractors; the estimates shall include as separate items all materials, labor, and other costs of the required action, including a three-year maintenance and warranty period.
4. Install street address numbers measuring a minimum of six (6) inches high, which clearly locates the building and its entries for patrons and emergency services. The applicant shall verify the location(s) of the address with the Building Official and emergency service providers.
5. Construct commercial driveway approaches at the access points on Industrial Way and Champion Way. The driveways shall be concrete Commercial Driveway approaches constructed to City standards.

F. General Conditions:

1. Design review and adjustment/variance/special variance/deviation approval shall be void after two (2) years from the date of the Final Order, unless the applicant has submitted plans for building permit approval.
2. Utility and frontage improvement plans are submitted solely to comply with the submission requirements of Section 17.90.100 of the Sandy Municipal Code. Land use approval does not connote approval of utility or street frontage improvement plans, which are subject to a separate submittal and review process.
3. The final construction plans shall include a plan and profile for Champion Way and Industrial Way improvements to include a plan and profile extensions of a minimum 200 feet in each direction to ensure future grades can be met.
4. Place all onsite overhead electrical and communications wires underground in conformance with Section 15.20. All utilities including franchise utilities shall be

installed to City standards. All utilities are required to be placed underground in accordance with Section 17.100.250.

5. The applicant shall be required to meet the requirements of Section 17.90.120(F) at the time of development for the portion of the site under the BPA easement. At that time, the applicant shall update the Landscape Plan to detail a landscape buffer comprising not less than 30 percent of the highway frontage. The required landscape buffer plantings along Highway 26 shall be at least 20 feet deep and shall contain a mixture of deciduous and evergreen species of a sufficient quantity to provide a partial buffer within two (2) years from the date they are planted. The applicant shall select species from the list in Section 17.90.120(F.3) (with the exception of maples), or propose alternative native species for staff review and approval.
6. All street trees shall be a minimum of 1.5-inches in caliper measured 6 inches above the ground and shall be planted per the City of Sandy standard planting detail. Trees and planter strip shall be installed per the approved landscape plan. Tree ties shall be twine and loosely tied so as not to damage the trunk and shall be removed after one growing season (or a maximum of 1 year). The applicant will be required to obtain a permit from ODOT to place trees within the highway right-of-way.
7. All landscaping shall be continually maintained, including necessary watering, weeding, pruning, and replacing. Maintain all unlandscaped and/or revegetated areas for a period of two years following the issuance of the Certificate of Occupancy for the facility.
8. The applicant shall comply with the requirements of Section 13.18 of the Sandy Municipal Code and the City of Portland Stormwater Management Manual.
9. All earthwork activities should follow the requirements of the most current edition of the Oregon Structural Specialty Code (OSSC). Site grading shall not in any way impede or impound or inundate the surface drainage flow from the adjoining properties without a proper collection system. The earthwork activities shall be observed and documented under the supervision of the geotechnical engineer. The City Engineer feels the Geotechnical Engineering Report (Exhibit F) dated December 11, 2011 that was prepared as part of the ARCO am/pm fuel station should be compatible with this site's existing conditions. All the work within the public right-of-way and within the paved area should comply with American Public Works Association (APWA) and City requirements as amended.
10. All new lighting shall be in compliance with Chapter 15.30, Dark Sky Ordinance.
11. Any additional design deviations or variances shall be reviewed by the Planning Commission.
12. The applicant shall confer with the Sandy Fire District to determine the number and location of on-site fire hydrants necessary to comply with the requirements of the Sandy Fire District Fire Marshall. The final construction plans shall be submitted to the Sandy

Fire District for review and approval to ensure that adequate fire protection and access are provided to all buildings.

13. The applicant shall obtain a permit for any proposed signage.
14. Successors-in-interest of the applicant shall comply with site development requirements prior to the issuance of building permits.
15. Comply with all other conditions or regulations imposed by Clackamas County, Fire District No. 72, or state and federal agencies. Compliance is made a part of this approval and any violations of these conditions and/or regulations may result in the review of this approval and/or revocation of approval.


Jerry Crosby
Planning Commission Chair


Date

RIGHT OF APPEAL

A decision on a land use proposal or permit may be appealed to the Planning Commission by an affected party by filing an appeal with the Director within ten (10) calendar days of notice of the decision. Any person interested in filing an appeal should contact the city to obtain the form, "*Notice of Appeal*," and Chapter 17.28 of the Sandy Development Code regulating appeals. All applications for an appeal shall indicate the nature of the interpretation that is being appealed and the matter at issue will be a determination of the appropriateness of the interpretation of the requirements of the Code.

An application for an appeal shall contain:

1. An identification of the decision sought to be reviewed, including the date of the decision;
2. A statement of the interest of the person seeking review and that he/she was a party to the initial proceedings;
3. The specific grounds relied upon for review;
4. If de novo review or review by additional testimony and other evidence is requested, a statement relating the request to the factors listed in Chapter 17.28.50; and,
5. Payment of required filing fees.



Exhibit E

ARCHITECTURAL DESIGN INTERIOR DESIGN MASTERPLANNING LAND USE PLANNING

EXHIBIT 3 – Correspondence with City Engineer

From: Kelly O'Neill Jr. <koneill@ci.sandy.or.us>
Sent: Wednesday, June 26, 2019 10:17 AM
To: Tim Brunner <TimB@axisdesigngroup.com>
Cc: koneill@cityofsandy.com; mwalker@ci.sandy.or.us; Dean Hoque <DeanH@axisdesigngroup.com>; Jonathan Konkol <JonathanK@axisdesigngroup.com>; Todd Mobley <todd@lancasterengineering.com>; Emily Meharg <emeharg@ci.sandy.or.us>
Subject: Re: Sandy Storage Access from onsite roadway

Tim,

I talked by email with John Replinger and I also talked with Mike Walker.

We are fine with following John's recommendation and leaving the driveway as shown in the site plan you sent me. John recommends a hatched striping and signing (do not block intersection) in front of the storage facility driveway (for the shared driveway eastbound) as an appropriate mitigation measure to reduce the potential blockage problem. We do not want a stop sign for eastbound traffic on the shared driveway at the storage facility driveway.

I looked at the conditions of approval for Sandy Vault and find the condition to be written loose enough that we do not need to bring this back before Planning Commission. The condition was a recommendation by John Replinger so a slight modification to the condition should not change anything that was discussed or debated by Planning Commission.

Please proceed with the driveway location as proposed and incorporate the hatching/signage per John.

Thanks and talk soon. -Kelly

EXHIBIT 4 – Premanufactured Modular Units

The following images show typical units manufactured by Universal Storage Containers, Inc.







Exhibit G

RECEIVED

NOV 15 2019

CITY OF SANDY

PANTONE Solid Coated

PANTONE Yellow C	PANTONE Yellow 012 C	PANTONE Orange 021 C	PANTONE Warm Red C	PANTONE Red 032 C	PANTONE Rubine Red C	PANTONE Rhodamine Red C	PANTONE Purple C	PANTONE Violet C	PANTONE Blue 072 C	PANTONE Reflex Blue C
PANTONE Process Blue C	PANTONE Green C	PANTONE Black C	PANTONE Process Yellow C	PANTONE Process Magenta C	PANTONE Process Cyan C	PANTONE Process Black C	PANTONE Hexachrome Yellow C	PANTONE Hexachrome Orange C	PANTONE Hexachrome Magenta C	PANTONE Hexachrome Cyan C
PANTONE Hexachrome Green C	PANTONE Hexachrome Black C	PANTONE 100 C	PANTONE 101 C	PANTONE 102 C	PANTONE Yellow C 2	PANTONE 103 C	PANTONE 104 C	PANTONE 105 C	PANTONE 106 C	PANTONE 107 C
PANTONE 108 C	PANTONE 109 C	PANTONE 110 C	PANTONE 111 C	PANTONE 112 C	PANTONE 113 C	PANTONE 114 C	PANTONE 115 C	PANTONE 116 C	PANTONE 117 C	PANTONE 118 C
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PANTONE 1235 C	PANTONE 1245 C	PANTONE 1255 C	PANTONE 1265 C	PANTONE 127 C	PANTONE 128 C	PANTONE 129 C	PANTONE 130 C	PANTONE 131 C	PANTONE 132 C	PANTONE 133 C
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PANTONE 1535 C	PANTONE 1545 C	PANTONE 155 C	PANTONE 156 C	PANTONE 157 C	PANTONE 158 C	PANTONE 159 C	PANTONE 160 C	PANTONE 161 C	PANTONE 1555 C	PANTONE 1565 C
PANTONE 1575 C	PANTONE 1585 C	PANTONE 1595 C	PANTONE 1605 C	PANTONE 1615 C	PANTONE 162 C	PANTONE 163 C	PANTONE 164 C	PANTONE 165 C	PANTONE 166 C	PANTONE 167 C

Built by Rich Apollo to be freely distributed

PANTONE Solid Coated

PANTONE 168 C	PANTONE 1625 C	PANTONE 1635 C	PANTONE 1645 C	PANTONE 1655 C	PANTONE 1665 C	PANTONE 1675 C	PANTONE 1685 C	PANTONE 169 C	PANTONE 170 C	PANTONE 171 C
PANTONE 172 C	PANTONE 173 C	PANTONE 174 C	PANTONE 175 C	PANTONE 176 C	PANTONE 177 C	PANTONE 178 C	PANTONE Warm Red C 2	PANTONE 179 C	PANTONE 180 C	PANTONE 181 C
PANTONE 1765 C	PANTONE 1775 C	PANTONE 1785 C	PANTONE 1795 C	PANTONE 1795 C	PANTONE 1805 C	PANTONE 1815 C	PANTONE 1767 C	PANTONE 1777 C	PANTONE 1787 C	PANTONE Red 032 C 2
PANTONE 1797 C	PANTONE 1807 C	PANTONE 1817 C	PANTONE 182 C	PANTONE 183 C	PANTONE 184 C	PANTONE 185 C	PANTONE 186 C	PANTONE 187 C	PANTONE 188 C	PANTONE 189 C
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PANTONE 1945 C	PANTONE 1955 C	PANTONE 196 C	PANTONE 197 C	PANTONE 198 C	PANTONE 199 C	PANTONE 200 C	PANTONE 201 C	PANTONE 202 C	PANTONE 203 C	PANTONE 204 C
PANTONE 205 C	PANTONE 206 C	PANTONE 207 C	PANTONE 208 C	PANTONE 209 C	PANTONE 210 C	PANTONE 211 C	PANTONE 212 C	PANTONE 213 C	PANTONE 214 C	PANTONE 215 C
PANTONE 216 C	PANTONE 217 C	PANTONE 218 C	PANTONE 219 C	PANTONE Rubine Red C 2	PANTONE 220 C	PANTONE 221 C	PANTONE 222 C	PANTONE 223 C	PANTONE 224 C	PANTONE 225 C
PANTONE 226 C	PANTONE 227 C	PANTONE 228 C	PANTONE 229 C	PANTONE 230 C	PANTONE 231 C	PANTONE 232 C	PANTONE Rhodamine Red C 2	PANTONE 233 C	PANTONE 234 C	PANTONE 235 C
PANTONE 236 C	PANTONE 237 C	PANTONE 238 C	PANTONE 239 C	PANTONE 240 C	PANTONE 241 C	PANTONE 242 C	PANTONE 2365 C	PANTONE 2375 C	PANTONE 2385 C	PANTONE 2395 C
PANTONE 2405 C	PANTONE 2415 C	PANTONE 2425 C	PANTONE 243 C	PANTONE 244 C	PANTONE 245 C	PANTONE 246 C	PANTONE 247 C	PANTONE 248 C	PANTONE 249 C	PANTONE 250 C

PANTONE Solid Coated

PANTONE 251 C	PANTONE 252 C	PANTONE Purple C 2	PANTONE 253 C	PANTONE 254 C	PANTONE 255 C	PANTONE 256 C	PANTONE 257 C	PANTONE 258 C	PANTONE 259 C	PANTONE 260 C
PANTONE 260 C	PANTONE 261 C	PANTONE 262 C	PANTONE 2562 C	PANTONE 2572 C	PANTONE 2582 C	PANTONE 2592 C	PANTONE 2602 C	PANTONE 2612 C	PANTONE 2622 C	PANTONE 2563 C
PANTONE 2573 C	PANTONE 2583 C	PANTONE 2593 C	PANTONE 2603 C	PANTONE 2613 C	PANTONE 2623 C	PANTONE 2567 C	PANTONE 2577 C	PANTONE 2587 C	PANTONE 2597 C	PANTONE 2607 C
PANTONE 2617 C	PANTONE 2627 C	PANTONE 263 C	PANTONE 264 C	PANTONE 265 C	PANTONE 266 C	PANTONE 267 C	PANTONE 268 C	PANTONE 269 C	PANTONE 2635 C	PANTONE 2645 C
PANTONE 2655 C	PANTONE 2665 C	PANTONE Violet C 2	PANTONE 2685 C	PANTONE 2695 C	PANTONE 270 C	PANTONE 271 C	PANTONE 272 C	PANTONE 273 C	PANTONE 274 C	PANTONE 275 C
PANTONE 276 C	PANTONE 2705 C	PANTONE 2715 C	PANTONE 2725 C	PANTONE 2735 C	PANTONE 2745 C	PANTONE 2755 C	PANTONE 2765 C	PANTONE 2706 C	PANTONE 2716 C	PANTONE 2726 C
PANTONE 2736 C	PANTONE 2746 C	PANTONE 2756 C	PANTONE 2766 C	PANTONE 2707 C	PANTONE 2717 C	PANTONE 2727 C	PANTONE Blue 072 C 2	PANTONE 2747 C	PANTONE 2757 C	PANTONE 2767 C
PANTONE 2708 C	PANTONE 2718 C	PANTONE 2728 C	PANTONE 2738 C	PANTONE 2748 C	PANTONE 2758 C	PANTONE 2768 C	PANTONE 277 C	PANTONE 278 C	PANTONE 279 C	PANTONE Reflex Blue C 2
PANTONE 280 C	PANTONE 281 C	PANTONE 282 C	PANTONE 283 C	PANTONE 284 C	PANTONE 285 C	PANTONE 286 C	PANTONE 287 C	PANTONE 288 C	PANTONE 289 C	PANTONE 290 C
PANTONE 291 C	PANTONE 292 C	PANTONE 293 C	PANTONE 294 C	PANTONE 295 C	PANTONE 296 C	PANTONE 2905 C	PANTONE 2915 C	PANTONE 2925 C	PANTONE 2935 C	PANTONE 2945 C
PANTONE 2955 C	PANTONE 2965 C	PANTONE 297 C	PANTONE 298 C	PANTONE 299 C	PANTONE 300 C	PANTONE 301 C	PANTONE 302 C	PANTONE 303 C	PANTONE 2975 C	PANTONE 2985 C

PANTONE Solid Coated

PANTONE 2995 C	PANTONE 3005 C	PANTONE 3015 C	PANTONE 3025 C	PANTONE 3035 C	PANTONE 304 C	PANTONE 305 C	PANTONE 306 C	PANTONE Process Blue C 2	PANTONE 307 C	PANTONE 308 C
PANTONE 309 C	PANTONE 310 C	PANTONE 311 C	PANTONE 312 C	PANTONE 313 C	PANTONE 314 C	PANTONE 315 C	PANTONE 316 C	PANTONE 3105 C	PANTONE 3115 C	PANTONE 3125 C
PANTONE 3135 C	PANTONE 3145 C	PANTONE 3155 C	PANTONE 3165 C	PANTONE 317 C	PANTONE 318 C	PANTONE 319 C	PANTONE 320 C	PANTONE 321 C	PANTONE 322 C	PANTONE 323 C
PANTONE 324 C	PANTONE 325 C	PANTONE 326 C	PANTONE 327 C	PANTONE 328 C	PANTONE 329 C	PANTONE 330 C	PANTONE 3242 C	PANTONE 3252 C	PANTONE 3262 C	PANTONE 3272 C
PANTONE 3282 C	PANTONE 3292 C	PANTONE 3302 C	PANTONE 3245 C	PANTONE 3255 C	PANTONE 3265 C	PANTONE 3275 C	PANTONE 3285 C	PANTONE 3295 C	PANTONE 3305 C	PANTONE 3248 C
PANTONE 3258 C	PANTONE 3268 C	PANTONE 3278 C	PANTONE 3288 C	PANTONE 3298 C	PANTONE 3308 C	PANTONE 331 C	PANTONE 332 C	PANTONE 333 C	PANTONE Green C 2	PANTONE 334 C
PANTONE 335 C	PANTONE 336 C	PANTONE 337 C	PANTONE 338 C	PANTONE 339 C	PANTONE 340 C	PANTONE 341 C	PANTONE 342 C	PANTONE 343 C	PANTONE 3375 C	PANTONE 3385 C
PANTONE 3395 C	PANTONE 3405 C	PANTONE 3415 C	PANTONE 3425 C	PANTONE 3435 C	PANTONE 344 C	PANTONE 345 C	PANTONE 346 C	PANTONE 347 C	PANTONE 348 C	PANTONE 349 C
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PANTONE 361 C	PANTONE 362 C	PANTONE 363 C	PANTONE 364 C	PANTONE 365 C	PANTONE 366 C	PANTONE 367 C	PANTONE 368 C	PANTONE 369 C	PANTONE 370 C	PANTONE 371 C
PANTONE 372 C	PANTONE 373 C	PANTONE 374 C	PANTONE 375 C	PANTONE 376 C	PANTONE 377 C	PANTONE 378 C	PANTONE 379 C	PANTONE 380 C	PANTONE 381 C	PANTONE 382 C

PANTONE Solid Coated

PANTONE 383 C	PANTONE 384 C	PANTONE 385 C	PANTONE 386 C	PANTONE 387 C	PANTONE 388 C	PANTONE 389 C	PANTONE 390 C	PANTONE 391 C	PANTONE 392 C	PANTONE 393 C
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PANTONE 3985 C	PANTONE 3995 C	PANTONE 400 C	PANTONE 401 C	PANTONE 402 C	PANTONE 403 C	PANTONE 404 C	PANTONE 405 C	PANTONE Black C 2	PANTONE 406 C	PANTONE 407 C
PANTONE 408 C	PANTONE 409 C	PANTONE 410 C	PANTONE 411 C	PANTONE 412 C	PANTONE 413 C	PANTONE 414 C	PANTONE 415 C	PANTONE 416 C	PANTONE 417 C	PANTONE 418 C
PANTONE 419 C	PANTONE 420 C	PANTONE 421 C	PANTONE 422 C	PANTONE 423 C	PANTONE 424 C	PANTONE 425 C	PANTONE 426 C	PANTONE 427 C	PANTONE 428 C	PANTONE 429 C
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PANTONE 441 C	PANTONE 442 C	PANTONE 443 C	PANTONE 444 C	PANTONE 445 C	PANTONE 446 C	PANTONE 447 C	PANTONE Warm Gray 1 C	PANTONE Warm Gray 2 C	PANTONE Warm Gray 3 C	PANTONE Warm Gray 4 C
PANTONE Warm Gray 5 C	PANTONE Warm Gray 6 C	PANTONE Warm Gray 7 C	PANTONE Warm Gray 8 C	PANTONE Warm Gray 9 C	PANTONE Warm Gray 10 C	PANTONE Warm Gray 11 C	PANTONE Cool Gray 1 C	PANTONE Cool Gray 2 C	PANTONE Cool Gray 3 C	PANTONE Cool Gray 4 C
PANTONE Cool Gray 5 C	PANTONE Cool Gray 6 C	PANTONE Cool Gray 7 C	PANTONE Cool Gray 8 C	PANTONE Cool Gray 9 C	PANTONE Cool Gray 10 C	PANTONE Cool Gray 11 C	PANTONE Black 2 C	PANTONE Black 3 C	PANTONE Black 4 C	PANTONE Black 5 C
PANTONE Black 6 C	PANTONE Black 7 C	PANTONE 448 C	PANTONE 449 C	PANTONE 450 C	PANTONE 451 C	PANTONE 452 C	PANTONE 453 C	PANTONE 454 C	PANTONE 4485 C	PANTONE 4495 C
PANTONE 4505 C	PANTONE 4515 C	PANTONE 4525 C	PANTONE 4535 C	PANTONE 4545 C	PANTONE 455 C	PANTONE 456 C	PANTONE 457 C	PANTONE 458 C	PANTONE 459 C	PANTONE 460 C

PANTONE Solid Coated

PANTONE 461 C	PANTONE 462 C	PANTONE 463 C	PANTONE 464 C	PANTONE 465 C	PANTONE 466 C	PANTONE 467 C	PANTONE 468 C	PANTONE 4625 C	PANTONE 4635 C	PANTONE 4645 C
PANTONE 4655 C	PANTONE 4665 C	PANTONE 4675 C	PANTONE 4685 C	PANTONE 469 C	PANTONE 470 C	PANTONE 471 C	PANTONE 472 C	PANTONE 473 C	PANTONE 474 C	PANTONE 475 C
PANTONE 4695 C	PANTONE 4705 C	PANTONE 4715 C	PANTONE 4725 C	PANTONE 4735 C	PANTONE 4745 C	PANTONE 4755 C	PANTONE 476 C	PANTONE 477 C	PANTONE 478 C	PANTONE 479 C
PANTONE 480 C	PANTONE 481 C	PANTONE 482 C	PANTONE 483 C	PANTONE 484 C	PANTONE 485 C	PANTONE 486 C	PANTONE 487 C	PANTONE 488 C	PANTONE 489 C	PANTONE 490 C
PANTONE 491 C	PANTONE 492 C	PANTONE 493 C	PANTONE 494 C	PANTONE 495 C	PANTONE 496 C	PANTONE 497 C	PANTONE 498 C	PANTONE 499 C	PANTONE 500 C	PANTONE 501 C
PANTONE 502 C	PANTONE 503 C	PANTONE 4975 C	PANTONE 4985 C	PANTONE 4995 C	PANTONE 5005 C	PANTONE 5015 C	PANTONE 5025 C	PANTONE 5035 C	PANTONE 504 C	PANTONE 505 C
PANTONE 506 C	PANTONE 507 C	PANTONE 508 C	PANTONE 509 C	PANTONE 510 C	PANTONE 511 C	PANTONE 512 C	PANTONE 513 C	PANTONE 514 C	PANTONE 515 C	PANTONE 516 C
PANTONE 517 C	PANTONE 5115 C	PANTONE 5125 C	PANTONE 5135 C	PANTONE 5145 C	PANTONE 5155 C	PANTONE 5165 C	PANTONE 5175 C	PANTONE 518 C	PANTONE 519 C	PANTONE 520 C
PANTONE 521 C	PANTONE 522 C	PANTONE 523 C	PANTONE 524 C	PANTONE 5185 C	PANTONE 5195 C	PANTONE 5205 C	PANTONE 5215 C	PANTONE 5225 C	PANTONE 5235 C	PANTONE 5245 C
PANTONE 525 C	PANTONE 526 C	PANTONE 527 C	PANTONE 528 C	PANTONE 529 C	PANTONE 530 C	PANTONE 531 C	PANTONE 5255 C	PANTONE 5265 C	PANTONE 5275 C	PANTONE 5285 C
PANTONE 5295 C	PANTONE 5305 C	PANTONE 5315 C	PANTONE 532 C	PANTONE 533 C	PANTONE 534 C	PANTONE 535 C	PANTONE 536 C	PANTONE 537 C	PANTONE 538 C	PANTONE 539 C

Built by Rich Apollo to be freely distributed

PANTONE Solid Coated

PANTONE 540 C	PANTONE 541 C	PANTONE 542 C	PANTONE 543 C	PANTONE 544 C	PANTONE 545 C	PANTONE 5395 C	PANTONE 5405 C	PANTONE 5415 C	PANTONE 5425 C	PANTONE 5435 C
PANTONE 5445 C	PANTONE 5455 C	PANTONE 546 C	PANTONE 547 C	PANTONE 548 C	PANTONE 549 C	PANTONE 550 C	PANTONE 551 C	PANTONE 552 C	PANTONE 5463 C	PANTONE 5473 C
PANTONE 5483 C	PANTONE 5493 C	PANTONE 5503 C	PANTONE 5513 C	PANTONE 5523 C	PANTONE 5467 C	PANTONE 5477 C	PANTONE 5487 C	PANTONE 5497 C	PANTONE 5507 C	PANTONE 5517 C
PANTONE 5527 C	PANTONE 553 C	PANTONE 554 C	PANTONE 555 C	PANTONE 556 C	PANTONE 557 C	PANTONE 558 C	PANTONE 559 C	PANTONE 5535 C	PANTONE 5545 C	PANTONE 5555 C
PANTONE 5565 C	PANTONE 5575 C	PANTONE 5585 C	PANTONE 5595 C	PANTONE 560 C	PANTONE 561 C	PANTONE 562 C	PANTONE 563 C	PANTONE 564 C	PANTONE 565 C	PANTONE 566 C
PANTONE 5605 C	PANTONE 5615 C	PANTONE 5625 C	PANTONE 5635 C	PANTONE 5645 C	PANTONE 5655 C	PANTONE 5665 C	PANTONE 567 C	PANTONE 568 C	PANTONE 569 C	PANTONE 570 C
PANTONE 571 C	PANTONE 572 C	PANTONE 573 C	PANTONE 574 C	PANTONE 575 C	PANTONE 576 C	PANTONE 577 C	PANTONE 578 C	PANTONE 579 C	PANTONE 580 C	PANTONE 5743 C
PANTONE 5753 C	PANTONE 5763 C	PANTONE 5773 C	PANTONE 5783 C	PANTONE 5793 C	PANTONE 5803 C	PANTONE 5747 C	PANTONE 5757 C	PANTONE 5767 C	PANTONE 5777 C	PANTONE 5787 C
PANTONE 5797 C	PANTONE 5807 C	PANTONE 581 C	PANTONE 582 C	PANTONE 583 C	PANTONE 584 C	PANTONE 585 C	PANTONE 586 C	PANTONE 587 C	PANTONE 5815 C	PANTONE 5825 C
PANTONE 5835 C	PANTONE 5845 C	PANTONE 5855 C	PANTONE 5865 C	PANTONE 5875 C	PANTONE 600 C	PANTONE 601 C	PANTONE 602 C	PANTONE 603 C	PANTONE 604 C	PANTONE 605 C
PANTONE 606 C	PANTONE 607 C	PANTONE 608 C	PANTONE 609 C	PANTONE 610 C	PANTONE 611 C	PANTONE 612 C	PANTONE 613 C	PANTONE 614 C	PANTONE 615 C	PANTONE 616 C

PANTONE Solid Coated

PANTONE 617 C	PANTONE 618 C	PANTONE 619 C	PANTONE 620 C	PANTONE 621 C	PANTONE 622 C	PANTONE 623 C	PANTONE 624 C	PANTONE 625 C	PANTONE 626 C	PANTONE 627 C
PANTONE 628 C	PANTONE 629 C	PANTONE 630 C	PANTONE 631 C	PANTONE 632 C	PANTONE 633 C	PANTONE 634 C	PANTONE 635 C	PANTONE 636 C	PANTONE 637 C	PANTONE 638 C
PANTONE 639 C	PANTONE 640 C	PANTONE 641 C	PANTONE 642 C	PANTONE 643 C	PANTONE 644 C	PANTONE 645 C	PANTONE 646 C	PANTONE 647 C	PANTONE 648 C	PANTONE 649 C
PANTONE 650 C	PANTONE 651 C	PANTONE 652 C	PANTONE 653 C	PANTONE 654 C	PANTONE 655 C	PANTONE 656 C	PANTONE 657 C	PANTONE 658 C	PANTONE 659 C	PANTONE 660 C
PANTONE 661 C	PANTONE 662 C	PANTONE 663 C	PANTONE 664 C	PANTONE 665 C	PANTONE 666 C	PANTONE 667 C	PANTONE 668 C	PANTONE 669 C	PANTONE 670 C	PANTONE 671 C
PANTONE 672 C	PANTONE 673 C	PANTONE 674 C	PANTONE 675 C	PANTONE 676 C	PANTONE 677 C	PANTONE 678 C	PANTONE 679 C	PANTONE 680 C	PANTONE 681 C	PANTONE 682 C
PANTONE 683 C	PANTONE 684 C	PANTONE 685 C	PANTONE 686 C	PANTONE 687 C	PANTONE 688 C	PANTONE 689 C	PANTONE 690 C	PANTONE 691 C	PANTONE 692 C	PANTONE 693 C
PANTONE 694 C	PANTONE 695 C	PANTONE 696 C	PANTONE 697 C	PANTONE 698 C	PANTONE 699 C	PANTONE 700 C	PANTONE 701 C	PANTONE 702 C	PANTONE 703 C	PANTONE 704 C
PANTONE 705 C	PANTONE 706 C	PANTONE 707 C	PANTONE 708 C	PANTONE 709 C	PANTONE 710 C	PANTONE 711 C	PANTONE 712 C	PANTONE 713 C	PANTONE 714 C	PANTONE 715 C
PANTONE 716 C	PANTONE 717 C	PANTONE 718 C	PANTONE 719 C	PANTONE 720 C	PANTONE 721 C	PANTONE 722 C	PANTONE 723 C	PANTONE 724 C	PANTONE 725 C	PANTONE 726 C
PANTONE 727 C	PANTONE 728 C	PANTONE 729 C	PANTONE 730 C	PANTONE 731 C	PANTONE 732 C	PANTONE 7401 C	PANTONE 7402 C	PANTONE 7403 C	PANTONE 7404 C	PANTONE 7405 C

PANTONE Solid Coated

PANTONE 7406 C	PANTONE 7407 C	PANTONE 7408 C	PANTONE 7409 C	PANTONE 7410 C	PANTONE 7411 C	PANTONE 7412 C	PANTONE 7413 C	PANTONE 7414 C	PANTONE 7415 C	PANTONE 7416 C
PANTONE 7417 C	PANTONE 7418 C	PANTONE 7419 C	PANTONE 7420 C	PANTONE 7421 C	PANTONE 7422 C	PANTONE 7423 C	PANTONE 7424 C	PANTONE 7425 C	PANTONE 7426 C	PANTONE 7427 C
PANTONE 7428 C	PANTONE 7429 C	PANTONE 7430 C	PANTONE 7431 C	PANTONE 7432 C	PANTONE 7433 C	PANTONE 7434 C	PANTONE 7435 C	PANTONE 7436 C	PANTONE 7437 C	PANTONE 7438 C
PANTONE 7439 C	PANTONE 7440 C	PANTONE 7441 C	PANTONE 7442 C	PANTONE 7443 C	PANTONE 7444 C	PANTONE 7445 C	PANTONE 7446 C	PANTONE 7447 C	PANTONE 7448 C	PANTONE 7449 C
PANTONE 7450 C	PANTONE 7451 C	PANTONE 7452 C	PANTONE 7453 C	PANTONE 7454 C	PANTONE 7455 C	PANTONE 7456 C	PANTONE 7457 C	PANTONE 7458 C	PANTONE 7459 C	PANTONE 7460 C
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PANTONE 7472 C	PANTONE 7473 C	PANTONE 7474 C	PANTONE 7475 C	PANTONE 7476 C	PANTONE 7477 C	PANTONE 7478 C	PANTONE 7479 C	PANTONE 7480 C	PANTONE 7481 C	PANTONE 7482 C
PANTONE 7483 C	PANTONE 7484 C	PANTONE 7485 C	PANTONE 7486 C	PANTONE 7487 C	PANTONE 7488 C	PANTONE 7489 C	PANTONE 7490 C	PANTONE 7491 C	PANTONE 7492 C	PANTONE 7493 C
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PANTONE 7505 C	PANTONE 7506 C	PANTONE 7507 C	PANTONE 7508 C	PANTONE 7509 C	PANTONE 7510 C	PANTONE 7511 C	PANTONE 7512 C	PANTONE 7513 C	PANTONE 7514 C	PANTONE 7515 C
PANTONE 7516 C	PANTONE 7517 C	PANTONE 7518 C	PANTONE 7519 C	PANTONE 7520 C	PANTONE 7521 C	PANTONE 7522 C	PANTONE 7523 C	PANTONE 7524 C	PANTONE 7525 C	PANTONE 7526 C

PANTONE Solid Coated



SIGNATURE® 200

STANDARD COLORS
26- AND 24-GAUGE MATERIAL

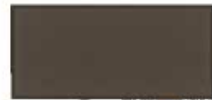
Siliconized Polyester

Polar White is a Straight Polyester.
** Minimum quantities and/or extended lead times required for 24-gauge. Please inquire.



★ ENERGY STAR® Qualified

Galvalume Plus® also available.



BURNISHED SLATE*



POLAR WHITE*



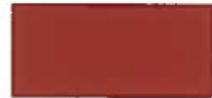
CHARCOAL GRAY*



LIGHT STONE*



HAWAIIAN BLUE** *



RUSTIC RED*



KOKO BROWN*



FERN GREEN*



COAL BLACK*



SOLAR WHITE** *

NOV 15 2019

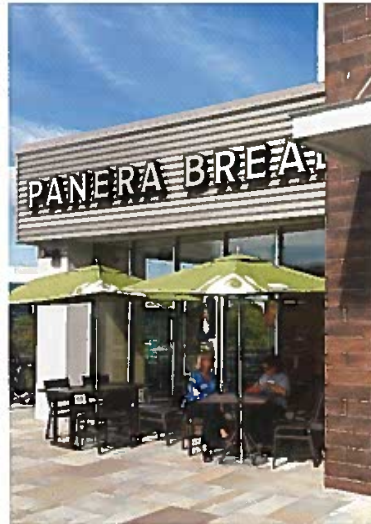
CITY OF SANDY

Project: PANERA BREAD

19-046 DR/1MOD

PING

MASTERLINE 16® in SLATE GRAY



Final color selection should be made from metal color chips.



GY STAR® Qualified



HAWAIIAN BLUE**



LAR WHITE**



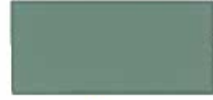
SIGNATURE® 300

STANDARD COLORS
26-GAUGE MATERIAL
PBR, PBU, AVP, PBC, PBD PANELS ONLY

Polyvinylidene Fluoride (PVDF);
Low Gloss
** Minimum quantities and/or extended lead times required for 24-gauge. Please inquire.



NATURAL PATINA**



BRITE RED**



SIGNATURE® 300 METALLIC

Metallic coatings are directional. Panels and trim must be installed oriented in the same direction to prevent perceived shade variances.



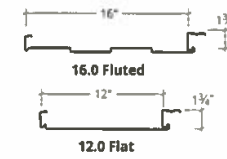
COPPER METALLIC***



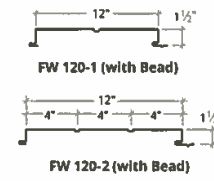
Project: LIFE 360 CHURCH

MASTERLINE 16® in PACIFIC BLUE and SLATE GRAY
ULTRA-DEK® in GALVALUME

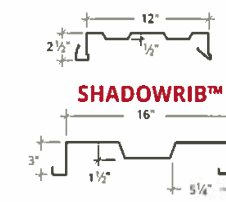
DESIGNER® SERIES



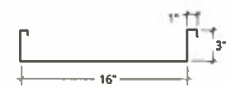
FW-120



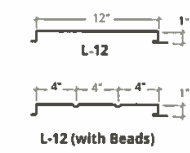
NUWALL®



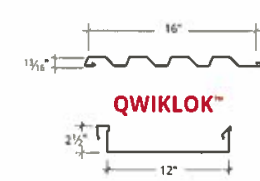
CLASSIC® SERIES



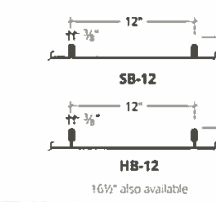
ARTISAN® SERIES



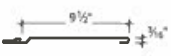
MASTERLINE 16®



CRAFTSMAN™ SERIES



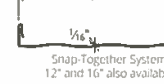
FLEXLOC®



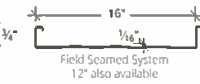
STANDING SEAM :

Vertical Leg

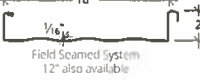
LOKSEAM®



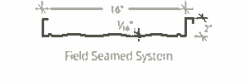
BATTENLOK® HS



SUPERLOK®

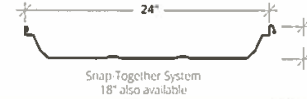


CURVED BATTENLOK®



Trapezoidal Leg

ULTRA-DEK®



DOUBLE-LOK®

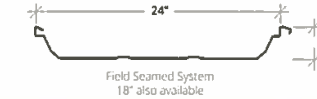
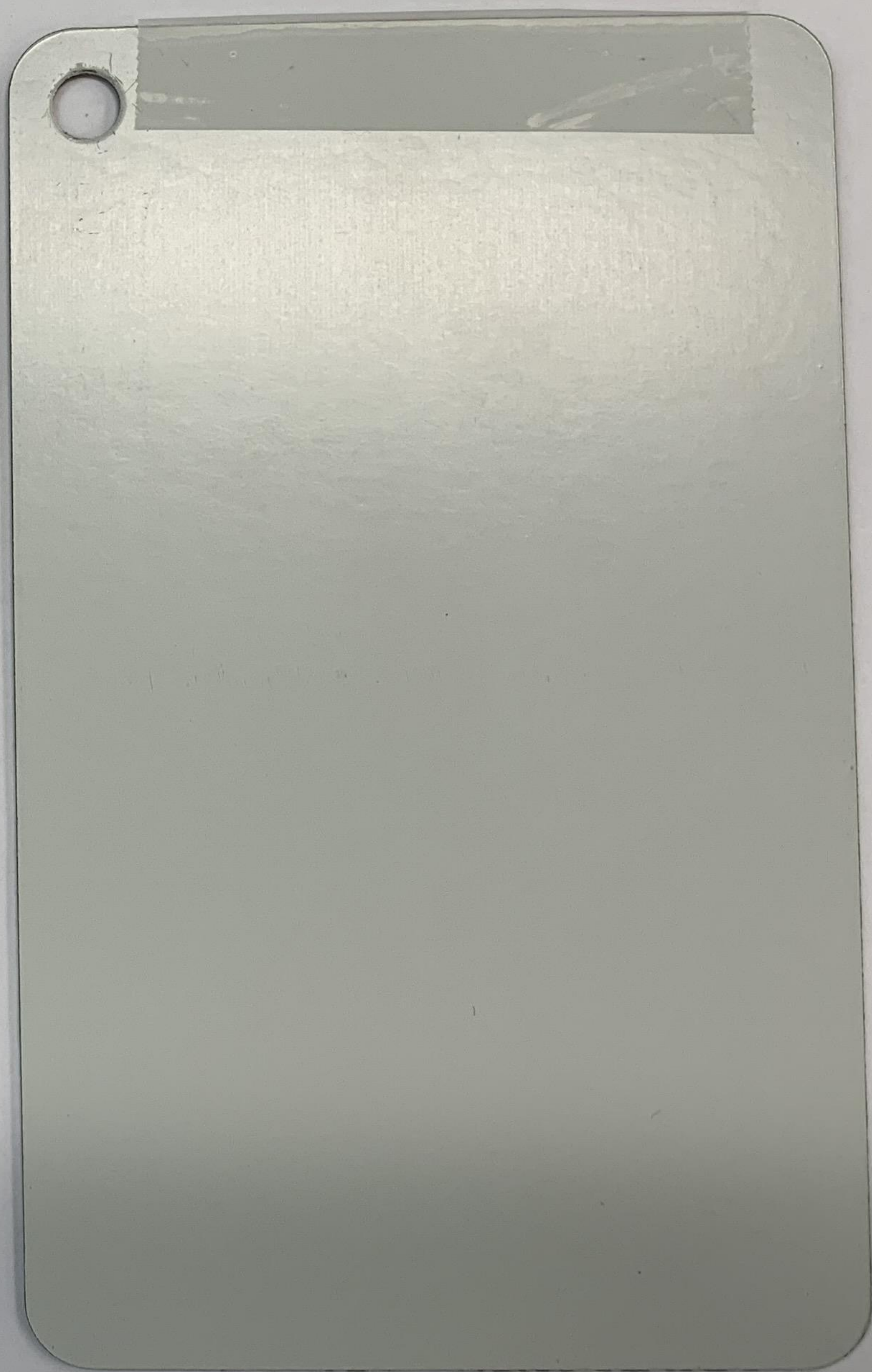


Exhibit H

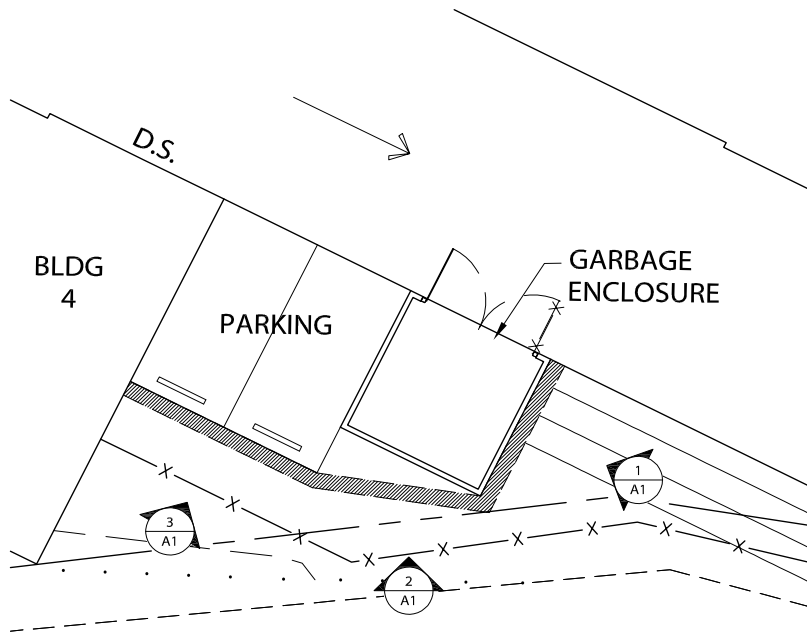


PANTONE Solid Coated

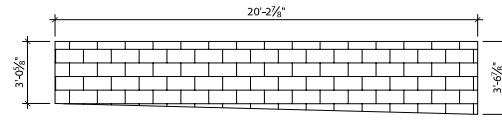


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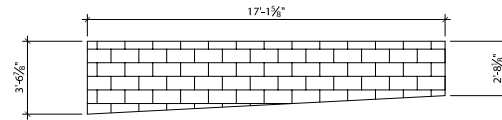
Exhibit I



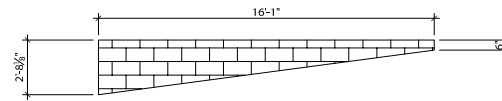
4 DETAIL PLAN
SCALE: 1/16" = 1'-0"



3 RETAINING WALL SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



2 RETAINING WALL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 RETAINING WALL EAST ELEVATION
SCALE: 1/8" = 1'-0"



Exhibit J

SANDY FIRE DISTRICT NO. 72 Fire Prevention Division

E-mail Memorandum

To: Emily Meharg
From: Gary Boyles
Date: March 6, 2020
Re: Sandy Vault Storage (File No. 19-046 MOD/VAR/DEV)

Review and comments are based upon the current version of the Oregon Fire Code (OFC) as adopted by the Oregon State Fire Marshal's Office. The scope of this review is typically limited to fire apparatus access and water supply, although the applicant shall comply with all applicable OFC requirements. When buildings are completely protected with an approved automatic fire sprinkler system, the requirements for fire apparatus access and water supply may be modified as approved by the fire code official. References include provisions found in the Metro Code Committee's Fire Code Applications Guide, OFC Chapter 5 and appendices B, C and D.

COMMENTS:

General

1. Construction documents detailing compliance with fire apparatus access and fire protection water supply requirements shall be provided to Sandy Fire District for review and approval upon building permit submittal.
2. A key box for building or gate access may be required. If required, Sandy Fire District NO. 72 uses KNOX brand boxes. To order a KNOX lock box or KNOX key switch please visit Sandy Fire's website for ordering information.

Fire Apparatus Access

1. Commercial and industrial buildings exceeding three stories or 30 feet in height shall have not fewer than two means of fire apparatus access for each building.
2. Fire apparatus access roads shall have an unobstructed driving surface width of not less than 20 feet and an unobstructed vertical clearance of 13 feet 6 inches.

3. When the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. For purposes of this requirement, the highest roof surface shall be determined by measurements to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater. If buildings are more than 30 feet in height, as measured above, the following requirements apply:
 - a. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet exclusive of shoulders or parking, in the immediate vicinity of the building or portion thereof that will accommodate aerial operations.
 - b. The aerial apparatus access road shall be located not less than 15 feet nor greater than 30 feet from the building and shall be positioned parallel to one entire side of the building.
 - c. The side of the building on which the aerial apparatus access road is positioned shall be approved by the fire code official.
 - d. Overhead utility and power lines shall not be located within the aerial fire apparatus access road or between the aerial fire apparatus road and the building.
4. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing up to 75,000 pounds (gross vehicle weight). Documentation from a registered engineer that the final construction is in accordance with approved plans or the requirements of the OFC may be requested.
5. The inside turning radius and outside turning radius for fire apparatus access roads shall be not less than 28 feet and 48 feet respectively, measured from the same center point.
6. The installation of security gates across a fire apparatus access road shall comply with the following:
 - a. Minimum unobstructed width shall be 16-feet, or two 10-foot sections with a center post or island.
 - b. Gates shall be set back a minimum of 30 feet from the intersecting roadway.
 - c. Gates shall be of the swinging or sliding type.
 - d. Construction of gates shall be of materials that allows manual operation by one person.
 - e. Locking devices shall be approved.
 - f. Electric gates shall be equipped with an approved means of emergency operation. A KNOX box or KNOX key switch may be required. To order a KNOX lock box or KNOX key switch please visit Sandy Fire's website for ordering information.

- g. The security gates and the emergency operation shall be maintained in an operative condition at all times and replaced when defective.
7. Where fire apparatus roadways are not of sufficient width to accommodate parked vehicles and 20 feet of unobstructed driving surface, "NO PARKING-FIRE LANE" signs shall be placed on one or both sides of the roadway and in turnarounds as needed. Red painted curbs marked "NO PARKING FIRE LANE" at approved intervals may be used in lieu of signage.

Firefighting Water Supplies

1. Approved fire apparatus access roadways and an approved water supply for fire protection, either temporary or permanent, shall be installed and operational prior to any combustible construction or storage of combustible materials on site in accordance with OFC Chapter 33.
2. The minimum available fire-flow and flow duration for commercial and industrial buildings shall be as specified in OFC Appendix B. In no case shall the resulting fire-flow be less than 1,500 gpm at 20 psi residual.
3. For commercial and industrial buildings served by a municipal water system where a portion of the building is more than 400 feet from a fire hydrant on a fire apparatus access road (600 feet for buildings equipped throughout with an approved automatic sprinkler system), as measured in an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided.
4. If applicable, fire department connections (FDC) shall be located within 100 feet of a fire hydrant. All FDC's shall be permanently labeled with appropriate address in which it serves and shall be accessible and visible from the fire apparatus access road.
5. Prior to the start of combustible construction, required fire hydrants shall be operational and accessible.
6. Fire hydrants installed within the Sandy Fire District shall comply with the following requirements:
 - a. Flow requirements and location of fire hydrants will be reviewed and approved by Sandy Fire upon building permit submittal.
 - b. Each new fire hydrant installed shall be OSHA safety red and have a 4-inch non-threaded metal faced hydrant connection with cap installed on the steamer port. If a new building, structure or dwelling is already served by an

existing hydrant, the existing hydrant shall also be OSHA safety red and have a 4-inch non-threaded metal faced hydrant connection with cap installed.

7. The minimum number and distribution of fire hydrants shall be in accordance with City of Sandy requirements and OFC Appendix C.

NOTE:

Sandy Fire District comments may not be all inclusive based on information provided. A more detailed review may be needed for future development to proceed.

Please do not hesitate to contact Fire Marshal Gary Boyles at 503-891-7042 or fmboyles.sandyfire@gmail.com should you have any questions or concerns.

MEMORANDUM

Exhibit K

TO: EMILY MEHARG, ASSOCIATE PLANNER
FROM: MIKE WALKER, PUBLIC WORKS DIRECTOR
RE: FILE NO. 19-046 MOD/VAR/DEV – Sandy Vault
DATE: MARCH 6, 2020

The following are Public Works' comments on the above-referenced application:

UTILITIES

The utilities plan shows the discharge from the southern stormwater detention and treatment system daylighting into the sanitary sewer easement. The grading plan isn't detailed enough to demonstrate that this stormwater discharge will flow to the existing stormwater easement / drainage channel. The discharge pipe shall be extended to the existing stormwater easement / drainage channel.

SITE CIRCULATION

The site plan submitted isn't detailed enough to show whether the proposed pre-manufactured storage units will be placed on the existing hammerhead. The applicant shall demonstrate that truck maneuvering area for the adjacent business will still be maintained.

TRANSPORTATION

Street frontage improvements required in Section 15.20 Sandy Municipal Code include the unimproved Industrial Way frontage of Parcel 4 of Partition Plat 2018-112.

**FINDINGS OF FACT and FINAL ORDER
TYPE III CODE INTERPRETATION DECISION**

DATE: August 10, 2018

FILE NO.: 18-027 INT

PROJECT NAME: Highway 26 Storage Code Interpretation

APPLICANT: Bill Whitney

OWNER: Sandy Automotive LLC (Mark Benson)

LEGAL DESCRIPTION: T2S R4E Section 15A, Tax Lot 209

EXHIBITS:

Applicant's Submittals

- A. Land Use Application
- B. Narrative
- C. Plan Set
 - Sheet A1: Site Plan
 - Sheet A2: Floor Plans
 - Sheet A3: Elevations
 - Sheet A4: Elevations
 - Sheets 1-6: 3D Renderings

Staff Submittals

- D. Pre-application notes from November 6, 2014
- E. Pre-application notes from August 17, 2017
- F. Pre-application notes from May 8, 2018

Public Comments

- G. Elie Kassab, 16605 Champion Way (July 10, 2018)

Supplemental Documents Provided By Staff

- H. Staff Report Dated July 24, 2018

FINDINGS OF FACT

General

1. These findings supplement and are in addition to the staff report dated July 24, 2018, which is incorporated herein as Exhibit H. Where there is a conflict between these findings and the staff report, these findings shall control.
2. These findings are based on the applicant's submittal materials deemed complete on June 25, 2018. These items are identified as Exhibits A – C. The 120-day deadline for this application is October 23, 2018.
3. Bill Whitney submitted an application on behalf of Mark Benson for a code interpretation and approval of a reduction in the window coverage requirements of the City of Sandy Development Code Section 17.90.120(E,2). The code interpretation and window reduction approval are being requested for five (5) proposed storage buildings located on a property owned by Mr. Benson south of Highway 26, west of Champion Way, and north of Industrial Way. Section 17.90.120(E.2) of the code requires 30 percent window coverage on the activated elevation(s) of buildings up to 10,000 square feet, 25 percent window coverage on the activated elevation(s) of buildings between 10,000 square feet and 30,000 square feet, and 20 percent window coverage on the activated elevation(s) of buildings greater than 30,000 square feet. The applicant's request states that storage buildings require many large overhead doors which limit wall area available for windows.
4. The parcel has a Plan Map designation of Light Industrial and a Zoning Map designation of I-1, Industrial Park. The subject site is located south of Highway 26, north of Industrial Way, and west of Champion Way.
5. This land use application used code criteria from the following chapters: 17.12 Procedures for Decision Making; 17.14 Request for Interpretation; 17.18 Processing Applications; 17.22 Notices; 17.48 Industrial Park, I-1; 17.66 Adjustments and Variances; 17.90 Design Review.
6. The site for the mini-storage facility is 5.44 acres. The site is currently vacant land with a considerable slope running downhill to the southwest (towards Tickle Creek). The property is still legally tied to the 2.63 acre Hix Snedeker LLC (Tractor Supply) site, but received tentative partition approval on June 25, 2018 to divide the property into two parcels (File No. 18-019 MP).
7. In conformance with the standards of Chapter 17 of the Sandy Municipal Code (SMC) this application is processed as a Type III, Quasi-Judicial Land Use Decision. Per Chapter 17.14 the Director shall review a request for interpretation and within 30 calendar days after acceptance of a completed request for interpretation, the Director shall respond with a written interpretation. Over the course of three different pre-application meetings on November 6, 2014, August 17, 2017, and May 8, 2018 staff advised the property owner or his representative(s) that more windows were needed on

the proposed buildings to meet the requirements of Section 17.90.120 (E.). The Director believes that staff's interpretation of the window coverage requirement has been adequately and repeatedly addressed through these multiple pre-application meetings. However, while the property owner has done a decent job at increasing the Sandy Style appearance of the mini-storage structures, the window coverage requirement is still not being met. Rather than have the applicant apply for a code interpretation by the Director/other city staff and receive the same interpretation as has been conveyed in multiple pre-application meetings, the Director is elevating the applicant's request for a code interpretation on window coverage to a Planning Commission decision.

On June 14, 2018 staff received an email from Bill Whitney on behalf of Mark Benson with a draft narrative and some 3D Renderings. Mr. Whitney asked the following: "Please give me your candid thoughts on the narrative's content. Should it be far more extensive? I believe you said you're leaving it up to the Planning Commissions review, but your input would be helpful." On June 15, 2018 the Director stated the following: "The narrative is a little confusing though. The narrative makes it sound like you are asking for a variance. In the narrative you even state you are asking for a reduction to the required window area. My understanding from Mark was that you wanted to get an interpretation if the garage doors without windows meets the window coverage requirement found in Section 17.90.120 (E.2.) of the development code? Please clarify in the narrative what you are actually asking for. At the end of the narrative it also states, "Industrial Way is a dead end". There is no period or second page so I want to make sure you didn't have more information that you wanted to include but was somehow cropped from the narrative." On June 21, 2018 staff received the narrative that is included with this staff report (Exhibit B.). Staff finds the narrative still does a lackluster job of supporting the code interpretation and instead asks for a reduction in required window coverage, which the city could only potentially approve through an adjustment or variance application pursuant to the development code. To be clear, the applicant has only applied for a minor code interpretation but has not applied for an adjustment or variance. Staff finds that we can review the development code and provide an interpretation for the subject mini-storages and other future development that is similar. The applicant has mentioned in several meetings that garage doors should count towards the percentage of window coverage as required in Section 17.90.120(E). Staff's interpretation of the applicant's request for a code interpretation is that the applicant is requesting that the doors be counted towards the window coverage requirement.

8. The subject parcel was originally created as portions of Lot 8 (4.54 acres) and Lot 9 (6.07 acres) of the Pioneer Corporate Park subdivision platted in 1996 (Plat Book 109, Page 13) with the line dividing the lots oriented generally north-south. Since 2000 here are the primary land use approvals:
 - In 2000, the owner of the property at the time was approved for a property line adjustment (File No. 2000-044, Survey No. PS-29073) shifting the common line between these parcels to an east-west orientation. This resulted in reconfigured parcels, Lot 8 (9.14 acres) and Lot 9 (1.47).
 - In 2010 (File No. 10-035 MP), the current owner (Mark Benson) partitioned Lot 8 into two lots: Parcel 1 to contain 8.05 acres and Parcel 2 to contain 1.05 acres.

- In 2011 (File No. 11-008 CUP/DR/VAR), Champion 26 LLC received approval to construct the AmPm convenience store and fueling station.
 - In 2018 (File No. 18-019 MP), Sandy Automotive LLC (Mark Benson) and Hix Snedeker LLC received approval to partition Parcel 1 from File No. 10-035 MP into two parcels at 5.44 and 2.63 acres.
9. Notice of the subject proposal was mailed to property owners within 300 feet of the site on June 27, 2018. A legal notice was published in the Sandy Post on Wednesday, July 11, 2018.
 10. The City of Sandy received one written comment from the public. Elie Kassab the owner of the Sandy Cinema at 16605 Champion Way (Exhibit G) submitted comments on July 10, 2018. Mr. Kassab has concerns with the height of the proposed mini-storage facility blocking the visibility of the cinema and other existing businesses from HWY 26.
 11. On July 30, 2018 **the Planning Commission interpreted that the property owner is not allowed to consider garage doors as qualifying for ground floor windows on the activated frontage of buildings and that garage doors do not meet the intent of providing ‘effective window placement and design.’**

17.90 – Design Standards

12. The code interpretation was specific to the design standards required for general commercial and industrial park and non-residential uses in residential zones.
13. The code interpretation specifically addressed Section 17.90.120(E)(2) that has requirements for window coverage on the ground floor of buildings. Depending on the size of the building the percentage of window coverage varies with larger buildings requiring less percentage of windows. The subject site has five (5) proposed buildings with all of the buildings having some portion of their building visible from a public street (see Exhibit C: Sheets 1-6) meaning that all five buildings will need to define an activated frontage and adhere to the standards regarding window coverage and possibly providing a building entry. At the public hearing the applicant stated that Building 5 was no longer being proposed.
14. Chapter 17.10, Definitions, contains the following definition of “activate”: “Make the exterior of a building inviting to pedestrians through a combination of elements, such as an enhanced customer entrance, weather protecting features (such as canopies or awnings), pedestrian-scale signage, and transparent windows allowing for views into and from interior building spaces.” In Section 17.90.120(D) the Development Code defines the ‘activated frontage’ as the following: “an elevation is activated when it meets the window transparency requirements in subsection 17.90.120(E), below, and contains a public entrance with a pedestrian shelter extending at least five (5) feet over an adjacent sidewalk, walkway or civic space.” For example, the pedestrian shelter and door on Building 1 faces north to HWY 26 and the proposed civic space, which makes the north elevation of Building 1 the activated frontage. The figures in Chapter 17.90 also illustrate the importance of windows and building orientation. The figures in the development code

consistently detail that a lack of ground floor windows is undesirable. The Development Code does not exempt mini-storage facilities or any other buildings from adhering to the window requirements in Chapter 17.90.

Per Section 17.10.10 "All words and terms used in this Code have their commonly accepted, dictionary meaning unless they are specifically defined in this Code or the context in which they are used clearly indicated to the contrary."

Here are some dictionary terms for 'doorway':

- Merriam-Webster: "the opening that a door closes; especially: an entrance into a building or room"
- Cambridge: "the space for a door through which you go into and out of a room or building"

Here are some dictionary terms for 'window':

- Merriam-Webster: "an opening especially in the wall of a building for admission of light and air that is usually closed by casements or sashes containing transparent material (such as glass) and capable of being opened and shut"
- Cambridge (window): " an opening in the wall of a building or vehicle, usually covered with glass, to let light and air in and to allow people inside to see out"

15. As part of this code interpretation staff also asked the Planning Commission to define which side(s) of the proposed buildings should be assigned as the activated frontage(s), if each building is required to include a main entryway, and if faux windows can count towards the window coverage requirement.

16. Defining the activated frontage(s) on each proposed building will enable staff to evaluate for window coverage and determine if the applicant needs to provide more windows or submit for variance(s). Based on Exhibit C staff finds the activated frontage(s) are as follows:

- Building 1 – north elevation facing HWY 26 (20 percent windows), east elevation facing Champion Way should remain as detailed on the elevations
- Building 2 – east elevation facing Champion Way (30 percent windows)
- Building 3 – south elevation facing Industrial Way (30 percent windows), west elevation facing Industrial Way will also be highly visible
- Building 4 – south elevation facing Industrial Way (30 percent windows), west elevation facing Industrial Way will also be highly visible
- Building 5 – south elevation facing Industrial Way (30 percent windows)

The Planning Commission finds the activated frontages on Building 1 are the north elevation facing Highway 26 and the east elevation facing Champion Way. The elevation on Building 1 facing HWY 26 is only proposed to contain six (6) windows and one clear glass door. The HWY 26 façade on Building 1 has 248 square feet of windows and 2,056 square feet of wall surface for a window coverage of 12 percent. The requirement for

Building 1 is 20 percent window coverage so the proposed 12 percent does not meet the code requirement. The applicant proposes 44 percent window coverage on the east elevation of Building 1 in conformance with the window coverage requirements of Section 17.90.120(E.2).

Planning Commission finds the activated frontage on Building 2 is the east elevation facing Champion Way, although Building 2 appears to lack a main entryway. The applicant proposes 23 percent window coverage on the east elevation. Since Building 2 is less than 10,000 square feet the east elevation is required to contain at least 30 percent coverage on the wall facing Champion Way. Section 17.90.120(E)(1) states that 'building plans must provide for unity in window placement and design so that all sides of a building relate to one another and multiple buildings on a development site relate to one another.' The applicant proposes the east elevation of Building 1 facing Champion Way to have a unified look with Building 2 by providing similar looking windows covering 44 percent of the east facing wall of Building 1. Planning Commission finds that the east wall of Building 1 meets the unified design requirements in Section 17.90.120(E)(1); however, Building 2 needs 7 percent more window coverage on the east elevation. In the alternative the Planning Commission stated that the applicant could request a variance on the east elevation of Building 2 and use vegetation to screen the recessed portion of the wall.

In the applicant's narrative (Exhibit B) the applicant states that Buildings 3-5 have virtually no exposure from Champion Way or HWY 26, and that Industrial Way is a dead end. Staff agrees that Buildings 3-5 will have limited exposure to Champion Way or HWY 26 due to proposed retaining walls and other buildings (i.e. Buildings 1 and 2, and the Tractor Supply Building); however, according to the 3-D renderings for Buildings 3-5 they will be highly visible from Industrial Way. Buildings 3-5 are each less than 10,000 square feet and, therefore, require 30 percent window coverage on the activated frontage. Planning Commission requires the three buildings with their activated frontage on Industrial Way (Buildings 3, 4, and 5 if proposed) shall contain at least 30 percent window coverage on the walls facing Industrial Way or the applicant shall apply for a variance. After some discussion, the Planning Commission decided that the activated frontage on Building 3 is the west elevation facing Industrial Way. The activated frontages on Building 4 were noted as the south elevation and the west elevation both facing Industrial Way. The activated frontage on Building 5 was not discussed as the applicant stated that Building 5 was no longer being proposed. It was also discussed that Buildings 3-5 do not appear to contain main entryways either.

17. The 3-D renderings show trees that appear to block the south elevation of Building 2, and a majority of the south elevations of Buildings 3 and 4. However, based on Google Earth imagery, it doesn't appear like the tree coverage is accurate, or at the very least there aren't existing trees that would provide such dense screening. At the July 30, 2018 public hearing the applicant clarified the 3-D renderings include trees that will need to be planted and allowed to grow to maturity.

18. Per Section 17.90.120 (D) all buildings shall include a main entryway or apply for a variance.
19. Staff asked the Planning Commission about the use of faux windows. Planning Commission stated they are fine with the use of faux windows to count towards the window coverage requirement of Section 17.90.120 (E)(2).

DECISION

The Planning Commission interpreted that the property owner is not allowed to consider garage doors as qualifying for ground floor windows on the activated frontage(s) of buildings. The Planning Commission also made other determinations for the potential mini-storage facility on this property as detailed in the conditions of approval.

CONDITIONS OF APPROVAL

A. General Conditions

1. The applicant shall apply for a design review for the mini-storage facility. Planning Commission finds the activated frontage(s) are as follows:
 - Building 1 – north elevation facing HWY 26 (20 percent windows), east elevation facing Champion Way should remain as detailed on the elevations
 - Building 2 – east elevation facing Champion Way (30 percent windows), including recessed wall
 - Building 3 – west elevation facing Industrial Way (30 percent windows)
 - Building 4 – south elevation facing Industrial Way (30 percent windows), west elevation facing Industrial Way will also be highly visible
 - Building 5 – no longer being proposed
2. The applicant shall meet the window coverage requirements on the activated frontages of each building or apply for a variance.
3. The applicant shall install a main entry on each building or apply for a variance.
4. The applicant is allowed to use faux windows to count towards the window coverage requirement of Section 17.90.120 (E)(2).

Jerry Crosby
Chair, Planning Commission

Date

RIGHT OF APPEAL

A decision on a land use proposal or permit may be appealed to the City Council by an affected party by filing an appeal with the Director within ten (10) calendar days of notice of the decision. Any person interested in filing an appeal should contact the city to obtain the form, "Notice of Appeal", and Chapter 17.28 of the Sandy Development Code regulating appeals. All applications for an appeal shall indicate the nature of the interpretation that is being appealed and the matter at issue will be a determination of the appropriateness of the interpretation of the requirements of the Code.

An application for an appeal shall contain:

1. An identification of the decision sought to be reviewed, including the date of the decision;
2. A statement of the interest of the person seeking review and that he/she was a party to the initial proceedings;
3. The specific grounds relied upon for review;
4. If de novo review or review by additional testimony and other evidence is requested, a statement relating the request to the factors listed in Chapter 17.28.50; and
5. Payment of required filing fees.



Exhibit M

Emily Meharg <emeharg@ci.sandy.or.us>

Sandy Storage

Tim Brunner <TimB@axisdesigngroup.com>

Tue, Jan 28, 2020 at 10:00 AM

To: Emily Meharg <emeharg@ci.sandy.or.us>

Cc: Jonathan Konkol <JonathanK@axisdesigngroup.com>, Dean Hoque <DeanH@axisdesigngroup.com>, "Kelly O'Neill Jr." <koneill@ci.sandy.or.us>, Jordan Wheeler <jwheeler@ci.sandy.or.us>

Good Morning Emily

Please see attached letter to deem our application complete. It has been 76 days to get completeness and we cannot wait any longer. Jonathan has gotten you everything you need except for the information regarding the added storage units. Those storage units will be labeled as "future" although part of the application. No easements or survey work will be done until we know how the units will be able to proceed or not.

I will bring a check to the city today for the balance owed (\$2,460) on the exception requests. We need to get on the Planning Commission agenda in March so please work with me on this.

Our client really wants to building this project. They are just trying to get it into a budget and perform that is financeable. I hope the city can understand this. At this point the project is not financeable. Jonathan and I will work with you through the review

We look forward to working through this with you so we can get this built.

Thanks,

TIMOTHYBRUNNER, AIA | PRESIDENT – PRINCIPAL ARCHITECT

DIRECT: 971.533.8734 | OFFICE: 503.284.0988 | FAX: 503.546.9276

[11104 S.E. STARK STREET, PORTLAND, OR 97216](#)

EMAIL: TimB@axisdesigngroup.com

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[Quoted text hidden]

 **Completeness Declaration 1.28.2020.pdf**
504K



ARCHITECTURAL DESIGN INTERIOR DESIGN MASTER PLANNING LAND USE PLANNING

January 28, 2020

Emily Meharg
City of Sandy
39250 Pioneer Blvd
Sandy, OR 97055

CC. Jonathan Konkol, AICP
Kelly O'Neil
Jordan Wheeler
Mark Benson
Tim Paul

RE: Notice of Completion of Submission, Dated December 13, 2019

Emily,

We submitted a revised application for the Sandy Vault project for design review on November 15, 2019. On December 13, 2019 we received notice of incompleteness. Many of the issues outlined in the incompleteness letter are items that can either be addressed on an *ad hoc* basis, or formally through a hearing.

It is essential for the viability of this project that we start the review period immediately. We are deeply concerned that further delays will impact our ability to deliver the project. We must secure approval, complete bank financing, draft construction documents and complete the permitting process, and finally, secure a contractor to do the work, before we lose another year on our construction timeline.

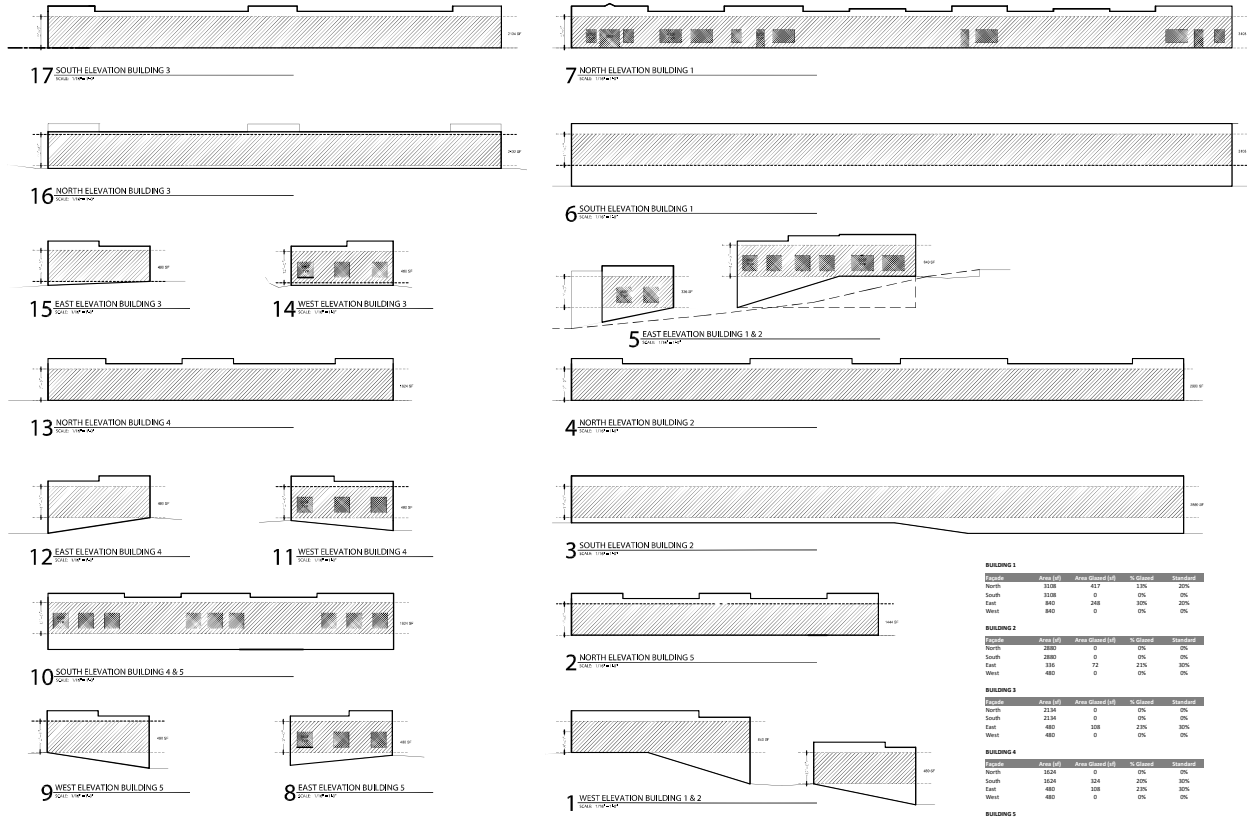
Therefore we have no choice but to declare our application complete and request that you formally begin reviewing it. We need to request a date in March for a planning commission hearing in order to maintain viability. We look forward to providing coordination items wherever possible while the application is under review.

Sincerely,

Tim Brunner, AIA

Attachments: check in the amount of \$2460.00

Exhibit N



METHODOLOGY
 WALL AREA IS MEASURED AS THE PORTION OF A WALL ENCLOSED OCCUPIABLE SPACE.
 OCCUPIABLE SPACE = 7' TO 8'6" HIGH

Direction	Area [sq ft]	Area Ground [sq ft]	% Ground	Standard
BUILDING 1				
North	3358	417	13%	20%
South	3358	0	0%	0%
East	840	248	30%	20%
West	840	0	0%	0%
BUILDING 2				
North	2880	0	0%	0%
South	2880	0	0%	0%
East	336	72	21%	30%
West	480	0	0%	0%
BUILDING 3				
North	2134	0	0%	0%
South	2134	0	0%	0%
East	480	108	23%	30%
West	480	0	0%	0%
BUILDING 4				
North	1624	0	0%	0%
South	1624	124	8%	30%
East	480	108	23%	30%
West	480	0	0%	0%
BUILDING 5				
North	1624	0	0%	0%
South	1624	124	8%	30%
East	480	108	23%	30%
West	480	0	0%	0%

Ground Epy = 0'12" AFF

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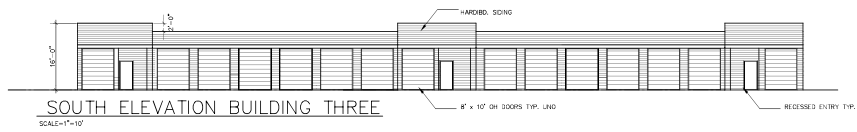
SANDY VAULT
 COMMONWAY
 SHEET A5 OF 25

REVISIONS

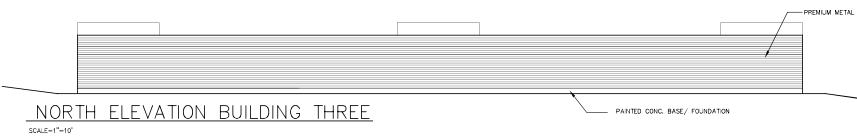
NO.	DESCRIPTION	DATE

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 CHECKED BY:
 DESIGNED BY:
 DATE: 10/20/18
 PROJECT: SANDY VAULT COMMONWAY
 SHEET TITLE:
 DESIGNER:
 ARCHITECT:

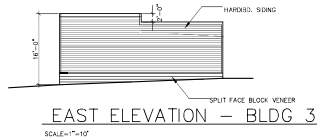
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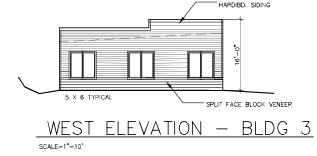
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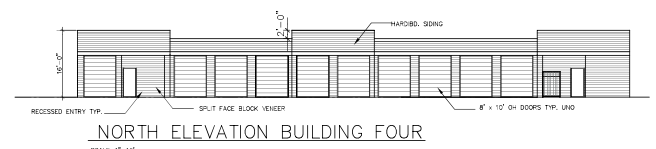
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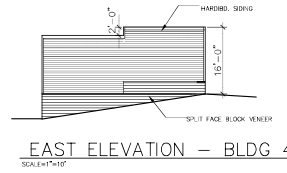
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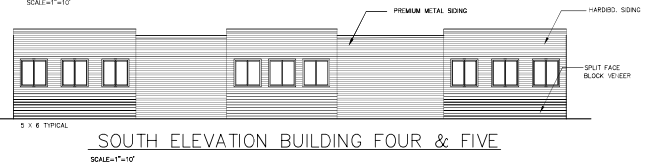
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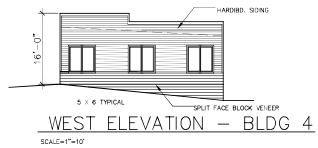
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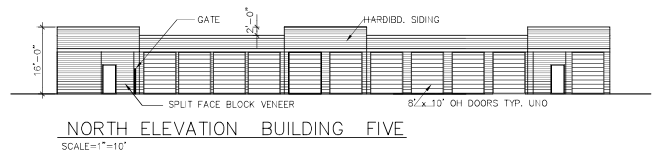
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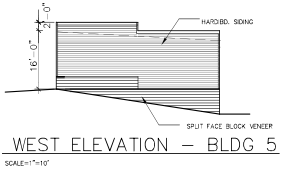
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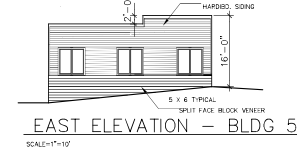
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NORTH ELEVATION BUILDING FIVE
SCALE=1"=10'



WEST ELEVATION - BLDG 5
SCALE=1"=10'



EAST ELEVATION - BLDG 5
SCALE=1"=10'



SANDY VAULT
SANDY VAULT GROUP

NO.	DESCRIPTION	DATE

DRAWN BY: BM
 CHECKED BY:
 JOB NO: 14-404
 DATE: 12/05/08
 DESIGNED BY: DESIGN REPAIR
 SHEET TITLE:
 REVISIONS:
 DESIGN REPAIR:
 SHEET NO.:

A4



Exhibit P

Emily Meharg <emeharg@ci.sandy.or.us>

Sandy Vault

Jonathan Konkol <JonathanK@axisdesigngroup.com>
To: Emily Meharg <emeharg@ci.sandy.or.us>
Cc: "Kelly O'Neill Jr." <koneill@ci.sandy.or.us>, Tim Brunner <TimB@axisdesigngroup.com>, Dean Hoque <DeanH@axisdesigngroup.com>

Thu, Mar 5, 2020 at 4:22 PM

Emily,

You are correct. Thanks for catching that error. Here are the correct percentages:

Façade	Metal Cladding (SF)	Total Area (SF)	% Metal
Bldg 1 North	1,526	3,270	47%
Bldg 1 South	4,021	6,340	63%
Bldg 1 East	0	1,369	0%
Bldg 1 West	1,221	1,426	86%
Bldg 2 North	812	2,376	34%
Bldg 2 South	3,493	4,618	76%
Bldg 2 East	192	808	24%
Bldg 2 West	589	686	86%
Bldg 3 North	1,370	1,615	85%
Bldg 3 South	872	2,219	39%
Bldg 3 East	388	450	86%
Bldg 3 West	0	507	0%
Bldg 4 North	859	1,564	55%
Bldg 4 South	1,714	2,464	70%
Bldg 4 East	512	576	89%
Bldg 4 West	0	770	0%

JONATHANKONKOL, AICP | INTERN ARCHITECT

[Quoted text hidden]



Staff Report

Meeting Date: April 27, 2020
From Emily Meharg, Senior Planner
SUBJECT: 19-017 DR/VAR/DEV/TREE

Background:

Gallant Construction submitted an application on behalf of Trillium Machine to construct a new industrial building at 36535 Industrial Way. The new building is approximately 10,000 square feet and will allow more floor space to facilitate the current operations, but the employee count will remain the same as currently exists. The applicant is proposing to remove the existing driveway on the west side of the site and relocate the existing eastern driveway access on Industrial Way approximately 15 feet to the west. The request includes removal of 4 trees (including three (3) trees over 11-inches DBH and one (1) 8-inch DBH tree), with an additional 6 trees (including five (5) trees over 11-inches DBH and one (1) 8-inch DBH tree) recommended for removal by the project arborist. In addition, the applicant is requesting the following:

- Design Deviation to eliminate the requirement to provide efficient sidewalk and/or walkway connections between neighboring developments per Section 17.90.130(A.6.). *(Note: the applicant's land use application (Exhibit A) cited Section 17.82.30(D) in relation to this deviation request; however, Chapter 17.82 is not applicable to this application and deviations are only allowed to standards in Chapter 17.90. Thus, staff reasoned that the applicant's intent was to request a deviation to Section 17.90.130(A.6), which addresses connections between neighboring developments).*
- Design Deviation to eliminate requirement that facades shall be varied and articulated to provide visual interest to pedestrians per Section 17.90.130(C.1).
- Special Variance to Section 17.90.130(C.5) to not provide a change in relief on 10 percent of the façades facing public streets.
- Design Deviation to eliminate the requirement to incorporate features such as arcades, awnings, roofs, porches, alcoves, and porticoes to protect pedestrians from the rain and sun per Section 17.90.130(C.8).
- Special Variance to Section 17.90.130(D.1) to provide less than the required 3:12 roof pitch.
- Design Deviation to eliminate the requirement of an entrance connecting directly between the right-of-way and the building interior per Section 17.90.130(E.3).

Recommendation:

Staff recommends the Planning Commission **approve** the request by Gallant Construction to construct a building and modify the site **as modified by the conditions listed below**. Staff

recommends the Planning Commission **approve** the following Type III Special Variances and design deviations **as modified by the conditions listed in the Conditions of Approval**:

- Design Deviation to eliminate the requirement to provide efficient sidewalk and/or walkway connections between neighboring developments per Section 17.90.130(A.6.).
- Design Deviation to eliminate the requirement that facades shall be varied and articulated to provide visual interest to pedestrians per Section 17.90.130(C.1), *provided the Planning Commission require the applicant to plant a mix of mitigation trees and shrubs at a sufficient quantity to provide a partial buffer within two years of the date they are planted, and that the building be painted a color from the approved color palette that blends harmoniously with the surrounding vegetation.*
- Special Variance to Section 17.90.130(C.5) to not provide a change in relief on 10 percent of the façades facing public streets, *provided the Planning Commission require the applicant to plant a mix of mitigation trees and shrubs at a sufficient quantity to provide a partial buffer within two years of the date they are planted, and that the building be painted a color from the approved color palette that blends harmoniously with the surrounding vegetation.*
- Design Deviation to eliminate the requirement to incorporate features such as arcades, awnings, roofs, porches, alcoves, and porticoes to protect pedestrians from the rain and sun per Section 17.90.130(C.8).
- Special Variance to Section 17.90.130(D.1) to provide a 1:12 roof pitch rather than the required 3:12 roof pitch. Should the Planning Commission approve the requested variance, staff recommends the Planning Commission require that the applicant choose a color for the metal roof from the approved City of Sandy color palette that blends harmoniously with the surrounding vegetation. Due to the proposed flat roof and the fact that one of the five guiding principles of Sandy Style is to encourage green building practices, staff would also be supportive of the applicant installing a vegetative green roof.
- Design Deviation to eliminate the requirement of an entrance connecting directly between the right-of-way and the building interior per Section 17.90.130(E.3).

Code Analysis:

See attached

Budgetary Impact:

None

**PLANNING COMMISSION STAFF REPORT
(DRAFT FINDINGS OF FACT and FINAL ORDER
TYPE III DESIGN REVIEW DECISION)**

AGENDA DATE: April 27, 2020

FILE NO.: 19-017 DR/VAR/DEV/TREE

PROJECT NAME: Trillium Machine

OWNER: Trillium Machine

APPLICANT: Gallant Construction

LEGAL DESCRIPTION: T2S R4E Section 14, Tax Lot 1123

This request was processed as a Type III Design Review with deviations, Type III Special Variance, and Type I Tree Removal. The following Findings of Fact are adopted supporting approval of the plan in accordance with Chapter 17 of the Sandy Municipal Code.

EXHIBITS:

Applicant's Submittals

- A. Land Use Applications
- B. Narrative
- C. Civil Plan Set
 - Sheet 01: Cover Sheet
 - Sheet 02: General Notes
 - Sheet 03: Existing Conditions and Demolition Plan
 - Sheet 04: Site Layout and Paving Plan
 - Sheet 05: Grading and Erosion Control Plan
 - Sheet 06: Utility Plan
 - Sheet 07: Erosion Control Details
- D. Architectural Plan Set
 - Sheet A1: Building General Arrangement
 - Sheet A3: Office General Arrangements
 - Sheet A4: Exterior Elevations
 - Sheet A5: Office Elevations
- E. Landscape Plan
- F. Revised Arborist Report (January 22, 2020)
- G. Preliminary Stormwater Management Report (August 8, 2019)
- H. Access Location Adjustment Memo (September 13, 2019)
- I. Lighting Cut-Sheets
- J. Revised Photometric Plan (January 27, 2020)

Agency Comments

K. City Engineer (February 25, 2020)

L. Fire Marshal (March 6, 2020)

M. Public Works Director (March 6, 2020)

Supplemental Documents Provided By Staff

N. Survey 15702

FINDINGS OF FACT

General

1. These findings are based on the applicant's submittal received on June 4, 2019 and additional information received on November 8, 2019, December 10, 2019, and December 17, 2019. The application was deemed complete on January 15, 2020 and the 120-day deadline is May 14, 2020.
2. The subject property is approximately 1 acre. The site is located south of Highway 26, east of 362nd Avenue, and northwest of Industrial Way.
3. The parcel has a Comprehensive Plan Map designation of Industrial and a Zoning Map designation of I-2, Light Industrial.
4. Gallant Construction submitted an application on behalf of Trillium Machine to construct a new industrial building at 36535 Industrial Way. The new building is approximately 10,000 square feet and will allow more floor space to facilitate the current operations, but the employee count will remain the same as currently exists. The applicant is proposing to remove the existing driveway on the west side of the site and relocate the existing eastern driveway access on Industrial Way approximately 15 feet to the west. The request includes removal of 4 trees (including three (3) trees over 11-inches DBH and one (1) 8-inch DBH tree), with an additional 6 trees (including five (5) trees over 11-inches DBH and one (1) 8-inch DBH tree) recommended for removal by the project arborist. In addition, the applicant is requesting the following:
 - Design Deviation to eliminate the requirement to provide efficient sidewalk and/or walkway connections between neighboring developments per Section 17.90.130(A.6.). (*Note: the applicant's land use application (Exhibit A) cited Section 17.82.30(D) in relation to this deviation request; however, Chapter 17.82 is not applicable to this application and deviations are only allowed to standards in Chapter 17.90. Thus, staff reasoned that the applicant's intent was to request a deviation to Section 17.90.130(A.6), which addresses connections between neighboring developments*).
 - Design Deviation to eliminate requirement that facades shall be varied and articulated to provide visual interest to pedestrians per Section 17.90.130(C.1).
 - Special Variance to Section 17.90.130(C.5) to not provide a change in relief on 10 percent of the façades facing public streets.

- Design Deviation to eliminate the requirement to incorporate features such as arcades, awnings, roofs, porches, alcoves, and porticoes to protect pedestrians from the rain and sun per Section 17.90.130(C.8).
 - Special Variance to Section 17.90.130(D.1) to provide less than the required 3:12 roof pitch.
 - Design Deviation to eliminate the requirement of an entrance connecting directly between the right-of-way and the building interior per Section 17.90.130(E.3).
5. Notification of the proposal was mailed to property owners within 500 feet of the subject property on February 24, 2020 and to affected agencies on February 21, 2020. A legal notice was published in the Sandy Post on March 11, 2020.
 6. The hearing for this land use application was originally scheduled for March 30, 2020. However, due to concerns related to COVID-19, the hearing was cancelled.
 7. On March 31, 2020, an updated notice of this proposal with the rescheduled hearing date was mailed to property owners within 500 feet of the subject property. A legal notice was published in the Sandy Post on April 8, 2020.
 8. No public comments were received. Agency comments were received from the City Engineer, Sandy Fire District #72 Fire Marshal, and Public Works Director.

17.50 – Light Industrial (I-2)

9. Section 17.50.10 lists uses permitted outright in the Light Industrial (I-2) zoning district. The proposed building is intended to be used for “manufacturing, assembly, processing, and production that do not produce significant levels of noise or odor beyond the boundaries of the site,” which is permitted outright in the I-2 zoning district.
10. Section 17.50.30 contains development standards for buildings in the I-2 zone. For the purposes of this review, Industrial Way is considered the front yard. There is already an existing building on the site set back approximately 56 feet from the Industrial Way right-of-way. The proposed building will be located behind (to the north of) the existing building. The applicant’s narrative (Exhibit B) indicates the 15 percent minimum landscaping standard will be met. The maximum height of the building is approximately 24 feet, which is less than the 45 feet allowed by this section.
11. Section 17.50.30(C) requires all buildings that are visible from an arterial street or highway to be screened from view by a vegetative buffer. The property has an existing 30-foot wide tree preservation buffer along the entirety of the Highway 26 frontage of the site. Section 17.50.30(C) requires existing trees within the buffer to be preserved to the greatest extent practicable and new evergreen trees to be planted at a density that will create a visual screen within five years. The applicant is not removing any trees from the existing tree preservation buffer.

17.66 – Adjustments and Variances

12. The applicant is requesting the following two Type III Special Variances:

- Special Variance to Section 17.90.130(C.5) to not provide a change in relief on 10 percent of the façades facing public streets.
- Special Variance to Section 17.90.130(D.1) to provide less than the required 3:12 roof pitch.

13. To be granted a Type III Special Variance, the applicant must meet one of the following criteria in Section 17.66.80:

- A. The unique nature of the proposed development is such that:
 1. The intent and purpose of the regulations and of the provisions to be waived will not be violated; and
 2. Authorization of the special variance will not be materially detrimental to the public welfare and will not be injurious to other property in the area when compared with the effects of development otherwise permitted.
- B. The variance approved is the minimum variance needed to permit practical compliance with a requirement of another law or regulation.
- C. When restoration or replacement of a nonconforming development is necessary due to damage by fire, flood, or other casual or natural disaster, the restoration or replacement will decrease the degree of the previous noncompliance to the greatest extent possible.

14. CHANGE IN RELIEF

Staff believes the requested variance to Section 17.90.130(C.5) to not provide a change in relief on 10 percent of the façades facing public streets meets Criterion A. The proposed building will be located at the rear of the site, behind the existing building. The applicant’s narrative (Exhibit B) states, “We are located in an inconspicuous industrial area with a 20ft [sic] vegetation buffer screen to block the existing building from view of public right-of-way.” However, per the revised arborist report (Exhibit F), seven (7) trees will need to be removed from the vegetation buffer along Industrial Way due to the proposed construction activity. With additional planting in the vegetation buffer along Industrial Way, the proposed building will be largely screened from the public right-of-way; thus, a change in relief would likely not be visible from the public right-of-way. In addition, not providing the required changes in relief on 10 percent of the façade facing Industrial Way is not materially detrimental to the public welfare or injurious to other property in the area. **Staff recommends the Planning Commission approve the applicant’s request for a Special Variance to Section 17.90.130(C.5) to not provide changes in relief on 10 percent of the facades facing public streets. To maintain the vegetative screening of the buildings, staff recommends the Planning Commission require the applicant to plant a mix of mitigation trees and shrubs at a sufficient quantity to provide a partial buffer within two years of the date they are planted. The applicant shall submit a proposed revegetation plan with a mix of mitigation shrubs and trees for the vegetation buffer along Industrial Way for staff review and approval. The applicant shall maintain all mitigation trees and shrubs in good condition. Per Sections 17.92.10 (L) and 17.92.60 (B), maintenance shall include**

necessary watering, weeding, and pruning at intervals sufficient to assure survival and growth. The applicant shall replace any dead or dying mitigation trees and shrubs. In addition, staff recommends the Planning Commission require the applicant to paint the building a color from the approved City of Sandy color palette that blends harmoniously with the surrounding vegetation.

15. ROOF PITCH

Staff believes the requested variance to Section 17.90.130(D.1) to provide less than the required 3:12 roof pitch meets Criterion A. Per the applicant's narrative (Exhibit B), "The existing building has a 1:12 roof pitch that we are proposing to match. The new proposed building is a steel framed metal building that will be located on the back half of the property set behind the existing building and a 20ft [sic] vegetation screening buffer. Neighboring developments also use a 1:12 roof pitch." Because the proposed building roof pitch will match the existing building as well as other buildings in the vicinity, staff believes the proposed roof pitch meets the intent and purpose of the code. Using a 1:12 roof pitch rather than a 3:12 as required is not materially detrimental to the public welfare or injurious to other property in the area. The applicant did not submit a proposed color for the roof. **Staff recommends the Planning Commission approve the applicant's request for a Special Variance to Section 17.90.130(D.1) to allow a 1:12 roof pitch rather than the required 3:12 roof pitch. Should the Planning Commission approve the requested variance, staff recommends the Planning Commission require that the applicant choose a color for the metal roof from the approved City of Sandy color palette that blends harmoniously with the surrounding vegetation.** Due to the proposed flat roof and the fact that one of the five guiding principles of Sandy Style is to encourage green building practices, staff would also be supportive of the applicant installing a vegetative green roof.

16. **Approval of a variance shall be effective for a 2-year period from the date of approval, unless substantial construction has taken place.** The Planning Commission (Type III) may grant a 1-year extension if the applicant requests such an extension prior to expiration of the initial time limit.

17.84 – Improvements Required with Development

17. Chapter 17.84 contains public improvements required with development. The subject site has driveway access on Industrial Way. The Site Layout and Paving Plan (Exhibit C, Sheet 04) does not detail a sidewalk along the Industrial Way frontage of the site. As noted by the Public Works Director (Exhibit M), sidewalks are required on all public street frontages per section 15.20 and 17.84.30 of the Sandy Municipal Code. The applicant may have intended to request a design deviation to not provide a sidewalk; however, the deviation request cited in the land use application (Exhibit A) is to Section 17.82.30(D). Chapter 17.82 does not apply to this application and design deviations can only be requested to standards in Chapter 17.90; thus, staff reasoned that the requested design deviation was intended as a request to not provide the internal connections required by 17.90.130(A). If the applicant intended to request a waiver of a public sidewalk requirement, that would be a Special Variance; however, staff would not support waiving the requirement to provide public frontage improvements. **The**

applicant shall install frontage improvements (sidewalk, planter strip, curb, street trees, lighting, etc.) along the Industrial Way frontage of the site. Per the Public Works Director (Exhibit M), **a sidewalk and planter strip conforming to the requirements of Section 17.84.30 shall be constructed along the Industrial Way frontage of the site. The sidewalk alignment and or planter strip width may be varied to preserve existing healthy trees in or adjacent to the right-of-way.** The typical sidewalk width on Industrial Way is 6 feet with a 5-foot wide planter strip.

18. The applicant did not submit a traffic evaluation. The applicant's narrative (Exhibit B) states that the new building is to allow more floor space to facilitate the existing operations. The employee count will remain the same and the proposed development will not increase the current daily traffic.
19. Per the City Engineer (Exhibit K) and Public Works Director (Exhibit M), the submitted drainage report doesn't fully address the City stormwater requirements for water quantity and quality. The report only provides analysis for a 10-year storm event. The City requires analysis for 2, 5, 10 and 25-year storm events. **The applicant shall update the report to address the 2, 5, 10, and 25-year storm events to include detention and water quality requirements. All stormwater runoff shall be treated, detained, and discharged in conformance with Section 13.18 and 13.20 of the Sandy Municipal Code (SMC) and the latest edition of the City of Portland Stormwater Management Manual (including section 1.10 of the Source Control Manual).** Per the Public Works Director (Exhibit M), **if an infiltration trench remains the preferred stormwater management solution the proposed overflow shall discharge to an existing, defined stormwater conveyance facility.**
20. The utilities plan shows a sanitary sewer lateral for the proposed building passing through the infiltration bed. It is not clear whether the lateral will be within the infiltration trench, below the trench, or located above it. Per the Public Works Director (Exhibit M), **if any portion of the sanitary sewer lateral is located within or below the infiltration trench a full length (18 ft.) of 3034 PVC pipe shall be centered in the crossing of the narrowest part of the trench so that no pipe joints are located within the infiltration trench.**
21. Section 17.84.70 contains requirements regarding public improvement procedures. The Fire Marshal (Exhibit L) submitted comments regarding fire apparatus access and firefighting water supplies. **The applicant shall confer with Sandy Fire District to ensure compliance with the requirements of the Sandy Fire Marshal as contained in Exhibit L. The applicant shall provide construction documents detailing compliance with fire apparatus access and fire protection water supply requirements to the Sandy Fire District for review and approval upon building permit submittal. The applicant shall comply with all applicable Oregon Fire Code requirements.**
22. Section 17.84.80 contains specifications for franchise utility installations. Sandy Municipal Code Section 15.20.030(B) states the following regarding undergrounding of utilities: "No building permit shall be issued for remodeling, alteration or addition to any

building or structure when the estimated cost of the remodeling, alteration or addition exceeds twenty percent of the value of the building or structure before such remodeling, alteration or addition is commenced on any lot which is not served by underground utilities, unless the applicant agrees to construct equipment and related facilities to accept and receive all underground utility lines which shall serve the building or structure, including but not limited to those required for all electric, communication and cable TV services in conjunction with the construction activity related to the building permit.” **The applicant shall place all existing and proposed onsite (including extensions from the utility poles in the right-of-way) overhead electrical and communications wires underground in conformance with Section 15.20.** Private utility services will be submitted for review and approval by service providers and City staff in association with construction plans, and all utility lines will be extended to the perimeter of the site. **All existing and proposed franchise utilities shall be installed underground and in conformance with City standards.**

23. Section 17.84.100 contains provisions for mail delivery facilities. **Mail delivery facilities shall be provided by the applicant in conformance with 17.84.100 and the standards of the USPS. The applicant shall submit a mail delivery plan to the City and USPS for review and approval prior to installation of the mail delivery facility.**

17.90 – Design Standards

24. The applicant proposes to construct a new building on the subject property. As such the application is subject to the provisions of Chapter 17.90, Design Standards.
25. Section 17.90.00 contains the intent of the design standards. In implementing these standards, the reviewing body shall refer to the listed objectives in evaluating Design Review requests.
26. Section 17.90.00(C) lists guiding principles of the Sandy Style. This includes protecting and enhancing Sandy’s tree canopy, particularly along the Highway 26 Landscape Management Corridor, which is defined in Chapter 17.10 as “the required yards abutting Highway 26 within the C-2, I-1, and I-2 zoning districts where the Development Code requires native conifer and deciduous landscaping, creating the appearance of a forested corridor.”
27. Section 17.90.00(D) lists elements incompatible with the Sandy Style. The reviewing body may deny, or require modifications to, a project with any of the items contained in Section 17.90.00(D). Excessive tree removal and/or grading that may harm existing vegetation within a designated landscape conservation area is considered an element incompatible with Sandy Style. The applicant is not proposing to remove any trees from the tree preservation buffer.
28. Section 17.90.70 specifies that **design review approval shall be void after two (2) years from the date of the Final Order, unless the applicant has submitted plans for building permit approval.**

29. Because the subject property is located in the I-2 zoning district the application was reviewed for compliance with the provisions of Section 17.90.130. Requirements relevant to the design of the building and accessory structures are addressed below.
30. Section 17.90.130(A) contains standards for access. The subject property currently has two driveways on Industrial Way. Section 17.90.130(A.5) limits each lot to one access point. Per the applicant's narrative (Exhibit B) and Civil Plan Set (Exhibit C), the western access will be removed leaving one access point on the east side of the property.
31. Section 17.90.130(A.6) requires connection to adjacent properties. The applicant's land use application (Exhibit A) requested a deviation to Section 17.82.30(D) stating they want to "eliminate the requirement to provide efficient sidewalk and/or walkway connections between neighboring developments"; however, Chapter 17.82 is not applicable to this application and deviations are only allowed to standards in Chapter 17.90. Thus, staff reasoned that the applicant's intent was to request a deviation to Section 17.90.130(A.6), which addresses connections between neighboring developments. Based on the deviation request and Site Layout and Paving Plan (Exhibit C, Sheet 04), it appears the applicant is requesting a deviation to eliminate the requirement to provide for a future street and pedestrian network to adjacent properties. The subject property is currently fenced in and the fence is proposed to remain. Neither the property to the east nor the property to the west is developed with a drive aisle or pedestrian walkway to connect to at this time. In addition, the future sidewalks along Industrial Way should provide sufficient connectivity between parcels. **Staff recommends the Planning Commission approve the applicant's request for a deviation to Section 17.90.130(A.6) to not provide for a future street and pedestrian network connection to adjacent properties.**
32. Section 17.90.130(B) contains standards for pedestrian accessibility. The proposed building will be located behind (north of) the existing building and will only be accessed by employees.
33. Section 17.90.130(C.1) requires structure facades to be varied and articulated. The intention of this code requirement is to provide aesthetic variation to the walls of buildings to create visual interest and to remove long imposing wall surfaces. The Sandy Style emphasizes village scale by decreasing large building massing. The applicant requested a deviation to this standard as the proposed buildings are not adjacent to the street right-of-way or easily visible by pedestrians except for employees working at the subject site. The subject property currently has a vegetative buffer along Industrial Way; however, the arborist report (Exhibit F) recommends removal of seven (7) of the trees in the vegetative buffer along Industrial Way due to the impacts of the proposed construction. **Staff recommends the Planning Commission approve the requested deviation to Section 17.90.130(C.1) to eliminate the requirement that façades be varied and articulated. To maintain the vegetative screen of the buildings, staff recommends the Planning Commission require the applicant to plant a mix of mitigation trees and shrubs at a sufficient quantity to provide a partial buffer within two years of the date they are planted. The applicant shall submit a proposed**

revegetation plan with a mix of mitigation shrubs and trees for the vegetation buffer along Industrial Way for staff review and approval. The applicant shall maintain all mitigation trees and shrubs in good condition. Per Sections 17.92.10(L) and 17.92.60(B), maintenance shall include necessary watering, weeding, and pruning at intervals sufficient to assure survival and growth. The applicant shall replace any dead or dying mitigation trees and shrubs. In addition, staff recommends the Planning Commission require the applicant to paint the building a color from the approved City of Sandy color palette that blends harmoniously with the surrounding vegetation

34. Section 17.90.130(C.2) specifies approved building materials. The applicant proposes a metal building, which is an approved primary exterior building material in the I-2 zone district.
35. Section 17.90.130(C.5) requires changes in relief on 10 percent of the facades facing public streets or residential development. Relief changes include cornices, bases, fenestration, fluted masonry or other treatments for pedestrian interest and scale. The applicant is requesting a Special Variance to eliminate the requirement for change in relief on 10 percent of the façades facing public streets. The Special Variance request is reviewed in Chapter 17.66 of this document.
36. Section 17.90.130(C.6) states that preferred colors for exterior building finishes are earth tones, creams, and pastels of earth tones. High intensity primary colors, metallic, colors, and black may be utilized as trim and detail colors but shall not be used as primary wall colors. The applicant did not submit proposed building colors. As discussed in relation to the applicant's requests for a Special Variance to not meet the 10 percent relief requirement and a design deviation to not meet the varied and articulated façade requirement, **staff recommends the Planning Commission require the applicant to paint the building a color from the approved City of Sandy color palette that blends harmoniously with the surrounding vegetation**
37. Section 17.90.130(C.8) requires features such as arcades, awnings, roofs, porches, alcoves, and porticoes to protect pedestrians from the rain and sun. The applicant is requesting a deviation to eliminate the requirement to incorporate awnings and similar features to protect pedestrians from the rain and sun. The narrative (Exhibit B) states that the subject property is an industrial area that is not open to the public. Although employees would also benefit from rain and sun protection, staff recognizes that the proposed building is a steel framed metal building that does not have arcades, awnings, roofs, porches, alcoves, or porticoes. **Staff recommends the Planning Commission approve the requested deviation to Section 17.90.130(C.8) to not provide features such as arcades, awnings, roofs, porches, alcoves, and porticoes to protect pedestrians from the rain and sun.**
38. Section 17.90.130(D) contains standards for roofs. Section 17.90.130(D.1) requires a minimum 3:12 roof pitch in the I-2 zone. The applicant is requesting a Special Variance to not provide the minimum 3:12 roof pitch. The Special Variance request is reviewed in

Chapter 17.66 of this document. The submitted plans do not identify the location of any roof or wall-mounted equipment. **If roof or wall-mounted equipment is proposed it shall be screened from public view. Any proposed screening shall be submitted to the City for review and approval.**

39. Section 17.90.130(E) contains standards for building orientation and entrances. The proposed building is located behind (to the north of) the existing building. The applicant is requesting a deviation to Section 17.90.130(E.3) to eliminate the requirement of the building having an entrance that connects directly between the right-of-way and the building interior. The applicant's narrative (Exhibit B) states that "the required connection from right-of-way to the buildings [sic] interior would conflict with the driveway and parking area requirements." The property is fenced in with a gate at the driveway and it is unlikely that anyone aside from the employees would access either the existing or the proposed building. **Staff recommends the Planning Commission approve the applicant's request for a deviation to Section 17.90.130(E.3) to eliminate the requirement for an entrance connecting directly between the right-of-way and the building interior.**
40. Section 17.90.130(E.5) requires entries to be sheltered with an overhang or portico with a depth of at least 4 feet. The plan set (Exhibit C), floor plans (Exhibit D, Sheet A3), and elevations (Exhibit D, Sheet A4) do not detail pedestrian shelters over the pedestrian doors. **The applicant shall update the plan set to detail pedestrian shelters over pedestrian doors at least 4 feet in depth.** The pedestrian shelter over the primary entrance on the south elevation will also help meet the intention of Section 17.90.130(E.2), which requires primary entrances to be architecturally emphasized and visible from the public right-of-way.
41. Section 17.90.130(F) contains standards for windows. The proposed building includes windows on all four elevations and a garage door on the south elevation. The windows are located to provide viewing of the parking areas in compliance with Section 17.90.130(I).
42. Section 17.90.130(J) contains standards for external storage. The exterior storage of merchandise and/or materials, except as specifically authorized as a permitted accessory use, is prohibited. The Site Layout and Paving Plan (Exhibit C, Sheet 04) details a gravel storage area located between the existing building and the proposed building. **The applicant shall not park or maneuver any motorized vehicles on the gravel area as that would be a violation of Section 17.98.130.** The Existing Conditions and Demolition Plan (Exhibit C, Sheet 03) details removal of two (2) existing shipping containers. **The applicant shall remove all shipping containers from the site prior to receiving a certificate of occupancy.**
43. Section 17.90.130(K) contains standards for trash collection and recycling areas. The submitted plan set does not identify a trash and recycling area on the site. **The applicant shall locate any proposed garbage/recycling areas in a structure or behind the building in an enclosure.**

17.92 - Landscaping and Screening

44. Section 17.92.10(C) requires significant plant and tree specimens to be preserved to the greatest extent practicable and integrated into the design of a development. The applicant is proposing to maintain the required 30-foot wide tree preservation buffer and will not be removing any trees from within the buffer. Tree removal is addressed in Chapters 17.66 and 17.102 of this document.
45. Per Section 17.92.20(L) **all landscaping shall be continually maintained, including necessary watering, weeding, pruning, and replacing.**
46. Per Section 17.92.20, the I-2 zoning district is required to have a minimum of 15 percent of the site landscaped. The Landscape Plan (Exhibit E) does not calculate the percent of landscaping; however, the narrative (Exhibit B) states that the 15 percent minimum landscaping requirement will be met. The proposed landscaping includes the 30-foot tree preservation buffer as well as landscaping in the front and side setbacks. **The applicant shall submit calculations demonstrating that the 15 percent minimum landscaping requirement is met.**
47. Section 17.92.40 requires landscaping to be irrigated. The Landscape Plan (Exhibit E) states that all landscaped areas will be irrigated with a fully automated drip irrigation system to be design built by the contractor. **The applicant shall submit details on the proposed irrigation system prior to construction.**
48. Section 17.92.50 contains standards for types and sizes of plant materials. Per the Landscape Plan (Exhibit E), the applicant is proposing a mix of trees, shrubs, grasses/perennials, and groundcover. Proposed trees include Chanticleer pear, vine maple, and Bowhall maple. **Due to concerns with Asian Long-horned Beetle and an interest in increasing species diversity per Comprehensive Plan goal 5, the applicant shall update the planting palette to include alternate tree species that are not maples. Staff recommends replacing the vine maples with serviceberry or red flowering currant, and the Bowhall maples with cascaras or another approved tree from the City's street tree list that is not an ash or a maple.**
49. Section 17.92.60 requires revegetation of areas where natural vegetation has been removed or damaged in areas that are not proposed to be occupied by structures or other improvements. **The applicant shall revegetate all areas where natural vegetation has been removed or damaged in areas that are not proposed to be occupied by structures or other improvements.**
50. Section 17.92.80 contains standards related to buffer plantings. Boundary plantings shall be used to buffer parking and vehicle maneuvering areas from adjacent properties and the public right-of-way. A balance of low-lying ground cover and shrubs, and vertical shrubs and trees shall be used to buffer the view of these facilities. Per Section 17.92.10(D), planter and boundary areas used for required plantings shall have a minimum diameter of 5 feet. Where the curb of the edge of these areas are used as a tire stop for parking, the

planter or boundary plantings shall be a minimum width of 7.5 feet. The submitted plan set (Exhibit C) details a 1 foot buffer between the proposed parking and the adjacent property to the east. **The applicant shall update the Plan Set to detail a minimum planter width of 5 feet if wheel stops are proposed, or 7.5 feet if wheel stops are not proposed. The applicant shall update the Landscape Plan to detail a mix of low-lying ground cover and shrubs, and vertical shrubs and trees in the buffer planter.**

51. The Landscape Plan (Exhibit E) details the relocation of the perimeter fence at the southwest corner of the site to accommodate new landscaping. It appears that the proposed fence location would be in the public right-of-way. The Site Layout and Paving Plan (Exhibit C, Sheet 04) does not detail relocation of the fence. **The fence shall remain on the subject property and shall not be placed in the right-of-way.** It is advisable the applicant determine surveyed lot line locations prior to installing the fence.

17.98 – Parking, Loading and Access Requirements

52. Chapter 17.98 identifies the required number of parking spaces required per use. Within this section it identifies that industrial uses such as storage, distribution, warehousing, or manufacturing require a minimum of one parking space per employee on the largest shift, plus one per two employees. The development code errs in requiring one parking space per employee on the largest shift plus one per two employees. Staff has been interpreting this requirement for this specific use to be one parking space per employee on the largest shift and ignoring the additional ‘plus one per two employees.’ Per the narrative (Exhibit B), there will be 10 employees on the largest shift. The Site Layout and Paving Plan (Exhibit C, Sheet 04) details 15 parking spaces, which is 50 percent greater than the requirement. Section 17.98.10(Q) states that the maximum parking allowed in commercial or industrial zoned properties shall not exceed the minimum parking requirement by more than 30 percent. **The applicant shall update the Plan Set to detail a maximum of 13 parking spaces.** Alternatively, the applicant may apply for a Type II Adjustment through a separate land use application to allow 14 parking spaces. The proposal also includes two (2) bicycle parking stalls located near the southwest corner of the existing building.
53. Section 17.98.60(B) contains standards for the size of parking spaces. The plan set (Exhibit C) identifies 15 parking spaces. Nine (9) parking spaces are standard parking spaces at 9 feet by 18 feet, five (5) parking spaces are compact parking spaces at 8 feet by 18 feet, and one (1) parking space is an ADA parking space with a passenger aisle. All proposed parking spaces comply with the dimensional standards. **Signage associated with the ADA parking spaces shall meet the head clearance distance requirement in the Building Code.**
54. Section 17.98.80(B) states, “No development site shall be allowed more than one access point to any arterial or collector street except as approved by the City Engineer.” The site currently has two driveways on Industrial Way. Per the Public Works Director (Exhibit M), Section 17.98.80(C) allows the City to review the number and location of existing driveway approaches when “developed property is to be expanded or altered in a manner that significantly affects on-site parking or circulation.” The proposed building and

parking lot expansion meets this threshold for review. The applicant is proposing to remove the western driveway leaving one access point on the east side of the property.

55. Section 17.98.120 contains standards for landscaping and screening in parking areas. Section 17.98.120(D) restricts parking bays to no more than 20 spaces and requires landscape planters at the ends of each parking bay that are a minimum of 5 feet by 17 feet. Each planter shall contain one major structural tree and ground cover. The proposal contains planters at the ends of each parking bay that are at least five feet in width and 17 feet in depth. The Landscape Plan (Exhibit E) details ground cover and shrubs in the planters but no trees. **The applicant shall update the Landscape Plan to detail one structural tree in each planter at the ends of the parking bay.**
56. Section 17.98.120(F) requires wheel stops or other methods to protect landscaped areas and to maintain a minimum clearance of 5 feet for safe pedestrian circulation. The plan set does not detail wheel stops. The Landscape Plan (Exhibit E) details landscaping adjacent to the parking spaces; however, the landscaping is on the adjacent property. As noted in Section 17.92.80 of this document, the applicant is required to provide a buffer between the proposed parking and the adjacent property to the east. **The applicant shall update the Plan Set to detail a minimum planter width of 5 feet if wheel stops are proposed, or 7.5 feet if wheel stops are not proposed.**
57. In accordance with Section 17.98.130, all parking areas, driveways, aisles and turnarounds shall be paved with concrete, asphalt or comparable surfacing, constructed to city standards for off-street vehicle areas. The applicant's narrative (Exhibit B) states that all parking and maneuvering surfaces will be asphalt.
58. The Section 17.98.140 requires parking areas, aisles, and turnarounds to provide adequate provisions for on-site collection of stormwater to eliminate sheet flow onto sidewalks, public rights-of-way and abutting private property. **The applicant shall comply with the requirements of Section 13.18 of the Sandy Municipal Code, as discussed in Chapter 17.84 above.**

17.102 – Urban Forestry

59. Section 17.102.20 contains information on the applicability of Urban Forestry regulations. The subject property is approximately 1 acre and contains protected trees within the tree preservation buffer; therefore, compliance with this chapter is required.
60. Section 17.102.50 contains tree retention and protection requirements. The subject property is approximately 1 acre, which requires a minimum of three (3) retention trees that are 11-inches or greater DBH and in good health. In addition, the property has a 30-foot wide tree preservation buffer along the Highway 26 frontage of the site. Trees within the buffer are required to be preserved to the greatest extent practicable. The submitted tree inventory on the Existing Conditions and Demolition Plan (Exhibit C, Sheet 03) inventoried 63 trees (including approximately 10 trees that are offsite or on the property line) but does not include tree species or condition. The revised arborist report by Damien Carré of Oregon Tree Care (Exhibit F) states that all trees appeared to be of average

vigor. The revised report confirms the DBH measurements and includes the species and condition of the inventoried trees; the updated arborist report also includes a 64th tree that is not identified on the site map. Twenty-one (21) trees are located in the 30-foot tree preservation buffer, with an additional two (Trees # 24 and 25) appearing to straddle the 30-foot tree preservation boundary; all 23 of those trees are proposed to be retained. Of the 21 trees completely within the 30-foot tree preservation buffer and completely on the subject property, 14 are in good condition and 11-inches DBH or greater, which meets the minimum tree retention standards of Section 17.102.50. These 14 trees include 12 Douglas firs (Trees #26, 27, 31, 32, 33, 34, 36, 46, 49, 51, 53, and 54) and two (2) western redcedars (Trees #47 and 48). The applicant is proposing to retain additional trees south of the 30-foot tree preservation buffer, along the east and west property lines, and along the front property line along Industrial Way.

61. The applicant is not proposing to remove any trees from the tree preservation buffer. The applicant is requesting to remove four (4) trees from the subject property, including three (3) trees located in the proposed building footprint (Trees #21, 42, and 45) and one (1) tree located near the east driveway (Tree #12). In addition, the arborist report (Exhibit F) recommends removal of six (6) additional trees (Trees #1, 2, 3, 4, 8, and 11) due to their close proximity to the proposed construction area. Thus, a total of 10 trees will be removed. More specifically, the arborist report states “The trees to be preserved and trees that need tree protection during construction activities are already under a high volume of soil compaction and pedestrian traffic in the common areas of the property. The proposed construction is in close proximity to the trees. Due to the close proximity of the trees, hardscape and construction, it is recommended that any trees falling within one half the distance of the one foot per inch in diameter formula (Prescriptive Path) should be removed as the proposed construction activities will compromise the trees structural integrity and or vigor of the trees. The trees are numbered as followed per the report from Stanridge [sic] Surveying, 1, 2, 3, 4, 8, 11, 12, 21, 42 and 45. Thus, it is recommended that these trees be removed.” **Removed trees shall be felled away from the trees to be retained so they do not contact or otherwise damage the trunks, branches, or roots within the critical root zones of the trees to be retained.**

62. Section 17.102.50(B.1) requires tree protection fencing be placed no less than 10 horizontal feet from the outside edge of the trunk. Section 17.92.10(C) states that retained trees shall be protected from damage during construction by a construction fence located 5 feet outside the dripline. Per the Pacific Northwest International Society of Arboriculture (ISA), the ISA defines the critical root zone (CRZ) as “an area equal to a 1-foot radius from the base of the tree’s trunk for each 1 inch of the tree’s diameter at 4.5 feet above grade (referred to as diameter at breast height).” Often the dripline is used to estimate a tree’s CRZ; however, it should be noted that a tree’s roots typically extend well beyond its dripline. Thus, a proactive approach to tree protection would take into consideration the fact that the tree and its root zone will continue to grow. The arborist report (Exhibit F) specifies a root protection zone of 1 foot per 1 inch DBH. The recorded plat (Exhibit N) details the 30-foot-wide tree preservation buffer in compliance with Section 17.50.30(C). **The applicant shall adhere to the following conditions related to tree protection:**

- **The applicant shall install tree protection fencing at the critical root zone of 1 foot per 1 inch DBH around all retention trees, or as otherwise determined to be sufficient to allow construction of the building and to protect all retention trees by the project arborist and City staff during a site visit; however, in no case shall the fencing encroach into the 30-foot tree preservation buffer.**
- **The tree protection fencing shall be 6 feet tall chain link or no-jump horse fencing supported with 8 foot metal posts placed no farther than ten feet apart installed flush with the initial undisturbed grade. Fencing shall be installed and stay erected during the duration of construction. The applicant shall affix a laminated sign (minimum 8.5 inches by 11 inches) to the protection fencing indicating that the area behind the fence is a tree protection area and that the fence shall not be removed or relocated.**
- **Encroachments into the critical root zone shall be limited to a maximum of 25 percent of the area between the minimum root protection zone (0.5 feet per 1-inch DBH) and the critical root zone (1-foot per 1-inch DBH) provided the work occurs under supervision of the project arborist or another qualified arborist; however, no construction activity shall occur within the minimum root protection zone, including, but not limited to dumping or storage of materials such as building supplies, soil, waste items, equipment, or parked vehicles.**
- **Once the fence has been installed, the applicant shall call for an inspection and City staff approval of tree protection measures prior to any tree removal, grading, or other construction activity on the site.**
- **The applicant shall retain the project arborist onsite for any construction activity within the 30-foot tree preservation buffer or the critical root zones of the retained trees.**
- **The applicant shall submit a post-construction report prepared by the project arborist or other TRAQ qualified arborist to ensure none of the retention trees were damaged during construction. If any of the trees in the tree preservation buffer were compromised and need to be removed in the future, the applicant shall apply for a tree removal variance and shall replant mitigation trees at a higher mitigation ratio based on the size of the tree removed.**
- **The applicant shall record a tree protection covenant that identifies the species and location of all trees in the tree preservation buffer. The covenant shall state that no tree shall be removed without first obtaining approval from the City of Sandy pursuant to Sandy Development Code Chapter 17.102.30 and/or 17.90, or any Successor chapters or ordinances thereto, and a determination by a qualified professional that the tree is diseased, dead, dying, or otherwise hazardous to persons or property in a way that can only be remediated by complete removal of the tree.**

63. The properties directly west and east of the subject site and the right-of-way north and south of the subject site contain existing trees, some of which are located close to the shared property line and have canopies that extend onto the subject property. **The applicant shall install tree protection fencing at the standard critical root zone of 1 foot per 1 inch DBH or as otherwise determined sufficient by the project arborist**

and City staff to protect all trees on the adjacent properties. The applicant shall retain an arborist on site to monitor any construction activity within the root protection zones of the trees on adjacent properties that have root protection zones that would be impacted by the proposed construction.

64. The applicant shall follow all other conditions outlined in the revised arborist report (Exhibit F).

15.30 – Dark Sky Ordinance

65. Chapter 15.30 contains the City of Sandy’s Dark Sky Ordinance. All exterior lighting shall conform to the requirements of Chapter 15.30.

66. Per the submitted narrative (Exhibit B), all proposed exterior lights conform to the requirements of the Dark Sky ordinance. The revised Photometric Plan (Exhibit J) details two Atlas SlimPak Pro lights. The applicant submitted three different lighting cut sheets (Exhibit I) for the two proposed Atlas SlimPak Pro lights. The revised Photometric Plan and one of the submitted sheets specifies the 3,000 Kelvin option but the other two cut-sheets were left blank and it appears that the lights may be 4,500 Kelvins. All proposed exterior lighting shall be full-cutoff and not exceed 4,125 Kelvins. The applicant shall confirm the selected color temperature of the proposed lights. After the application was deemed complete, the applicant submitted a revised Photometric Plan (Exhibit J) that includes foot-candles for the proposed exterior lights around the proposed building with readings extending 10 feet beyond the property lines. The revised Photometric Plan details that light trespass resulting from the proposed exterior lighting on the proposed building will not exceed .25 foot-candles 10 feet beyond the property lines.

RECOMMENDATIONS (DRAFT DECISION)

Staff recommends the Planning Commission **approve** the request by Gallant Construction to construct a building and modify the site **as modified by the conditions listed below**. Staff recommends the Planning Commission **approve** the following Type III Special Variances and design deviations **as modified by the conditions listed in the Conditions of Approval**:

- Design Deviation to eliminate the requirement to provide efficient sidewalk and/or walkway connections between neighboring developments per Section 17.90.130(A.6.).
- Design Deviation to eliminate the requirement that facades shall be varied and articulated to provide visual interest to pedestrians per Section 17.90.130(C.1), *provided the Planning Commission require the applicant to plant a mix of mitigation trees and shrubs at a sufficient quantity to provide a partial buffer within two years of the date they are planted, and that the building be painted a color from the approved color palette that blends harmoniously with the surrounding vegetation.*
- Special Variance to Section 17.90.130(C.5) to not provide a change in relief on 10 percent of the façades facing public streets, *provided the Planning Commission require the applicant to plant a mix of mitigation trees and shrubs at a sufficient quantity to provide a partial buffer within two years of the date they are planted, and that the*

building be painted a color from the approved color palette that blends harmoniously with the surrounding vegetation.

- Design Deviation to eliminate the requirement to incorporate features such as arcades, awnings, roofs, porches, alcoves, and porticoes to protect pedestrians from the rain and sun per Section 17.90.130(C.8).
- Special Variance to Section 17.90.130(D.1) to provide a 1:12 roof pitch rather than the required 3:12 roof pitch. Should the Planning Commission approve the requested variance, staff recommends the Planning Commission require that the applicant choose a color for the metal roof from the approved City of Sandy color palette that blends harmoniously with the surrounding vegetation. Due to the proposed flat roof and the fact that one of the five guiding principles of Sandy Style is to encourage green building practices, staff would also be supportive of the applicant installing a vegetative green roof.
- Design Deviation to eliminate the requirement of an entrance connecting directly between the right-of-way and the building interior per Section 17.90.130(E.3).

DRAFT CONDITIONS OF APPROVAL (IF PROSPOSAL IS APPROVED)

A. Prior to applying for a grading and erosion control permit or building/plumbing/mechanical permits related to items in this final order the applicant shall submit additional information as identified below:

1. Update the plan set to detail the following:
 - a. Pedestrian shelters over pedestrian doors at least 4 feet in depth.
 - b. A sidewalk and planter strip conforming to the requirements of section 17.84.30 along the Industrial Way frontage of the site. The sidewalk alignment and or planter strip width may be varied to preserve existing healthy trees in or adjacent to the right-of-way.
 - c. Detail a minimum planter width of 5 feet if wheel stops are proposed, or 7.5 feet if wheel stops are not proposed.
 - d. Detail a maximum of 13 parking spaces. Alternatively, the applicant may apply for a Type II Adjustment through a separate land use application to allow 14 parking spaces.
2. Update the Landscape Plan to include the following:
 - a. Detail alternate tree species that are not maples. Staff recommends replacing the vine maples with serviceberry or red flowering currant, and the Bowhall maples with cascaras or another approved tree from the City's street tree list that is not an ash or a maple.
 - b. Detail one structural tree in each planter at the ends of the parking bay.
 - c. Submit a proposed revegetation plan with a mix of mitigation shrubs and trees for the vegetation buffer along Industrial Way for staff review and approval.
 - d. Detail a mix of low-lying ground cover and shrubs, and vertical shrubs and trees in the buffer planter.

3. Confirm the color temperature (i.e. Kelvins) of the proposed lights.
4. Submit details on the proposed irrigation system prior to construction.
5. Submit calculations demonstrating that the 15 percent minimum landscaping requirement is met.

B. Prior to tree removal, earthwork, grading, or excavation the applicant shall complete the following and receive necessary approvals as described:

1. Apply for and receive approval for a grading and erosion control permit in conformance with City standards detailed in Section 15.44 of the Municipal Code.
2. Submit proof of receipt of a Department of Environmental Quality 1200C permit or identify that this permit is not applicable.
3. Request an inspection and receive approval of erosion control measures.
4. Adhere to the following conditions related to tree protection:
 - a. Install tree protection fencing at the critical root zone of 1 foot per 1 inch DBH around all retention trees, or as otherwise determined to be sufficient to allow construction of the building and to protect all retention trees by the project arborist and City staff during a site visit; however, in no case shall the fencing encroach into the 30-foot tree preservation buffer.
 - b. Install tree protection fencing at the standard critical root zone of 1 foot per 1 inch DBH or as otherwise determined sufficient by the project arborist and City staff to protect all trees on the adjacent properties.
 - c. The tree protection fencing shall be 6 feet tall chain link or no-jump horse fencing supported with 8 foot metal posts placed no farther than ten feet apart installed flush with the initial undisturbed grade. Fencing shall be installed and stay erected during the duration of construction. The applicant shall affix a laminated sign (minimum 8.5 inches by 11 inches) to the protection fencing indicating that the area behind the fence is a tree protection area and that the fence shall not be removed or relocated.
 - d. Encroachments into the critical root zone shall be limited to a maximum of 25 percent of the area between the minimum root protection zone (0.5 feet per 1-inch DBH) and the critical root zone (1-foot per 1-inch DBH) provided the work occurs under supervision of the project arborist or another qualified arborist; however, no construction activity shall occur within the minimum root protection zone, including, but not limited to dumping or storage of materials such as building supplies, soil, waste items, equipment, or parked vehicles.
 - e. The applicant shall retain the project arborist onsite for any construction activity within the 30-foot tree preservation buffer or the critical root zones of the retained trees.

5. Request inspection and receive City approval of tree protection fencing prior to any tree removal, grading, or other construction activity on the site.

C. The applicant shall apply for and receive approval for all necessary building, plumbing, mechanical, and electrical permits prior to any construction. Contact the Building Division for submission requirements. Electrical permitting shall be coordinated with Clackamas County and/or PGE as applicable.

1. Provide construction documents detailing compliance with fire apparatus access and fire protection water supply requirements to the Sandy Fire District for review and approval upon building permit submittal

D. Prior to occupancy (temporary or final) of the building the applicant shall complete the following or provide assurance for their completion:

1. All required and approved improvements shall be installed or financially guaranteed prior to final occupancy of the structures.
2. Plant mitigation shrubs and trees in the buffer along Industrial Way per the approved revegetation plan.
3. Submit a final storm water report with the final construction plans.
4. Submit a post-construction report prepared by the project arborist or other TRAQ qualified arborist to ensure none of the retention trees were damaged during construction. If any of the trees in the tree preservation buffer were compromised and need to be removed in the future, the applicant shall apply for a tree removal variance and shall replant mitigation trees at a higher mitigation ratio based on the size of the tree removed.
5. Record a tree protection covenant that identifies the species and location of all trees in the tree preservation buffer. The covenant shall state that no tree shall be removed without first obtaining approval from the City of Sandy pursuant to Sandy Development Code Chapter 17.102.30 and/or 17.90, or any Successor chapters or ordinances thereto, and a determination by a qualified professional that the tree is diseased, dead, dying, or otherwise hazardous to persons or property in a way that can only be remediated by complete removal of the tree.
6. Remove all shipping containers from the site.
7. If any portion of the sanitary sewer lateral is located within or below the infiltration trench a full length (18 ft.) of 3034 PVC pipe shall be centered in the crossing of the narrowest part of the trench so that no pipe joints are located within the infiltration trench.

E. General Conditions

1. Design review approval shall be void after two (2) years from the date of the Final Order, unless the applicant has submitted plans for building permit approval. Approval of a variance shall be effective for a two (2) year period from the date of approval, unless substantial construction has taken place.
2. Confer with Sandy Fire District to ensure compliance with the requirements of the Sandy Fire District Fire Marshall as contained in Exhibit L. The applicant shall comply with all applicable Oregon Fire Code requirements.
3. Place all existing and proposed onsite overhead electrical and communications wires (including extensions from the utility poles in the right-of-way) underground in conformance with Section 15.20. All franchise utilities shall be installed underground and in conformance with City standards.
4. Mail delivery facilities shall be provided by the applicant in conformance with 17.84.100 and the standards of the USPS. The applicant shall submit a mail delivery plan to the City and USPS for review and approval prior to installation of the mail delivery facility.
5. If roof or wall-mounted equipment is proposed it shall be screened from public view. Any proposed screening shall be submitted to the City for review and approval.
6. All landscaping shall be continually maintained, including necessary watering, weeding, pruning, and replacing. All mitigation trees and shrubs shall be maintained in good condition. Per Sections 17.92.10 (L) and 17.92.60 (B), maintenance shall include necessary watering, weeding, and pruning at intervals sufficient to assure survival and growth. The applicant shall replace any dead or dying mitigation trees and shrubs
7. Revegetate all areas where natural vegetation has been removed or damaged in areas that are not proposed to be occupied by structures or other improvements.
8. Removed trees shall be felled away from the trees to be retained so they do not contact or otherwise damage the trunks, branches, or roots within the critical root zones of the trees to be retained.
9. Follow all other conditions outlined in the revised arborist report (Exhibit F).
10. The applicant shall not park or maneuver any motorized vehicles on the gravel area as that would be a violation of Section 17.98.130.
11. The applicant shall locate any proposed garbage/recycling areas in a structure or behind the building in an enclosure.
12. The fence shall remain on the subject property and shall not be placed in the right-of-way. It is advisable the applicant determine surveyed lot line locations prior to installing the fence.

13. Signage associated with the ADA parking spaces shall meet the head clearance distance requirement in the Building Code.
14. All exterior lighting shall conform to the requirements of Chapter 15.30. All proposed exterior lighting shall be full-cutoff and not exceed 4,125 Kelvins.
15. Parking spaces shall be striped and repainted as the lines fade.
16. All stormwater runoff shall be treated, detained and discharged in conformance with Section 13.18 and 13.20 of the Sandy Municipal Code (SMC) and the latest edition of the City of Portland Stormwater Management Manual (including section 1.10 of the Source Control Manual). If an infiltration trench remains the preferred stormwater management solution the proposed overflow shall discharge to an existing, defined stormwater conveyance facility.
17. All proposed structures shall connect to municipal water and sewer services if such utilities are necessary.
18. Successors-in-interest of the applicant shall comply with site development requirements prior to the issuance of building permits.
19. Comply with all other conditions or regulations imposed by the Sandy Fire District, or state and federal agencies. Compliance is made a part of this approval and any violations of these conditions and/or regulations may result in the review of this approval and/or revocation of approval.
20. Land use approval does not connote approval of public improvement plans submitted with the land use application. Plan details will be reviewed during the construction plan submittal phase.

Jerry Crosby
Planning Commission Chair

Date

Exhibit A



LAND USE APPLICATION FORM

(Please print or type the information below)

Planning Department
39250 Pioneer Blvd.
Sandy OR 97055
503-668-4886

Name of Project Trillium Machine

Location or Address 36535 Industrial Way

Map & Tax Lot Number T 2, R 4, Section 14; Tax Lot(s) 01123

Plan Designation I-2 Zoning Designation Industrial Acres 1

Request:

We are requesting a Deviation to eliminate the requirement of an entrance connecting directly between the right-of-way and the building interior per subsection 17.90.130(E)(3). We are proposing to add a new building located on the north end or back half of the property. The required connection from right-of-way to the buildings interior would conflict with the driveway and parking area requirements.

I am the (check one) owner lessee of the property listed above and the statements and information contained herein are in all respects true, complete and correct to the best of my knowledge and belief.

Applicant Gallant Construction	Owner Trillium Machine
Address P.O. Box 181	Address 36535 Industrial Way
City/State/Zip Banks, OR 97106	City/State/Zip Sandy, OR 97055
Phone 503-773-5077	Phone 503-668-8241
Email josh@gogallant.com	Email neil@trillium-machine.com
Signature <i>Joshua Skroyer by LR</i>	Signature <i>Corneilus A Smith</i>

If signed by Agent, owner's written authorization must be attached.

File No. <u>19-017</u>	Date <u>6/14/19</u>	Rec. No.	Fee \$ <u>3,860.00</u>
Type of Review (circle one): Type I Type II <u>Type III</u> Type IV			

** design review fee missing*



Exhibit B

Narrative Response

To

Pre-Application Conference Notes

For

Trillium Machine Inc.

RECEIVED
DEC 10 2019
CITY OF SANDY

Gallant Construction, Inc. P.O. Box 181 Banks, Oregon 97106 P 503-773-5077/F 503-773-5088
CCB# 202513 WA # GALLACC865NE

PRE-APPLICATION CONFERENCE NOTES

Project Name: Trillium Machine

Pre-Application Conference Date: March 6, 2019

Applicant Name: Gallant Construction (Josh), and Trillium Machine (Neil)

Site Address: 36535 Industrial Way

Staff: Emily Meharg, Mike Walker, Thomas Fisher, Kelly O'Neill Jr., Terre Gift, David Snider

PLANNING DEPARTMENT REVIEW

Sandy Development Code: Chapters 17.12 Procedures for Decision Making; 17.18 Processing Applications; 17.30 Zoning Districts; 17.50 I-2, Light Industrial; 17.84 Improvements Required with Development; 17.90 Design Standards; 17.92 Landscaping and Screening; 17.98 Parking, Loading and Access Requirements; 17.102 Urban Forestry; and Chapter 15.30 Dark Sky.

***Caveat:** This analysis includes a review of those code sections staff believes are relevant to the proposal based on preliminary information. This review is not intended to be a comprehensive analysis nor shall this review nullify code requirements that are determined necessary during land use review.*

Use:

- “Manufacturing, assembly, processing, and production that do not produce significant levels of noise or odor beyond the boundaries of the site” primary use is permitted outright in the Light Industrial (I-2) zoning district.

Parking:

- #29, 34 • “Manufacturing Establishment” requires the following with regards to parking: 1 per employee on the largest shift, plus 1 per 2 employees. The 15 parking spaces proposed is adequate based on the information provided (Trillium Employees: 10). Additionally, the 5 compact spaces are permissible (35% max allowed).
- #29 • Bike Parking. The proposed bike rack with two spaces available meets code.
- #13 • Parking is not permitted within the building setback distance (30 ft. in the I-2 zone district). Demonstrate compliance or apply for a Type III Special Variance to have parking within the required 30 foot building setback (17.50.30(B)).
- #42 • Demonstrate compliance with screening requirements of Subsection 17.98.120 (10 percent landscaping, tree/shrubs, etc.)
- #30 • Parking area shall be paved with concrete, asphalt or comparable surfacing, constructed to City standards for off-street vehicle areas.
- #45 • What is the purpose of the proposed gravel surface between the two buildings? Non-motorized trailer/equipment can be stored on gravel (Subsection 17.98.130).
- #30-36 • Design criteria of Subsection 17.98.60 and On-site Circulation of 17.98.70 shall be met.
- #33, 35 • Groups of more than three (3) parking spaces shall be permanently striped. ADA parking is required with an access aisle on the passenger side of the vehicle.
- #1 • It appears the southernmost space(s) in the proposed parking area along the eastern boundary of the site are too close to the existing landscaping between the driveway approaches.
- #2 • The northernmost parking space is very close to the proposed building and may not provide enough room for backing movements.
- #3 • If larger trucks are required for deliveries or shipping it may be advisable to apply truck turn templates to the design to make sure there is enough maneuvering room.

Landscape and Screening:

- #12
 - 15 percent of the site shall be landscaped (Subsection 17.50.30). The submitted plans indicate the 15 percent will be met.
 - All buildings (regardless of use) that are visible from a highway (HWY 26) shall be screened from view by a vegetative buffer as specified below (17.50.30(C)):
- #14
 - 1. *Minimum depth of the buffer shall be 20 feet measured from the property line and run the entire length of the property.*
- #15
 - 2. *Existing trees shall be preserved to the greatest extent possible.*
- #16
 - 3. *Evergreen trees at least 8 feet in height and capable of growing to at least 30 feet in height shall be planted at a density that will create a visual screen within five years.*
- #17
 - 4. *If the property does not abut a highway or arterial street (Industrial Way), the screening requirement can be met by an offsite screen that has the effect of screening the property from view from arterial streets and highways.*
**The north portion of this site has a tree preservation easement. To retain the existing trees and to keep the tree ecosystems healthy the applicant will need to complete an arborist evaluation to determine the required distance needed to be maintained from the existing trees. Identifying the critical root zones (CRZs) and the minimum distance for excavation and construction is critical.*
- #46
 - Submit an arborist report and tree plan for trees 8-inches DBH and greater. Identify on the plans which trees are to be removed as well as retained. All significant trees (8-inches DBH and greater) should be preserved to the extent practicable and healthy trees in the preservation easement shall be maintained.
- #4
 - If trees are proposed for removal in the tree preservation easement, then the applicant will need to pay a third-party arborist review fee to have the trees also evaluated by the City Arborist.
- #27, 28
 - Per Section 17.92.80 buffer plantings are required where four or more parking spaces are proposed. The buffer area must be from adjacent properties. Per Section 17.92.10 (D) any areas with plantings shall have a minimum diameter of 5 feet.
 - Landscape and Screening requirements of 17.98.120 need to be met:
- #41
 - 1. Screening along a public right-of-way shall include a minimum 5-ft. depth of buffer plantings adjacent to the right-of-way (17.98.120(A)).
- #42
 - 2. Parking facilities shall include landscaping to cover not less than 10 percent of the area devoted to parking facilities. The landscaping shall be uniformly distributed throughout the parking area and may consist of trees, shrubs, and ground covers ((17.98.120(C)). Demonstrate compliance.
- #43
 - 3. Between, and at the end of each parking bay, there shall be planters that have a minimum width of 5 feet and a minimum length of 17 feet for a single depth bay and 34 feet for a double bay (17.98.120(D)). Each planter shall contain one major structural tree and ground cover.
- #44
 - 4. Wheel stops, bumper guards, or other methods to protect landscaped areas shall be provided (17.98.120(F)). Demonstrate compliance.

Design review (17.90.130):

- #22
 - Needs to have a varied façade per 17.90.130(C) or a deviation is required.
- #23
 - Building needs a change in relief on 10 percent of the façade facing public streets per Subsection 17.90.130(C)(5). Type III Special Variance per Section 17.66.80 required to vary this standard.
- #25
 - Type III Special Variance required to have a 1:12 roof pitch. Subsection 17.90.130(D)(1) requires a roof pitch of 3:12 for structures in the I-2 zone district.
- #26
 - Deviation to eliminate the Section 17.90.130(E)(3) requirement of an entrance connecting directly between the right-of-way and the building interior.
- #24
 - Building must incorporate features such as arcades, awnings, roofs, porches, alcoves, and porticoes to protect pedestrians from the rain and sun. Awnings and entrances may be designed to be shared between two structures. Deviation needed to eliminate this standard (17.90.130(C)(8)).

Miscellaneous:

- #7-11 • Where will the required lighting be installed? Lighting is needed for security and for pedestrians to see walking surfaces. Need to submit a Lighting Plan (Photometric Plan) compliant with Dark Sky Chapter 15.30. All lighting shall be full cut-off and not exceed 3,000 Kelvins to minimize negative impacts on wildlife and human health.
- #18, 19 • Per Subsection 17.74.40(B)(3) the height of a fence or retaining wall in a front yard shall not exceed 6 ft.

Utilities and Right-of-Way:

- #13, 21 • Ingress or egress shall be limited to one per 150 linear feet (Per 17.50.30(B)). Subsection 17.90.130 permits a lot to have only one access point therefore the site will need to be redesigned.
- #37-40 • Per Subsection 17.98.100(A) a driveway to an off-street parking area shall be improved from the public roadway to the parking area a minimum width of 20 feet for a two-way drive or 12 feet for a one-way drive, but in either case not less than the full width of the standard approach for the first 20 feet of the driveway. Driveway accesses shall meet the standards in Section 17.98.100.
- #13, 21 • Any changes to site access need to be defined and addressed in a traffic letter reviewed by John Replinger (City contracted Traffic Engineer). Any additional access point must be placed at a distance of 150 ft. from another access point and be properly reviewed.
- #13, 21 • It may be advisable to eliminate the western access drive to provide more maneuvering space for off-street vehicles and delivery or shipping trucks.
- #20 • Half-street improvements (sidewalks at 6 feet wide, street trees, drainage, etc.) are required on the Industrial Way frontage of the site (US 26 frontage is already improved).
- #6 • Storm water detention and water quality treatment is required for all new impervious surface on the site (standards based on City of Portland SWMM). Stormwater detention and treatment per Section 13.18-13.20 SMC is required for all new impervious surface or any surfacing material change.
- #5 • Will the employee count change for the facility with the addition of the proposed building?

Application Process: Type II or III Design Review based on valuation and request (amount most likely between \$3,205 and \$3,845); Type III Special Variance (\$1,070.00 per quantitative variance request), Type III Design Deviation (\$430 per qualitative deviation request). Third party review fee for Traffic Engineer (cost will be based on billable hours). Possible third-party review fee for City Arborist if trees in the preservation easement are proposed for removal.

Transportation System Development Charges:

ITE Category 151 (warehouse)

3.99 person trips/1000 sq. ft. Gross Floor Area x 10 = 39.9 adjusted average daily person trips

$39.9 \times \$230.70 / \text{trip} = \$9,205$

The warehouse trip generation rate is less than General Manufacturing, or Light Industrial so I used it since it most closely describes the proposed use. SDCs are eligible for installment payments per Section 15.28.110 of the Sandy Municipal Code.

Projected Processing Steps:

- Submittal Requirements: Land Use Application, narrative for applicable code sections, traffic impact statement (third party transportation review cost will be based on billable hours), site plan, landscape plan, utility plan, stormwater retention and treatment analysis, arborist report, photometric analysis, lighting fixture cut sheets and associated fees.
- Staff review for completeness (30 days max.), if determined incomplete then the applicant submits additional information as required, staff then reviews for completeness again, if the application is deemed complete then the application is processed.

Narrative:

A pre-application meeting was held on March 6, 2019. The intent of this document is to be read in conjunction with and as a response to the Pre-App Conference Notes. The items in the Notes will have a number corresponding to the where they are addressed in the following document.

For the items addressed in the Pre-App Conference Notes that are brought up as general concerns with design the following narrative section will address them.

General Concerns

- #1 1. It appears the southernmost space(s) in the proposed parking area along the eastern boundary of the site are too close to the existing landscaping between the driveway approaches.

Response: The landscaping, parking, and driveway have been adjusted to allow for adequate maneuvering room. See Site Layout and Paving Plan, and the Proposed Landscape Plan.

- #2 2. The northernmost parking space is very close to the proposed building and may not provide enough room for backing movements.

Response: The parking has been adjusted to allow for adequate maneuvering room. See Site Layout and Paving Plan.

- #3 3. If larger trucks are required for deliveries or shipping it may be advisable to apply truck turn templates to the design to make sure there is enough maneuvering room.

Response: Trucks required for deliveries and shipping are typical of a box truck, in between 10-26 feet. There is enough room in the parking area to allow for maneuvering. See Site Layout and Paving Plan.

- #4 4. If trees are proposed for removal in the tree preservation easement, then the applicant will need to pay a third-party arborist review fee to have the trees also evaluated by the City Arborist.

Response: None of the trees within the tree preservation easement will need to be removed. See Certified Arborist Report for a complete listing of the trees needing to be removed.

- #5 5. Will the employee count change for the facility with the addition of the proposed building?

Response: The employee count for the facility will remain the same at 10.

6. Within the "Notice Regarding Completion of Submission" it was noted that we would need to include a "Traffic Impact Statement."

Response: As noted above, the employee count for the facility will remain the same at 10. The addition of the new building is allowing for more floor space to facilitate current operations. In summation, the development will not increase the current daily traffic, therefore, we did not have a traffic study completed.

Code Specific Items

The following Chapters, as referenced in the pre-application notes, are addressed in this narrative:

- 13.18 Storm Water Management
- 15.30 Dark Sky
- 17.12 Procedures for Decision Making
- 17.18 Processing Applications
- 17.30 Zoning Districts
- 17.50 I-2, Light Industrial
- 17.84 Improvements Required with Development
- 17.90 Design Standards
- 17.92 Landscaping and Screening
- 17.98 Parking, Loading and Access Requirements
- 17.102 Urban Forestry

13.18 Storm Water Management

13.18.00 Intent

The intent of these regulations is to:

- A. Minimize storm water runoff
- B. Reduce storm water peak flows and volumes to pre-development conditions
- C. Increase groundwater recharge and evapotranspiration
- D. To minimize the discharge of pollutants to receiving water bodies

13.18.20 Applicability. It is the policy of the city that all developed land within the city limits shall have sufficient storm water management systems in place to provide adequate protection of life, property and natural resources. To this end, as a minimum, all land disturbing activity subject to this ordinance, shall provide sufficient management of post-development runoff from the 2-year, 5-year 10-year, and 25-year frequency storms such that the discharge rates of post-development storm water runoff do not exceed the predevelopment rates. In certain cases, depending on the capacity of downstream drainage facilities, (or in cases where the

storm drainage system receiving runoff from the site is only designed to accept street runoff only), a higher standard of retention and/or detention may be required by the City.

13.18.40 Acceptable storm water quality facilities. The following storm water quality treatment methods and facilities are acceptable to the City:

- #6 A. Detention and sedimentation: Detention of storm water runoff allows for the settling of fine particles and sediment, and the pollutants associated with these particles.

Response: The existing storm water quality treatment method uses a catch basin for detention and sedimentation. In conjunction with the previous system, a soakage trench will be added beneath the expanded driving surface. See Stormwater Retention and Treatment Analysis and Utility Plan for details.

15.30 Dark Sky Ordinance

15.30.000 Purpose.

The purpose of the Sandy Dark Sky Ordinance is to regulate outdoor lighting in order to reduce or prevent light pollution. This means to the extent reasonably possible the reduction or prevention of glare and light trespass, the conservation of energy, and promotion of safety and security. (Ord. 2002-11)

15.30.020 Scope & Applicability.

- #7 **New Lighting.** All exterior outdoor lighting installed after the effective date of this Chapter in any and all zones in the City shall conform with the requirements established by this Chapter and other applicable ordinances unless otherwise exempted. This ordinance does not apply to indoor lighting.

Response: All new outdoor lighting conforms to the requirements of this ordinance.

15.30.050 Submittals.

All applications for building permits or land use planning review which include installation of outdoor lighting fixtures shall include lighting plans conforming to the provisions of this Ordinance. The Planning Director and/or Building Official shall have the authority to request additional information in order to achieve the purposes of this Ordinance.

A. The submittal shall contain the following information and submitted as part of the site plan to the Planning and Building departments for approval.

- #8 1. Plans indicating the location, type, intensity, and height of luminaries including both building and ground-mounted fixtures;

Response: Plans meet this requirement. See Photometric Analysis and Outdoor Lighting Submittal for specs and suggested installation.

- #9 2. A description of the luminaries, including lamps, poles or other supports and shielding devices, which may be provided as catalogue illustrations from the manufacturer;

Response: See Outdoor Lighting Submittal for specs.

- #10 3. Photometric data, such as that furnished by the manufacturer, showing the angle of light emission and the foot-candles on the ground; and

Response: See Outdoor Lighting Submittal for specs.

- #11 4. Additional information as may be required by the city in order to determine compliance with this Ordinance. *Pre-App Conference Note* "All lighting shall be full cut-off and not exceed 3,000 Kelvins to minimize negative impacts on wildlife and human health."

Response: Outdoor lighting fixture meets these requirements. See Outdoor Lighting Submittal for specs.

17.50 Light Industrial (I-2)

17.50.00 INTENT

It is the intent of this district to provide locations in suitable areas for manufacturing and warehousing business, or other commercial uses that do not depend on high visibility. Commercial or retail uses must be compatible with an environment that includes heavy truck traffic and outdoor storage of industrial materials. Because building design standards are less restrictive in this zone than in other zones, buildings (regardless of use) shall be screened from view from arterial streets and highways.

17.50.30 DEVELOPMENT REQUIREMENTS

#12	Landscaping Requirement	15% minimum
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Response: According to the Proposed Landscape Plan, and as noted in the Pre-app Conference Notes, the 15% minimum landscaping requirement will be met.

- #13 B. Off-Street Parking. Parking shall not be located in a required standard 30' setback area. Where feasible, ingress and egress to parking shall be provided from side streets or alleys. When access must be provided directly from a public right-of-way, driveways for ingress or egress shall be limited to one per 150 ft. For lots with frontage of less than 150 ft. or less, a shared driveway may be required.

Response: Off-street parking meets the minimum setback standard of 30'. Ingress and egress to parking is limited to one point of access per 150'. See Site Layout and Paving Plan and Traffic Letter.

- #14 C. Screening. All buildings (regardless of use) that are visible from an arterial street or highway shall be screened from view by a vegetative buffer as specified below:
1. Minimum depth of the buffer shall be 20 feet measured from the property line and run the entire length of the property.

Response: This requirement is met. See Proposed Landscaping plan.

- #15 2. Existing trees shall be preserved to the greatest extent possible.

Response: Existing trees are preserved to the extent that the new site plan will allow. See Site Review portion of the Certified Arborist Report for recommended tree removal.

- #16 3. Evergreen trees at least 8 feet in height and capable of growing to at least 30 feet in height shall be planted at a density that will create a visual screen within five years.

Response: There are already existing evergreen trees within the screening area that meet the requirement. See Existing Conditions and Demolition Plan for Tree Table.

- #17 4. If the property does not abut a highway or arterial street, the screening requirement can be met by an offsite screen that has the effect of screening the property from view from arterial streets and highways. *Pre-App Conference Note* "The north portion of this site has a tree preservation easement. To retain the existing trees and to keep the tree ecosystems healthy the applicant will need to complete an arborist evaluation to determine the required distance needed to be maintained from the existing trees. Identifying the critical root zones (CRZs) and the minimum distance for excavation and construction is critical."

Response: None of the trees on the north side within the existing tree preservation easement will need to be removed. See Certified Arborist Report for recommended tree removal based on work to be done within CRZs.

17.74 - ACCESSORY DEVELOPMENT ADDITIONAL PROVISIONS AND PROCEDURES

17.74.00 INTENT

These provisions are intended to establish the relationship between principal and accessory development and specify criteria for regulating accessory developments. In addition to uses expressly included in each zoning district as primary or conditional uses each district shall provide for accessory developments identified in this chapter. When a proposed accessory use is not specified, the Director shall determine the appropriateness of the use and whether it is customarily associated with, and subordinate to, the principal development. The Director shall

base the decision on the similarity of the proposed accessory development to those developments specifically identified as accessory to the principal developments and the relationship between the proposed accessory development and principal development. The Director's determination shall be made in accordance with procedures set forth in Chapter 17.14 - Request for Interpretation.

17.74.40 FENCES AND WINDSCREENS

B. Fences - Commercial/Industrial

- #18 3. Fences in a front yard (Industrial). The height of a fence or retaining wall in a front yard shall not exceed 6 ft.

Response: The fence surrounding the property is a 6' chain link fence that meets this requirement. See Proposed Landscape Design.

- #19 4. Fences - Side and Rear Yards. The height of a fence or retaining wall adjacent to a side or rear yard or a side or rear property line shall not exceed 8 ft.

Response: The fence surrounding the property is a 6' chain link fence that meets this requirement. See Proposed Landscape Design.

17.84 Improvements Required with Development

17.84.00 INTENT

This chapter provides general information regarding improvements required with residential, commercial, and industrial development. It is intended to clarify timing, extent, and standards for improvements required in conjunction with development. In addition to the standards in this chapter, additional standards for specific situations are contained in other chapters.

17.84.30 PEDESTRIAN AND BICYCLIST REQUIREMENTS

- #20 D. To provide for orderly development of an effective pedestrian network, pedestrian facilities installed concurrent with development of a site shall be extended through the site to the edge of adjacent property(ies).

Response: We are requesting a Deviation to eliminate the requirement to provide efficient sidewalk and/or walkway connections between neighboring developments per 17.84.30 (D) (also addressed in 17.82.30 [D]). There currently exists no sidewalk that runs along on either the north or south sides of Industrial Way to connect neighboring developments. Therefore, we are asking to be relieved of this requirement. See request for deviation form.

17.90 Design Standards

17.90.00 INTENT

Chapter 17.90 is intended to implement the following design standards. In addition to these standards, several appendices are included to aid in the implementation of these standards. Applicable appendices are referenced in this chapter and kept on file by the Planning Director at City Hall. In implementing these standards, the reviewing body shall refer to the following objectives in evaluating Design Review requests:

A. Protect and enhance the city's quality of life and community image.

B. Encourage functional, safe, and aesthetically pleasing development, while maintaining compatibility with the surrounding built and natural environment.

C. Implement the Sandy Style, as described by this chapter. The Sandy Style is based on the following guiding principles:

1. Celebrate Sandy as the Gateway to Mount Hood through contextually appropriate landscaping and building designs.
2. Protect and enhance Sandy's tree canopy, particularly along the Highway 26 Landscape Management Corridor.
3. Emphasize a "village" scale and character in new development. Village scale means development is compact and walkable, building entrances are oriented to the street sidewalk or a plaza, and large building masses are broken down through a combination of design elements such as articulation, combinations of complementary building materials and detailing.
4. Express elements of or reflect Cascadian architecture by adapting appropriate elements of English Arts and Crafts Style (1900-1920) and Oregon Rustic Style (1915-1940), and/or similar elements, into new buildings and exterior remodels, except in locations where this code allows or requires a different architectural style (e.g., C-1 Historic Roadside Commercial District).
5. Encourage green building practices in new construction, such as the use of renewable energy (e.g., solar and wind), use of recycled materials, integration of water quality facilities in landscapes, capture of rainwater for irrigation, and similar practices.

D. The city considers the following elements to be incompatible with the Sandy Style. The reviewing body may deny, or require modifications to, a project with any of the following:

1. Excessive tree removal and/or grading that may harm existing vegetation within a designated landscape conservation area.
2. Commercial development where buildings are setback from the street behind surface parking lots.
3. Excessive surface parking lot paving and redundant driveways.
4. Drive-up facilities adjacent to a street that interrupt pedestrian circulation patterns or create potential safety hazards.

5. Disjointed parking areas, confusing or unsafe circulation patterns.
6. Box-like structures with large, blank, unarticulated wall surfaces.
7. Building materials or colors that do not conform to this code.
8. Highly reflective surfaces or heavily tinted glass storefronts.
9. Strongly thematic architectural styles, forms, colors, materials, and/or detailing, that do not conform to the Sandy Style, including some forms of franchise architectural styles associated with some chain commercial establishments.
10. Inadequate landscape buffers adjacent to parking lots, walkways and streets.
11. Visible outdoor storage, loading, and equipment areas.

17.90.130 LIGHT INDUSTRIAL (I-2) DESIGN STANDARDS

A. ACCESS

- #21 5. Each lot shall be permitted one access point, except lots with street frontage of one hundred fifty feet or more may be permitted one or more additional access point, if approved by the City Engineer.

Response: Western access is to be removed leaving one access point on the east side. See Site Layout and Paving Plan and Traffic Letter.

C. BUILDING FACADES, MATERIALS AND COLORS

- #22 1. Facades. Facades shall be varied and articulated to provide visual interest to pedestrians. Within larger projects, variations in facades, floor levels, architectural features, and exterior finishes shall create the appearance of several smaller buildings.

Response: We are requesting a Deviation to eliminate the requirement that facades be varied and articulated to provide visual interest to pedestrians per 17.90.130 (C)(1). Our proposed new building is a steel framed metal building located on the back half of the property and behind the existing building, which is also a metal building. We are located in an industrial area and have a 20ft vegetative screening buffer to block the view of the public's right-of-way. Therefore, we are requesting relief from this requirement. See request for deviation form.

- #23 5. Change in Relief. Buildings must include changes in relief on 10% of the facades facing public streets or residential development. Relief changes include cornices, bases, fenestration, fluted masonry or other treatments for pedestrian interest and scale.

Response: We are requesting a Special Variation to eliminate the requirement for change in relief on 10% of the façade facing public streets per 17.90.130 (C)(5). Proposed new building is a steel framed metal building located on the back half of the property, tuck behind the existing buildings façade with very little view from the public right-of-way. We are located in an inconspicuous industrial area with a 20ft vegetation buffer screen to block the existing building

from view of public right-of-way. It doesn't seem applicable. Therefore, we are requesting a relief from this requirement. See request for deviation form.

- #24 8. Alcoves, Porches, Arcades, etc. Building must incorporate features such as arcades, awnings, roofs, porches, alcoves, and porticoes to protect pedestrians from the rain and sun. Awnings and entrances may be designed to be shared between two structures.

Response: We are requesting a Deviation to eliminate the requirement to incorporate awnings and such features to protect pedestrians from the rain and sun per 17.90.130 (C)(8). We are proposing to add a new building located on the back half of a property that has a 20ft vegetation buffer screen, and we are tucked behind the existing building. This is an industrial area that is not open to the public. Therefore, we are requesting a relief from this requirement. See request for deviation form.

D. ROOF PITCH, MATERIALS, AND PARAPETS

- #25 1.

Zoning District	Pitch
I-2	3:12

Response: We are requesting Special Variance for roof pitch of 3:12 per 17.90.130 (D)(1). The existing building has a 1:12 roof pitch that we are proposing to match. The new proposed building is a steel framed metal building that will be located on the back half of the property set behind the existing building and a 20ft vegetation screening buffer. Neighboring developments also use a 1:12 roof pitch. Therefore, we are requesting a relief from this requirement. See request for deviation form.

E. BUILDING ORIENTATION AND ENTRANCE STANDARDS

- #26 3. Buildings must have an entrance connecting directly between the right-of-way and the building interior.

Response: We are requesting a Deviation to eliminate the requirement of an entrance connecting directly between the right-of-way and the building interior per 17.90.130 (E)(3). We are proposing to add a new building located on the north end of back half of the property. The required connection from right-of-way to the buildings interior would conflict with the driveway and parking area requirements. Therefore, we are requesting relief from this requirement. See request for deviation form.

17.92 Landscaping and Screening

17.92.00 INTENT

The City of Sandy recognizes the aesthetic and economic value of landscaping and encourages its use to establish a pleasant community character, unify developments, and buffer or screen unsightly features; to soften and buffer large scale structures and parking lots; and to aid in energy conservation by providing shade from the sun and shelter from the wind. The community desires and intends all properties to be landscaped and maintained.

This chapter prescribes standards for landscaping, buffering, and screening. While this chapter provides standards for frequently encountered development situations, detailed planting plans and irrigation system designs, when required, shall be reviewed by the City with this purposes clause as the guiding principle.

17.92.10 GENERAL PROVISIONS

- #27 D. Planter and boundary areas used for required plantings shall have a minimum diameter of 5-ft. (2-½ ft. radius, inside dimensions). Where the curb or the edge of these areas are used as a tire stop for parking, the planter or boundary plantings shall be a minimum width of 7-½ ft.

Response: Planters and boundary areas meet the requirements. See Proposed Landscape Design

- #28 17.92.80 BUFFER PLANTING - PARKING, LOADING AND MANUEVERING AREAS

Buffer plantings are used to reduce building scale, provide transition between contrasting architectural styles, and generally mitigate incompatible or undesirable views. They are used to soften rather than block viewing. Where required, a mix of plant materials shall be used to achieve the desired buffering effect.

Buffering is required in conjunction with issuance of construction permits for parking areas containing 4 or more spaces, loading areas, and vehicle maneuvering areas. Boundary plantings shall be used to buffer these uses from adjacent properties and the public right-of-way. On-site plantings shall be used between parking bays, as well as between parking bays and vehicle maneuvering areas. A balance of low-lying ground cover and shrubs, and vertical shrubs and trees shall be used to buffer the view of these facilities. Decorative walls and fences may be used in conjunction with plantings, but may not be used by themselves to comply with buffering requirements. Exception: truck parking lots are exempt from parking bay buffer planting requirements.

Response: Buffering is provided in the required areas. See Proposed Landscape Design

17.98 Parking, Loading, and Access Requirements

17.98.00 INTENT

The intent of these regulations are to provide adequate capacity and appropriate location and design of on-site parking and loading areas as well as adequate access to such areas. The parking requirements are intended to provide sufficient parking in close proximity for residents, guests, customers, and/or employees of various land uses. These regulations apply to both motorized vehicles (hereinafter referred to as vehicles) and bicycles.

17.98.20 OFF-STREET PARKING REQUIREMENTS

A. Off Street Parking Requirements. Off street parking shall conform to the following standards:

#29 9.

Industrial Uses	Number of Parking Spaces	Number of Bicycle Spaces
Storage, distribution, warehousing, or manufacturing establishment; air, rail, trucking freight terminal	1 per employee on the largest shift, plus 1 per 2 employees	5% or 2 whichever is greater

Response: The current use of the property is as a manufacturing establishment. There are a total of 10 employees and they are all working on the same shift (10 employees on largest shift + $[10 \text{ employees total} / 2] = 15$ total parking spaces required). (The number of bicycle spaces is as follows: $15 \text{ parking spaces} \times .05 = .75$ bicycle spaces, meaning "2" would be the greater number of bicycle spaces needed). The proposed parking plan meets these requirements. See Site Layout and Paving Plan.

17.98.60 DESIGN, SIZE AND ACCESS

All off-street parking facilities, vehicular maneuvering areas, driveways, loading facilities, accessways, and private streets shall conform to the standards set forth in this section.

#30 A. Parking Lot Design. All areas for required parking and maneuvering of vehicles shall have a durable hard surface such as concrete or asphalt.

Response: All parking and maneuvering surfaces will be on asphalt. The current surface will be modified and expanded to incorporate a larger parking area and a shift in the driveway. See Site Layout and Paving Plan.

B. Size of Space.

#31 1. A standard parking space shall be 9 feet by 18 feet.

Response: This requirement is met. See Site Layout and Paving Plan.

#32 2. A compact parking space shall be 8 feet by 16 feet.

Response: This requirement is met. See Site Layout and Paving Plan.

#33 3. Handicapped parking spaces shall be 13 feet by 18 feet. Accessible parking shall be provided for all uses in compliance with the requirements of the State of Oregon (ORS 447.233) and the Americans with Disabilities Act.

Response: This requirement is met. See Site Layout and Paving Plan.

#34 5. No more than 35 percent of the parking stalls shall be compact spaces

Response: There are a total of 15 parking spaces and 5 are compact (5 compact spaces/15 total spaces = $.333 \times 100\% = 33.3\%$) The proposed parking plan meets this requirement. See Site Layout and Paving Plan.

17.98.70 ON-SITE CIRCULATION

#35 A. Groups of more than three (3) parking spaces shall be permanently striped.

Response: This requirement is met. See Site Layout and Paving Plan.

#36 B. Backing and Maneuvering. Except for a single family dwelling or two family dwelling, groups of more than 3 parking spaces shall be provided with adequate aisles or turnaround areas so that all vehicles enter the right-of-way (except for alleys) in a forward manner. Parking spaces shall not have backing or maneuvering movements for any of the parking spaces occurring across public sidewalks or within any public street, except as approved by the City Engineer. Evaluations of requests for exceptions shall consider constraints due to lot patterns and impacts to the safety and capacity of the adjacent public street, bicycle and pedestrian facilities.

Response: This requirement is met. See Site Layout and Paving Plan.

17.98.100 DRIVEWAYS

#37 A. A driveway to an off-street parking area shall be improved from the public roadway to the parking area a minimum width of 20 feet for a two-way drive or 12 feet for a one-way drive but in either case not less than the full width of the standard approach for the first 20 feet of the driveway.

Response: Driveway meets the Requirements. See Site Layout and Paving Plan.

- #38 D. Driveways, aisles, turnaround areas and ramps shall have a minimum vertical clearance of twelve feet for their entire length and width but such clearance may be reduced in parking structures.

Response: The driveway, parking spaces, and turnaround areas are all uncovered which meets code requirements. See Site Layout and Paving Plan.

- #39 E. No driveway shall traverse a slope in excess of 15 percent at any point along the driveway length.

Response: The slope of the driveway does not exceed 15 percent at any point. See Grading and Erosion Control Plan.

- #40 F. The location and design of the driveway shall provide for unobstructed sight per the vision clearance requirements. Requests for exceptions to these requirements will be evaluated by the City Engineer considering the physical limitations of the lot and safety impacts to vehicular, bicycle, and pedestrian traffic.

Response: The driveway meets vision clearance requirements. See Proposed Landscape Design.

17.98.120 LANDSCAPING AND SCREENING

- #41 A. Screening of all parking areas containing 4 or more spaces and all parking areas in conjunction with an off-street loading facility shall be required in accordance with zoning district requirements and Chapter 17.98. Where not otherwise specified by district requirement, screening along a public right-of-way shall include a minimum 5-ft. depth of buffer plantings adjacent to the right-of-way.

Response: Parking areas meet the requirements. See Proposed Landscape Design.

- #42 C. Except for a residential development which has landscaped yards, parking facilities shall include landscaping to cover not less than 10% of the area devoted to parking facilities. The landscaping shall be uniformly distributed throughout the parking area and may consist of trees, shrubs, and ground covers.

Response: About 23% of the proposed parking area is landscaped. See Proposed Landscape Design.

- #43 D. Parking areas shall be divided into bays of not more than 20 spaces in parking areas with 20 or more spaces. Between, and at the end of each parking bay, there shall be planters that have a minimum width of 5 feet and a minimum length of 17 feet for a single depth bay and 34 feet for a double bay. Each planter shall contain one major structural tree and ground cover. Truck parking and loading areas are exempt from this requirement.

Response: Parking area is 15 spaces and planters meet the minimum requirements. See Proposed Landscape Design.

- #44 F. Wheel stops, bumper guards, or other methods to protect landscaped areas shall be provided. No vehicle may project over a property line or a public right-of-way. Parking may project over an internal sidewalk, but a minimum clearance of 5 feet for safe pedestrian circulation is required.

Response: The plan meets requirements. Curbs are used to protect landscaping. See Proposed Landscape Design.

17.98.130 PAVING

- #45 B. Gravel surfacing shall be permitted only for areas designated for non-motorized trailer or equipment storage, propane or electrically powered vehicles, or storage of tracked vehicles.

Response: The gravel surface shown in the Site Layout and Paving Plan is for equipment storage which meets this requirement.

17.102 Urban Forestry

17.102.00 INTENT

A. This chapter is intended to conserve and replenish the ecological, aesthetic and economic benefits of urban forests, by regulating tree removal on properties greater than one acre within the Sandy Urban Growth Boundary.

B. This chapter is intended to facilitate planned urban development as prescribed by the Sandy Comprehensive Plan, through the appropriate location of harvest areas, landing and yarding areas, roads and drainage facilities.

C. This chapter shall be construed in a manner consistent with Chapter 17.60 Flood and Slope Hazard Overlay District. In cases of conflict, Chapter 17.60 shall prevail.

17.102.30 PROCEDURES AND APPLICATION REQUIREMENTS

A person who desires to remove trees shall first apply for and receive one of the following tree cutting permits before tree removal occurs:

A. Type I Permit. The following applications shall be reviewed under a Type I procedure:

1. Tree removal on sites within the city limits under contiguous ownership where 50 or fewer trees are requested to be removed.

#46 **Response: The site meets this requirement. See Certified Arborist Report for tree removal recommendations.**

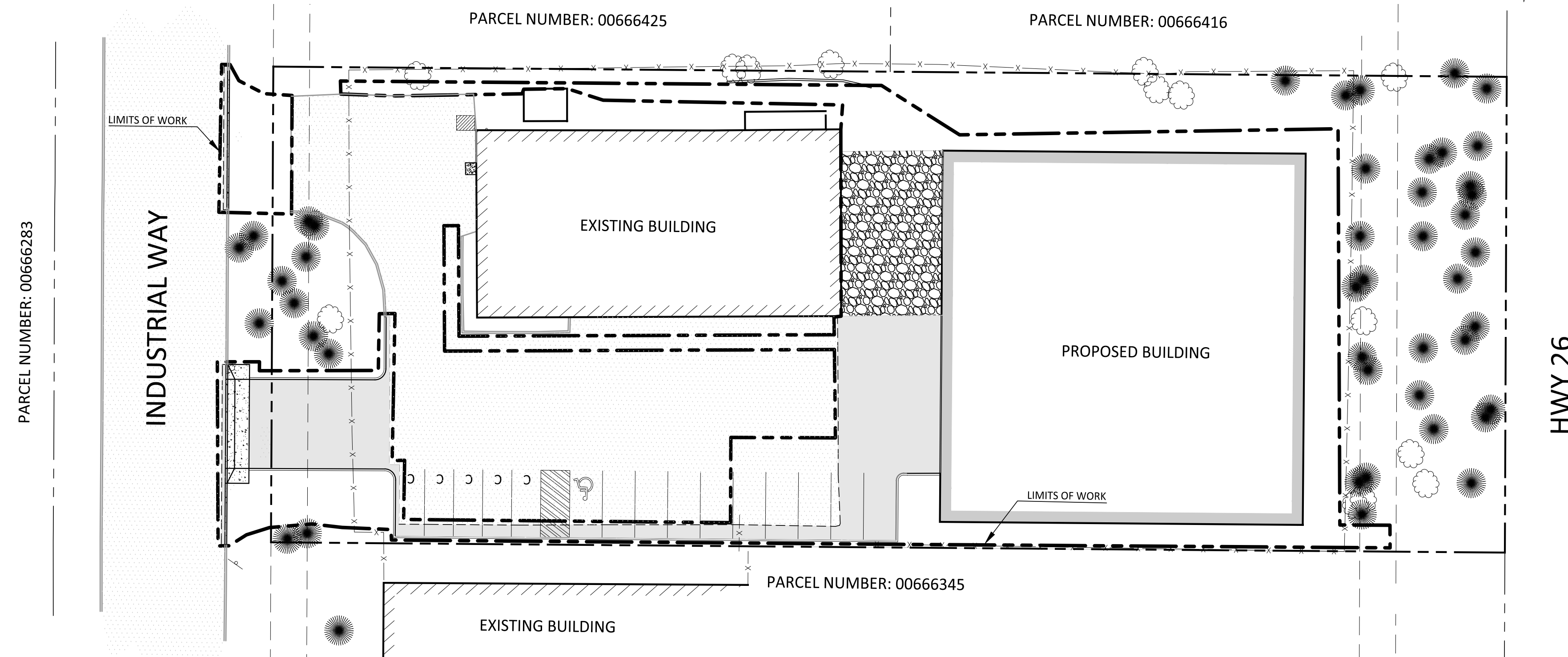
TRILLIUM MACHINE

SITE IMPROVEMENT PLANS
SANDY, OREGON

Exhibit C

SITE PLAN

SCALE: 1"=20'



LEGEND

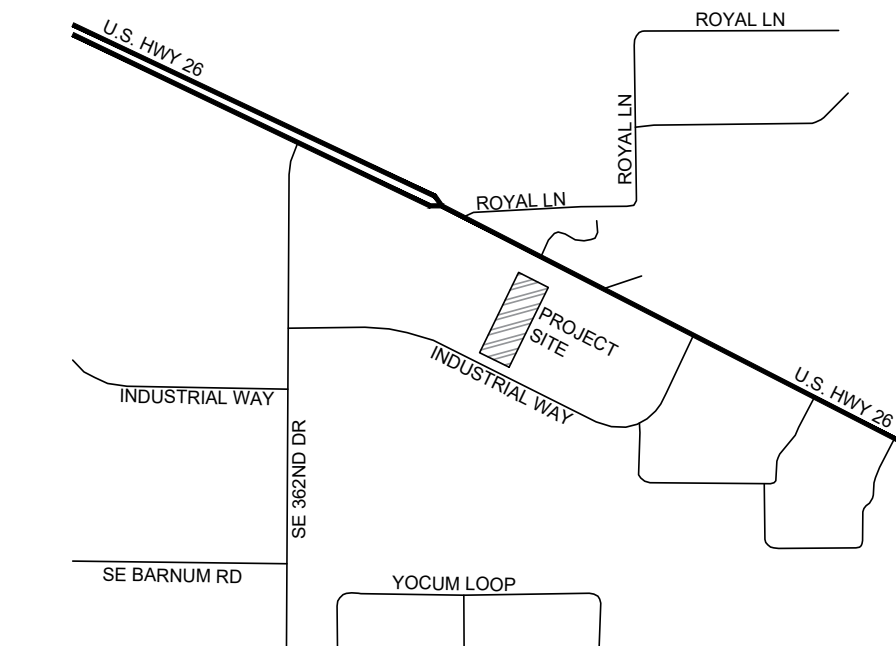
EXISTING	PROPOSED	DESCRIPTION
(S)	(S)	MANHOLE
□	□	CATCH BASIN
○	○	CLEAN OUT
⊙	⊙	FIRE HYDRANT
⊕	⊕	WATER METER
⊕	⊕	WATER VALVE
⊕	⊕	BLOW OFF
●	●	LIGHT
□	□	JUNCTION BOX
□	□	TRANSFORMER
□	□	SIGN
---	---	PROPERTY LINE/LOT LINE
---	---	CENTERLINE
---	---	EASEMENT LINE
---	---	CONTOUR
---	---	EDGE OF AC OR GRAVEL
---	---	CURB
---	---	STORM DRAIN
---	---	WATER
---	---	SANITARY SEWER
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD UTILITIES
---	---	GAS
---	---	UNDERGROUND POWER
---	---	CHAINLINK FENCE

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	GV	GATE VALVE
AD	AREA DRAIN	IE	INVERT ELEVATION
ASSY	ASSEMBLY	IRR	IRRIGATION
BCR	BEGIN CURB RETURN	LT	LEFT
BGS	BELOW GROUND SURFACE	L/S	LANDSCAPE
BO	BLOWOFF	MAX	MAXIMUM
BOW	BACK OF WALK	MH	MANHOLE
BV	BUTTERFLY VALVE	MIN	MINIMUM
CB	CATCH BASIN	MON	MONUMENT
CL	CENTERLINE	NTS	NOT TO SCALE
CJ	CONSTRUCTION JOINT	NO	NUMBER
CONC	CONCRETE	OH	OVERHEAD
CONST	CONSTRUCT	OHW	OVERHEAD WIRE
COTG	CLEAN OUT TO GRADE	PC	POINT OF CURVATURE
CP	CONTROL POINT	PCR	POINT OF CURB RETURN
DC	DOUBLE CHECK	PIV	POST INDICATOR VALVE
DDC	DOUBLE DETECTOR CHECK	PNT	POINT
DI	DUCTILE IRON	PRC	POINT OF REVERSE CURVATURE
D/W	DRIVEWAY	PT	POINT OF TANGENCY
DWG	DRAWING	PVMT	PAVEMENT
ECR	END CURB RETURN	RD	ROOF DRAIN
EJ	EXPANSION JOINT	RT	RIGHT
ELEV	ELEVATION	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	S=	SLOPE EQUALS
ER	END OF RETURN	SD	STORM DRAIN
EXIST	EXISTING	SHT	SHEET
FDC	FIRE DEPT. CONNECTION	SS	SANITARY SEWER
FDCL	FIRE DEPT. CONNECTION LINE	ST	STREET
FF	FINISHED FLOOR ELEV.	STD	STANDARD
FG	FINISHED GRADE	S/W	SIDEWALK
FH	FIRE HYDRANT	TC	TOP OF CURB
FL	FLOW LINE	TEL	TELEPHONE
FP	FIRE PROTECTION	TEMP	TEMPORARY
FWL	FIRE WATER LINE	TP	TOP OF PAVEMENT
G	GAS	TYP	TYPICAL
G=	GUTTER EQUALS	W	WATER
GB	GRADE BREAK	W/	WITH
GFF	GARAGE FINISH FLOOR	WV	WATER VALVE
		WSE	WATER SURFACE ELEVATION

VICINITY MAP

NTS PROJECT SITE



SHEET INDEX

01	COVER SHEET
02	GENERAL NOTES
03	EXISTING CONDITIONS AND DEMOLITION PLAN
04	SITE LAYOUT AND PAVING PLAN
05	GRADING AND EROSION CONTROL PLAN
06	UTILITY PLAN
07	EROSION CONTROL DETAILS

PROJECT LOCATION

PARCEL NUMBER: 00666434
ADDRESS: 36535 INDUSTRIAL WAY, SANDY, OR 97055
SIZE: 43,562 SQ. FT. (1.0 ACRE)

CONTACTS

BUILDER GALLANT CONSTRUCTION P.O. BOX 181 BANKS, OR 97106 PHONE: 503-773-5088 CONTACT: JOSHUA SHROYER	CIVIL ENGINEER STANDRIDGE, INC. 703 BROADWAY ST., SUITE 610 VANCOUVER, WA 98660 PHONE: 360-597-9240 CONTACT: LAURA STANDRIDGE, PE
GEOTECHNICAL ENGINEER RAPID SOIL SOLUTIONS, INC. 3915 SW PLUM PORTLAND, OR 97219 PHONE: 503-816-3689 CONTACT: MIA MAHEDY, PE GE	SURVEYOR CASWELL/HERTEL SURVEYORS INC. 6150 S.W. 124TH AVE. BEAVERTON, OR 97008 PHONE: 503-644-3179 CONTACT: BENJAMIN S. STACY, PLS

DATUM NOTE

VERTICAL DATUM = NAVD88 BASED ON MEASUREMENTS USING A TRIMBLE R58 ROVER AND THE ORGN PDX NETWORK.

PREPARED FOR:

GALLANT CONSTRUCTION
BANKS, OR 97106
503.773.5088

PREPARED BY:
STANDRIDGE
PLANNING ENGINEERING SURVEYING
M 703 Broadway St, Suite 610
Vancouver, WA 98660
O 360.597.9240 F 888.750.0981
WWW.STANDRIDGEINC.COM

REV. DATE DESCRIPTION

COVER SHEET

PROJECT NO.: GC1001
DESIGN BY: CDB
REVIEWED BY: LKS
DATE: 11/07/2019

SHEET

01

TRILLIUM MACHINE
CITY OF SANDY, OR

GENERAL NOTES

- ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND PRACTICES OF THE CITY OF SANDY, THE OREGON STRUCTURAL SPECIALTY CODE (BUILDING CODE), OREGON PLUMBING SPECIALTY CODE (PLUMBING CODE), AND THE OREGON FIRE CODE (FIRE CODE), LATEST EDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
- ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ALL EXCAVATORS MUST COMPLY WITH THE RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER, INCLUDING NOTIFICATION OF ALL OWNERS OF UNDERGROUND UTILITIES AT LEAST 48 BUSINESS DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING AN EXCAVATION. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090 AND ORS 757.541 TO 757.57. THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS 503-232-1987 AND THE LOCAL "CALL 48 HOURS BEFORE YOU DIG NUMBER" IS 503-246-6699.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS IS FOR INFORMATION ONLY AND IS NOT GUARANTEED TO BE ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF STANDRIDGE, INC. POT HOLE ALL CROSSINGS AS NECESSARY BEFORE CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
- TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE USED AS NEEDED. THE CONTRACTOR SHALL ADHERE TO THE CITY OF PORTLAND EROSION CONTROL STANDARDS AS NECESSARY FOR EROSION CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL ROADWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS.
- CONTRACTOR TO ADJUST ALL EXISTING OR NEW FLEXIBLE UTILITIES (WATER, GAS, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
- STANDRIDGE, INC. ASSUMES NO RESPONSIBILITY FOR ANY DISCREPANCIES ENCOUNTERED BETWEEN THE CURRENT FIELD CONDITIONS AND THE INFORMATION SHOWN ON THE SURVEY MAP. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.

GRADING NOTES

- ALL SURFACES SHALL HAVE MINIMUM 2.0% SLOPE AND SHALL MEET EXISTING GRADES SMOOTHLY AND EVENLY. MAINTAIN CONSTANT SLOPES UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR RESPONSIBLE FOR MAINTAINING EXISTING SITE AND DRAINAGE PATTERNS AND PROTECTION OF EXISTING ENGINEERED DRAINAGE FACILITIES.
- CONTRACTOR SHALL EXERCISE CARE IN ALL OPERATIONS TO PROTECT EXISTING UNDERGROUND UTILITIES. ANY DAMAGE RESULTING FROM THIS WORK MUST BE RESTORED AT THE CONTRACTOR'S EXPENSE TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL REPLACE AND RESTORE AREAS NOT SCHEDULED FOR CONSTRUCTION TO THEIR ORIGINAL CONDITION AND TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN AREAS ADJACENT TO EXISTING TREES IN ORDER TO MINIMIZE DISTURBANCES TO TREE ROOTS. CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING AS INDICATED ON PLANS OR AT DRIP-LINE OF EXISTING TREES. NO PARKING VEHICLES UNDER TREES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE PROJECT AREA. DISPOSE OF DEMOLISHED ITEMS OFF-SITE IN A LEGAL MANNER.
- ACTUAL LINES AND GRADES OF EXCAVATION SHALL BE STAKED BY QUALIFIED SURVEYOR, BASED ON DIMENSIONS AND BEARINGS AS SHOWN ON THE PLANS CONTRACTOR SHALL RETAIN A SURVEYOR LICENSED IN OREGON.
- ADJUST ALL INCIDENTAL STRUCTURES, MANHOLE LIDS, VALVE BOXES, ETC. TO FINISH GRADE.

PAVING NOTES

- STREET SIGNS AND STRIPING TO BE INSTALLED BY THE CONTRACTOR PER MUTCD.
- ALL PAVEMENT SHALL BE CUT STRAIGHT PRIOR TO PAVING. EXISTING PAVEMENT SHALL BE REMOVED AS NECESSARY TO PROVIDE A SMOOTH TRANSITION FOR BOTH RIDE AND DRAINAGE.
- PAVING WILL NOT BE ALLOWED DURING WET OR COLD WEATHER, PER PDOT SPECIFICATIONS.
- CONTRACTOR TO INSTALL ADA WHEELCHAIR RAMPS AND SIDEWALKS AS SHOWN ON PLANS AND ON THE DETAIL SHEETS.
- ALL CONSTRUCTION WITHIN THE CITY OF SANDY RIGHT-OF-WAY SHALL HAVE AN APPROVED TRAFFIC CONTROL PLAN.
- ALL CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERMITTED UNDER THE BUILDING PERMIT OF PUBLIC WORKS PERMIT AS SHOWN ON PLANS.

STORMWATER FACILITY NOTES

- IMPORTED GROWING MEDIUM SHALL MEET REQUIREMENTS LISTED IN APPENDIX F.3 OF THE 2008 PORTLAND STORMWATER MANAGEMENT MANUAL.
- CONTRACTOR SHALL NOT INSTALL IMPORTED GROWING MEDIUM UNTIL PLANTING IS READY TO BE INSTALLED.
- ONCE GROWING MEDIUM IS INSTALLED IT SHALL BE PROTECTED FROM EROSION AND PLANTING SHALL BE INSTALLED AS SOON AS POSSIBLE.
- ROCK MULCH SHALL BE INSTALLED AT BOTTOM OF FACILITY TO PROTECT SOIL FROM EROSION.
- ANY OUTFALL, PIPE OR CURB OPENING SHALL HAVE PROTECTION INSTALLED PRIOR TO RECEIVING RUNOFF.
- ANY PENETRATIONS THROUGH THE IMPERMEABLE LINER SHALL BE WATER TIGHT.

MATERIAL NOTES

- MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM CITY ENGINEER PRIOR TO INSTALLATION.
- ALL ON-SITE WATER, STORM AND SANITARY SEWER PIPE MATERIALS, FITTINGS SHALL CONFORM TO THE OREGON STATE PLUMBING SPECIALTY CODE, LATEST EDITION.
- ON-SITE WATER MAINS SHALL BE DUCTILE IRON PIPE, CLASS 52, CONFORMING TO AWWA C151 OR APPROVED SPEC SUBSTITUTIONS. WATER MAIN BETWEEN THE METER VAULT AND BACKFLOW VAULT SHALL BE COPPER TUBING CONFORMING TO ASTM B88, SILVER SOLDER, OR APPROVED SUBSTITUTIONS.
- ON-SITE STORM SEWER PIPE SHALL BE PVC PIPE CONFORMING TO ASTM D3034 SDR 35, OR HDPE PIPE (ADS 'N-12' OR APPROVED EQUAL) CONFORMING TO AASHTO M252 W/WATERTIGHT JOINTS, OR APPROVED SUBSTITUTIONS.
- ON-SITE STORM SEWER PIPE WITH LESS THAN 2' OF COVER SHALL BE HDPE PIPE.
- ON-SITE AREA DRAINS SHALL BE MANUFACTURED BY LYNCH CO., INC. OR APPROVED EQUAL.
- ON-SITE SANITARY SEWER PIPE SHALL BE PVC PIPE CONFORMING TO ASTM D3034, SDR 35, OR APPROVED SUBSTITUTIONS.

UTILITY NOTES

- ALL WATER AND SANITARY SEWER FACILITIES AND THE INSTALLATION THEREOF, SHALL FOLLOW THE CURRENT OREGON STATE PLUMBING SPECIALTY CODE AND THE CURRENT EDITION OF APWA DURING CONSTRUCTION.
- ALL TRENCH BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.
- CONNECTIONS TO EXISTING UTILITIES SHALL CONFORM WITH THE JURISDICTION'S ENGINEERING DESIGN MANUAL AND STANDARD DRAWINGS.
- ALL WATER AND FIRE PROTECTION PIPE SHALL HAVE MINIMUM 36-INCH COVER TO FINISHED GRADE.
- ALL WATER LINES SHALL BE THOROUGHLY FLUSHED, CHLORINATED AND TESTED IN ACCORDANCE WITH THE OREGON STATE HEALTH DEPARTMENT PRIOR TO ANY METER HOOK-UP SERVICE.
- BEGIN LAYING STORM AND SANITARY SEWER PIPE AT THE LOW POINT OF THE SYSTEM TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. ESTABLISH LINE AND GRADE FOR THE STORM AND SANITARY SEWER PIPE BY THE USE OF A LASER.
- CONTRACTOR SHALL PREVENT SEDIMENTS FROM ENTERING THE STORM DRAINAGE SYSTEM.
- CONTRACTOR TO MAINTAIN A MINIMUM 10' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN ALL EXISTING AND PROPOSED WATER AND SEWER LINES.
- FOR CROSSINGS OF WATER LINES AND SANITARY SEWER LINES, THE OREGON STATE HEALTH DEPARTMENT CRITERIA SHALL APPLY.
- DOMESTIC WATER SERVICE BACKFLOW ASSEMBLY SHALL BE INSTALLED PRIOR TO ANY BRANCHES IN THE DOMESTIC PLUMBING SYSTEM.
- BACKFLOW ASSEMBLY(S) TO BE INSTALLED AT THE POINT WHERE THE WATER SERVICE ENTERS THE PROPERTY. IF APPROVED TO BE INSTALLED INSIDE OF BUILDING, ASSEMBLY(S) MUST BE INSTALLED AT THE POINT WHERE SERVICE ENTERS, BETWEEN ONE AND FIVE FEET ABOVE THE FLOOR. ALTERNATE LOCATIONS MUST BE APPROVED BY WATER QUALITY INSPECTORS, BUREAU OF WATER WORKS (503-823-7479).
- IF THE REDUCE PRESSURE (RP) BACKFLOW ASSEMBLY IS REQUIRED IT MUST BE INSTALLED AT LEAST 12" ABOVE FINISHED GRADE. RP DEVICE IS REQUIRED IF PROJECT IS HARVESTING RAINWATER.
- CITY OF SANDY SANITATION PERMIT REQUIRED TO DECOMMISSION EXISTING RESIDENTIAL CESSPOOLS OR DRYWELLS DISCOVERED DURING CONSTRUCTION.
- EXISTING STORM OR SANITARY LATERALS TO BE UTILIZED FOR NEW SYSTEM MUST BE VIDEO INSPECTED WITH CITY INSPECTOR PRESENT PRIOR TO CONNECTION.
- ALL WATER WORK IN THE PUBLIC RIGHT OF WAY IS BY THE CITY OF SANDY WATER BUREAU. CONTRACTOR SHALL COORDINATE WITH WATER BUREAU AT 503-823-7743.
- ALL NEW DRYWELLS MUST BE ACCESSIBLE PER OREGON DEPARTMENT OF ENVIRONMENTAL SERVICES QUALITY REQUIREMENT.
- PG&E OR PACIFIC POWER SHALL OBTAIN PERMIT FROM CITY OF SANDY TO INSTALL CONDUIT IN PUBLIC RIGHT OF WAY.
- CONTRACTOR SHALL VACUUM OUT ALL TRAPPED INLETS, MANHOLES, AND DRYWELLS AT END OF PROJECT.

EROSION CONTROL NOTES

- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT SUPPORT POST, WITH A 6-INCH MINIMUM OVERLAP, AND BOTH END SECURELY FASTENED TO THE POST, OR OVERLAP 2"x2" POSTS AND ATTACHED AS SHOWN IN SEDIMENT FENCE DETAIL INCLUDED IN THESE PLANS.
- THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS WHERE FEASIBLE. THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6- FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24-INCHES.
- A TRENCH SHALL BE CUT ALONG SLOPE CONTOURS AND AROUND STOCKPILES FOR SILT FENCE INSTALLATION. THE FILTER FABRIC FENCE SHALL HAVE A MINIMUM VERTICAL BURIAL OF 6-INCHES. ALL EXCAVATED MATERIAL FROM THE FILTER FABRIC FENCE INSTALLATION SHALL BE FIRMLY REDEPOSITED ALONG THE ENTIRE TRENCHED AREA ON THE UPHILL SIDE OF AND AGAINST THE FENCE.
- STANDARD OR HEAVY DUTY FILTER FABRIC SHALL HAVE MANUFACTURED STITCHED LOOPS TO FIT 2"x2" INSTALLATION POST. STAPLED FENCE PRODUCTS ARE NOT ALLOWED. STITCHED LOOPS SHALL BE INSTALLED ON THE UPHILL SIDE OF THE SLOPED AREA, WITH POST SPACED A MAXIMUM OF 6 FEET APART.
- FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UP-SLOPE AREA HAS BEEN PERMANENTLY PROTECTED AND STABILIZED.
- SILT FENCES SHALL BE INSPECTED BY CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS, RELOCATIONS, OR ADDITIONS SHALL BE MADE IMMEDIATELY.
- AT NO TIME SHALL MORE THAN 1-FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE UP-SLOPE OF A SILT FENCE. SEDIMENT SHALL BE REMOVED OR RE-GRADED ONTO SLOPES AND THE SILT FENCE REPAIRED AND REESTABLISHED AS NEEDED.

SEDIMENT FENCE NOTES

- APPROVAL OF THIS EROSION, SEDIMENT AND POLLUTION CONTROL PLAN (ESPCP) DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
 - IT IS THE INTENT OF THESE PLANS AND SPECIFICATIONS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT LEAVE THE WORK SITE. THE CONTRACTOR SHALL USE ALL AVAILABLE MEANS TO ACHIEVE THIS RESULT.
 - THE IMPLEMENTATION OF THESE ESPCP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESPCP FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
 - THE BOUNDARY OF THE CLEARING LIMITS SHOWN ON THIS PLANS SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
 - THE ESPCP FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS OR VIOLATE APPLICABLE WATER STANDARDS.
 - THE ESPCP FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESPCP FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
 - THE ESPCP FACILITIES SHALL BE INSPECTED DAILY BY CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
 - THE ESPCP FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 24 HOURS FOLLOWING A STORM EVENT.
 - ALL STORM INLETS SHALL BE PROTECTED TO PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE. CLEANING OF CATCH BASINS SHALL OCCUR WHEN SEDIMENT CONSUMES ONE-THIRD OF THE DEVICE STORAGE AREA. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
 - ALL AREAS DISTURBED BY CONSTRUCTION OF THIS PROJECT, NOT RECEIVING A HARD, DURABLE SURFACE SHALL BE GRASSED AND/OR LANDSCAPED AT EARLIEST PRACTICABLE TIME.
 - IN GENERAL, CONSTRUCTION SHALL PROGRESS FROM DOWNSTREAM TO UPSTREAM. THE CONTRACTOR SHALL CONSTRUCT ESC FACILITIES IN CONJUNCTION WITH ALL CLEARING, GRADING AND OTHER LAND ALTERATION ACTIVITIES.
 - STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
 - TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN FUNCTIONAL AND IN PLACE UNTIL THEIR REMOVAL IS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL COMPLETELY RESTORE ALL AREAS DISTURBED BY REMOVAL OF TEMPORARY EROSION CONTROL MEASURES. REMOVED MATERIALS SHALL BECOME PROPERTY OF THE CONTRACTOR TO BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND JURISDICTIONS.
 - CONTRACTOR WILL PROVIDE TRUCKS THAT ARE WELL SEALED FOR TRANSPORTATION OF SATURATED SOILS/MATERIAL FROM THE SITE. A TRUCK MUST NOT LEAK LIQUIDS AT ANY RATE GREATER THAN 1 GAL./HR.
 - EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CITY OF PORTLAND 2008 EROSION AND SEDIMENT CONTROL MANUAL.
 - SUPPLEMENTARY WET WEATHER MEASURES SHALL BE IN PLACE AND FUNCTIONING BY OCTOBER 1 AND REMAIN OPERATIONAL UNTIL APRIL 30.
 - SUPPLEMENTARY WET WEATHER MEASURES ARE IN ADDITION TO BASE MEASURES.
 - WHEN CONCRETE TRUCKS ARE USED, A SHALLOW PIT SHALL BE DUG FOR RESIDUAL CONCRETE, AGGREGATE AND WATER. TRUCKS THAT RECYCLE THIS RESIDUAL BACK INTO THE TRUCK MAY BE USED IN LIEU OF THE PIT.
 - IF FERTILIZERS ARE USED TO ESTABLISH VEGETATION, THE APPLICATION RATES SHALL FOLLOW THE MANUFACTURER'S GUIDELINES AND THE APPLICATION SHALL BE DONE IN SUCH A WAY TO MINIMIZE NUTRIENT-LADEN RUNOFF TO RECEIVING WATERS.
 - STOCKPILES SHALL BE LOCATED AWAY FROM THE CONSTRUCTION ACTIVITY AND SHALL BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY.
 - SIGNIFICANT AMOUNTS OF SEDIMENT THAT LEAVE THE SITE SHALL BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE OR PROPERLY DISPOSED.
 - ALL EROSION AND SEDIMENT CONTROLS NOT IN THE DIRECT PATH OF WORK SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE.
- DUST CONTROL NOTES:**
- DUST SHALL BE MINIMIZED TO THE EXTENT PRACTICABLE, UTILIZING ALL MEASURES NECESSARY, INCLUDING, BUT NOT LIMITED TO:
 - SPRINKLER HAUL AND ACCESS ROADS AND OTHER EXPOSED DUST PRODUCING AREAS.
 - APPLYING AGENCY-APPROVED DUST PALLIATIVES ON ACCESS AND HAUL ROADS.
 - ESTABLISHING TEMPORARY VEGETATIVE COVER.
 - PLACING WOOD CHIPS OR OTHER EFFECTIVE MULCHES ON VEHICLE AND PEDESTRIAN USE AREAS.
 - MAINTAINING THE PROPER MOISTURE CONDITION ON ALL FILL SURFACES.
 - PREWETTING CUT AND BORROW AREA SURFACES.
 - USE OF HAUL EQUIPMENT.
 - CONTRACTOR SHALL FURNISH AND INSTALL EQUIPMENT TO HAUL AND PLACE WATER. AN ADEQUATE SUPPLY OF WATER SHALL BE MAINTAINED AT ALL TIMES.

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M 703 Broadway St, Suite 610
Vancouver, WA 98660
O 360.597.0240 F 888.750.0981
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GALLANT CONSTRUCTION
BANKS, OR 97106
503.773.5188

PREPARED BY:

REV. DATE DESCRIPTION

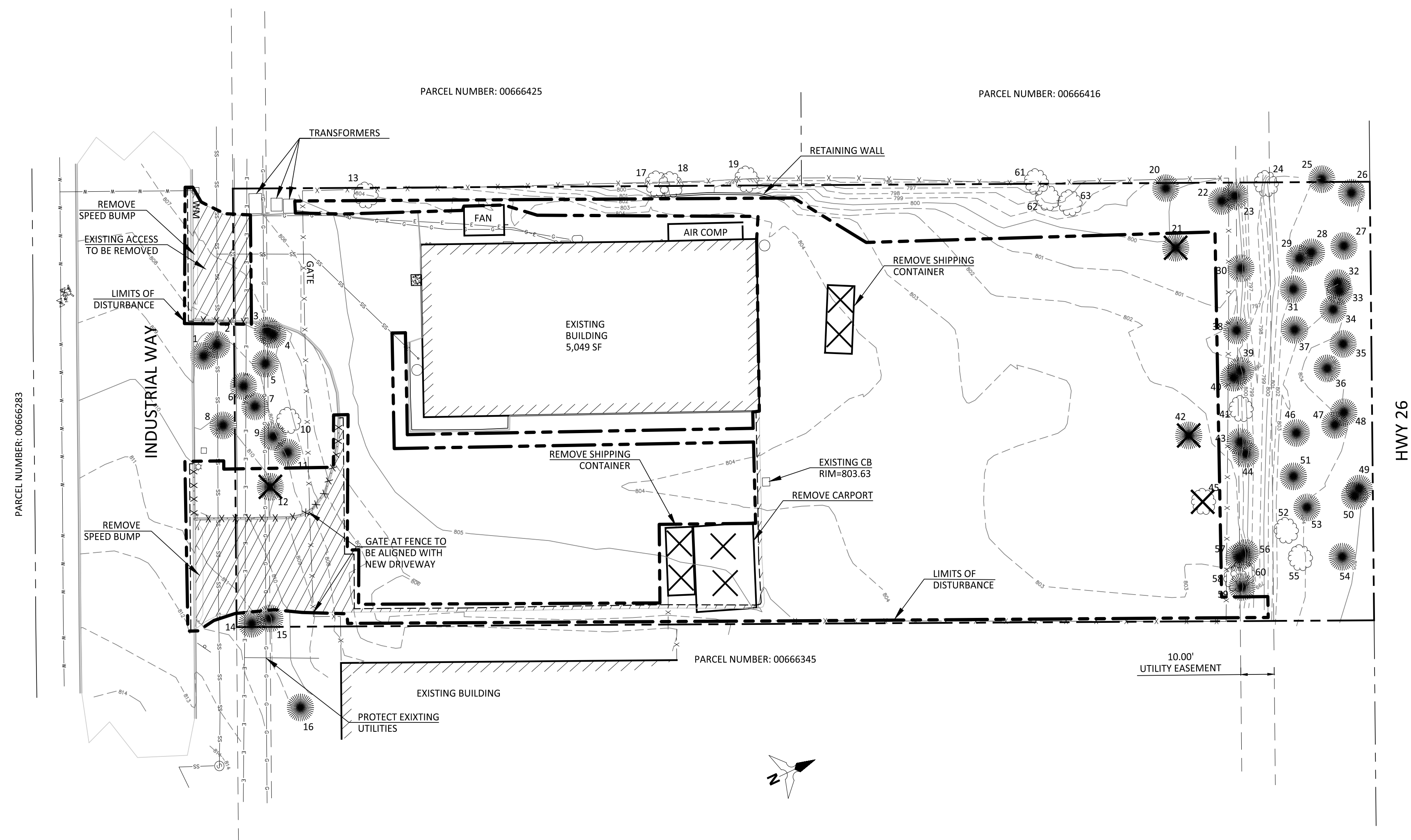
GENERAL NOTES

PROJECT NO.: GC1001
DESIGN BY: CDB
REVIEWED BY: LKS
DATE: 11/07/2019

SHEET

TRILLIUM MACHINE
CITY OF SANDY, OR

02



SHEET LEGEND

---240---	EXISTING 5' CONTOUR
---238---	EXISTING CONTOUR
---	PROPERTY LINE
Ⓧ	EXISTING STORM MANHOLE
□	EXISTING CATCH BASIN
Ⓢ	EXISTING SANITARY MANHOLE
---	LIMITS OF DISTURBANCE
ST	EXISTING STORM
SS	EXISTING SANITARY
W	EXISTING WATER
T	EXISTING TELEPHONE
OH	OVERHEAD UTILITIES
G	GAS
E	UNDERGROUND POWER
X	CHAINLINK FENCE
---	EXISTING EASEMENT LINE
Ⓧ	EXISTING FIRE HYDRANT
WV	EXISTING WATER VALVE
Ⓧ	EXISTING SIGNAGE

DEMOLITION LEGEND

ITEM	DESCRIPTION
▨	DEMOLISH A.C. PAVEMENT, CURB AND SIDEWALK TO SAWCUT LINE
---	SAWCUT LINE
XXXXX	DEMO EXISTING CURB, PARKING STRIPE OR STRUCTURE
X	REMOVE EXISTING SIGN, TREE OR STRUCTURE

NOTES

1. LIMITS OF DISTURBANCE = 19,822 SQ. FT. (0.46 ACRES)

TREE TABLE

NUMBER	TYPE	SIZE (DIA.)	RETAIN/REMOVE	NUMBER	TYPE	SIZE (DIA.)	RETAIN/REMOVE	NUMBER	TYPE	SIZE (DIA.)	RETAIN/REMOVE
1	EVERGREEN	8 IN.	RETAIN	22	EVERGREEN	11 IN.	RETAIN	43	EVERGREEN	9 IN.	RETAIN
2	EVERGREEN	18 IN.	RETAIN	23	EVERGREEN	12 IN.	RETAIN	44	EVERGREEN	6 IN.	RETAIN
3	EVERGREEN	16 IN.	RETAIN	24	DECIDUOUS	10 IN.	RETAIN	45	DECIDUOUS	7 IN.	REMOVE
4	EVERGREEN	14 IN.	RETAIN	25	EVERGREEN	17 IN.	RETAIN	46	EVERGREEN	16 IN.	RETAIN
5	EVERGREEN	14 IN.	RETAIN	26	EVERGREEN	17 IN.	RETAIN	47	EVERGREEN	25 IN.	RETAIN
6	EVERGREEN	12 IN.	RETAIN	27	EVERGREEN	20 IN.	RETAIN	48	EVERGREEN	11 IN.	RETAIN
7	EVERGREEN	12 IN.	RETAIN	28	EVERGREEN	16 IN.	RETAIN	49	EVERGREEN	16 IN.	RETAIN
8	EVERGREEN	19 IN.	RETAIN	29	EVERGREEN	10 IN.	RETAIN	50	EVERGREEN	9 IN.	RETAIN
9	EVERGREEN	10 IN.	RETAIN	30	EVERGREEN	17 IN.	RETAIN	51	EVERGREEN	22 IN.	RETAIN
10	DECIDUOUS	7 IN.	RETAIN	31	EVERGREEN	11 IN.	RETAIN	52	DECIDUOUS	8 IN.	RETAIN
11	EVERGREEN	14 IN.	RETAIN	32	EVERGREEN	13 IN.	RETAIN	53	EVERGREEN	22 IN.	RETAIN
12	EVERGREEN	18 IN.	REMOVE	33	EVERGREEN	12 IN.	RETAIN	54	EVERGREEN	36 IN.	RETAIN
13	DECIDUOUS	6 IN.	RETAIN	34	EVERGREEN	11 IN.	RETAIN	55	DECIDUOUS	10 IN.	RETAIN
14	EVERGREEN	16 IN.	RETAIN	35	EVERGREEN	10 IN.	RETAIN	56	EVERGREEN	6 IN.	RETAIN
15	EVERGREEN	24 IN.	RETAIN	36	EVERGREEN	40 IN.	RETAIN	57	EVERGREEN	11 IN.	RETAIN
16	EVERGREEN	24 IN.	RETAIN	37	EVERGREEN	9 IN.	RETAIN	58	DECIDUOUS	9 IN.	RETAIN
17	DECIDUOUS	10 IN.	RETAIN	38	EVERGREEN	17 IN.	RETAIN	59	EVERGREEN	17 IN.	RETAIN
18	DECIDUOUS	20 IN.	RETAIN	39	EVERGREEN	14 IN.	RETAIN	60	DECIDUOUS	18 IN.	RETAIN
19	DECIDUOUS	84 IN.	RETAIN	40	EVERGREEN	12 IN.	RETAIN	61	DECIDUOUS	30 IN.	RETAIN
20	EVERGREEN	20 IN.	RETAIN	41	DECIDUOUS	24 IN.	RETAIN	62	DECIDUOUS	60 IN.	RETAIN
21	EVERGREEN	20 IN.	REMOVE	42	EVERGREEN	24 IN.	REMOVE	63	DECIDUOUS	30 IN.	RETAIN

PREPARED FOR:
STANDRIDGE
 PLANNING ENGINEERING SURVEYING
 M 703 Broadway St, Suite 610
 Vancouver, WA 98660
 O 360.597.0240 F 360.597.0981
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REV.	DATE	DESCRIPTION

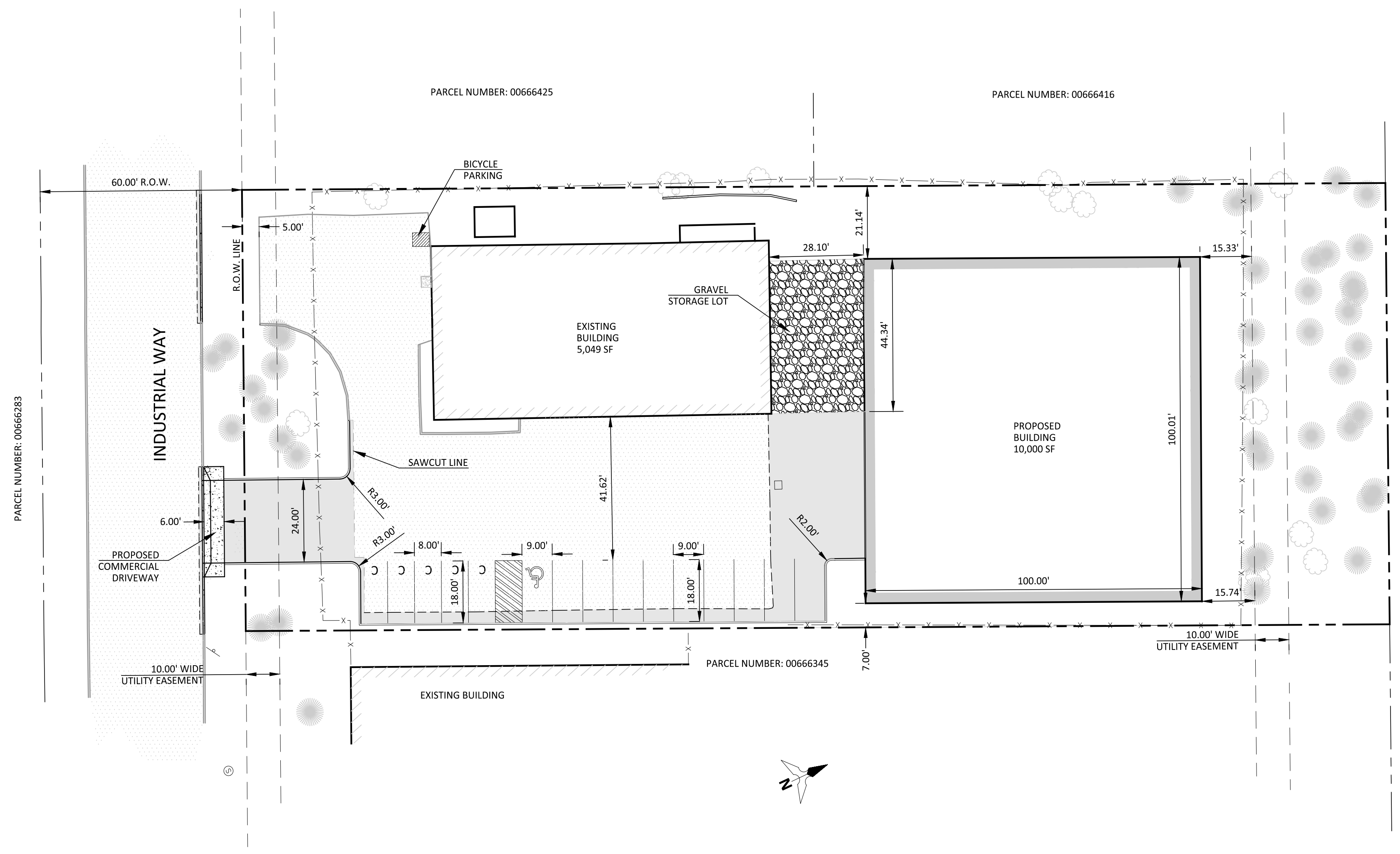
EXISTING CONDITIONS AND
 DEMOLITION PLAN

PROJECT NO.: GC1001
 DESIGN BY: CDB
 REVIEWED BY: LKS
 DATE: 11/07/2019

TRILLIUM MACHINE
 CITY OF SANDY, OR

03

SCALE: 1" = 20'
 SHEET SIZE: 22x34



PARKING		
EMPLOYEES	REQUIRED SPACES (EMPLOYEES X 1.5)	PROPOSED SPACES
10	15	15

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503.773.5388

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PLANNING ENGINEERING SURVEYING
M 703 Broadway St, Suite 610
Vancouver, WA 98660
O 360.597.9240 F 888.750.0981
WWW.STANDRIDGEINC.COM

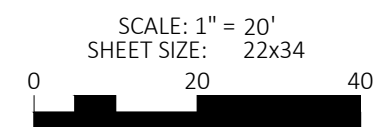
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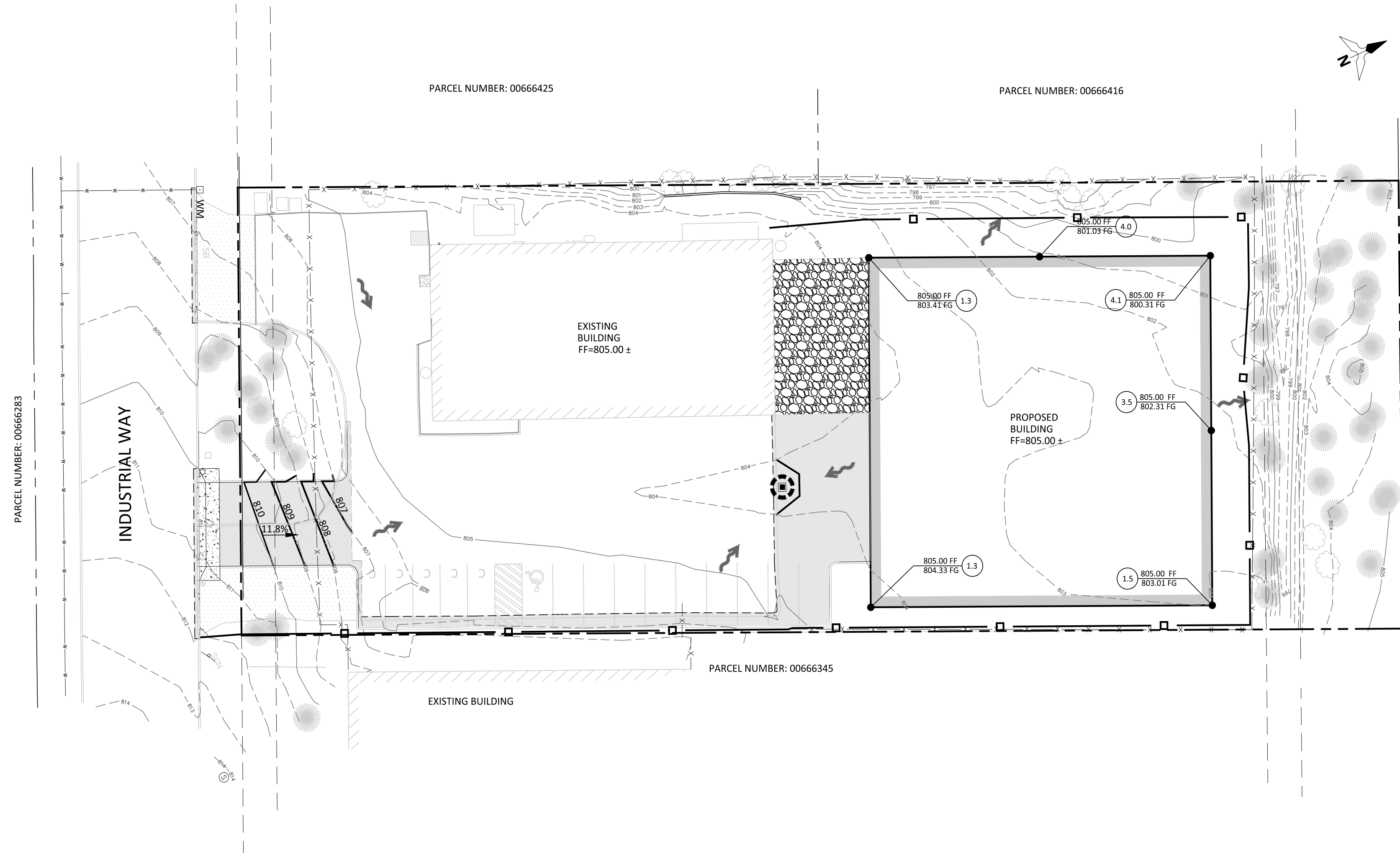
SITE LAYOUT AND PAVING
PLAN
TRILLIUM MACHINE
CITY OF SANDY, OR

PROJECT NO.: GC1001
DESIGN BY: CDB
REVIEWED BY: LKS
DATE: 11/07/2019

SHEET

04





SHEET LEGEND	
	240 PROPOSED 5' CONTOUR
	238 PROPOSED CONTOUR
	240 EXISTING 5' CONTOUR
	238 EXISTING CONTOUR

NOTE: PROPOSED CONTOURS ARE TO FINISHED GRADE.

SHEET LEGEND			
	BLACK SEDIMENTATION FENCE		INLET PROTECTION

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 M 703 Broadway St, Suite 610
 Vancouver, WA 98660
 O 360.597.0240 F 360.597.0981
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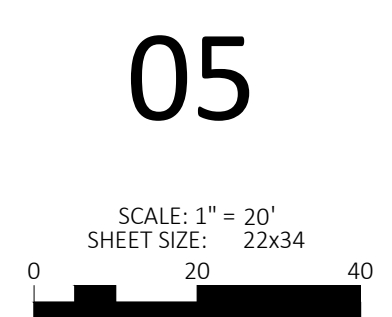
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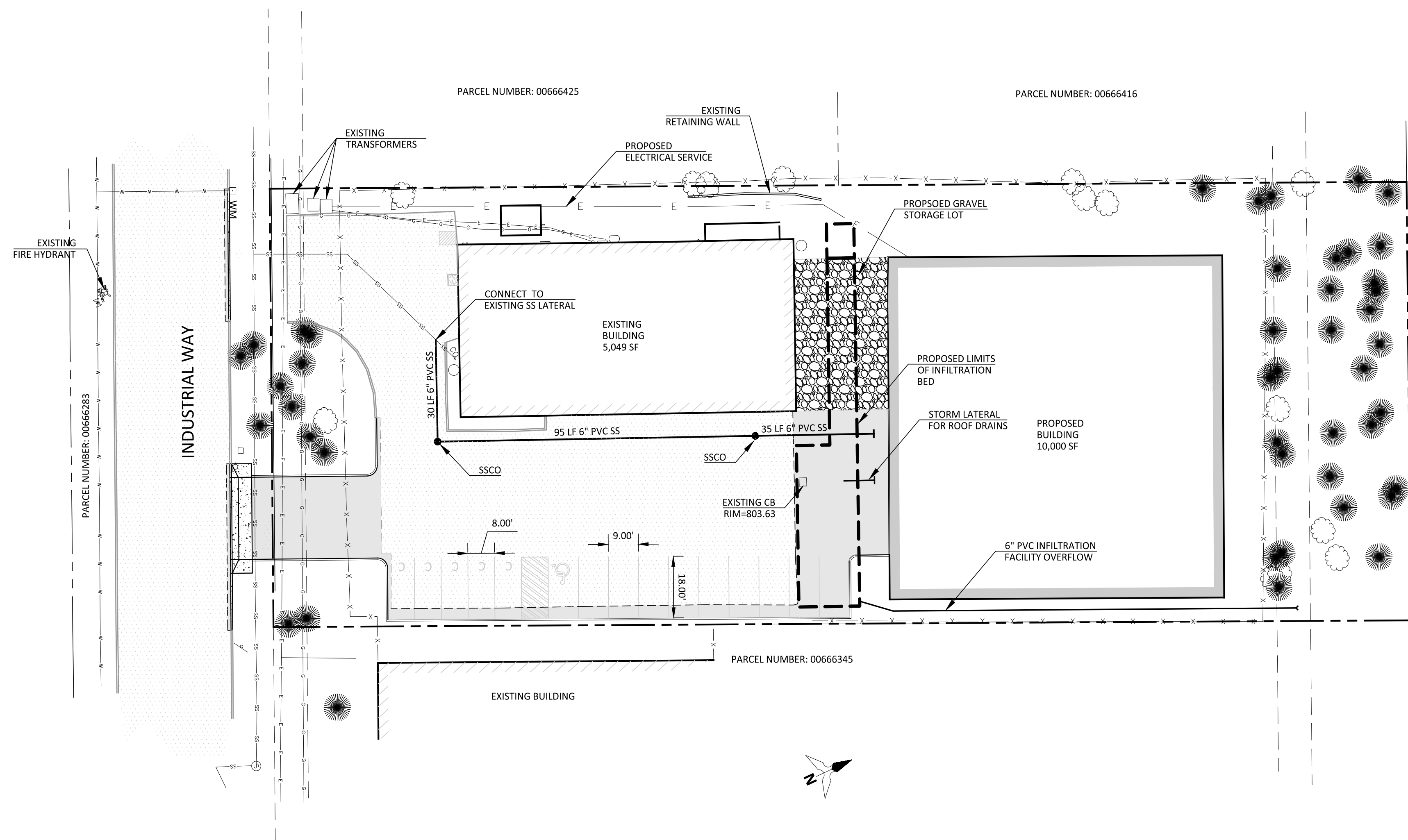
GRADING AND EROSION CONTROL PLAN

TRILLIUM MACHINE
 CITY OF SANDY, OR

PROJECT NO.: GC1001
 DESIGN BY: CDB
 REVIEWED BY: LKS
 DATE: 11/07/2019

SHEET





SHEET LEGEND	
□	EXISTING CATCH BASIN
⊙	EXISTING SANITARY MANHOLE
— ST —	EXISTING STORM
— SS —	EXISTING SANITARY
— W —	EXISTING WATER
— T —	EXISTING TELEPHONE
— OH —	OVERHEAD UTILITIES
— G —	GAS
— E —	UNDERGROUND POWER
— X —	CHAINLINK FENCE
---	EXISTING EASEMENT LINE
---	PROPERTY LINE
⊗	EXISTING FIRE HYDRANT
⊗	EXISTING WATER VALVE
⊙	EXISTING SIGNAGE
●	PROPOSED CLEANOUT
— SS —	PROPOSED SANITARY
---	LIMITS OF INFILTRATION BED

NOTES	
1.	WATERLINE TO BE EXTENDED FROM EXISTING BUILDING.

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 M 703 Broadway St, Suite 610
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REV.	DATE	DESCRIPTION

UTILITY PLAN

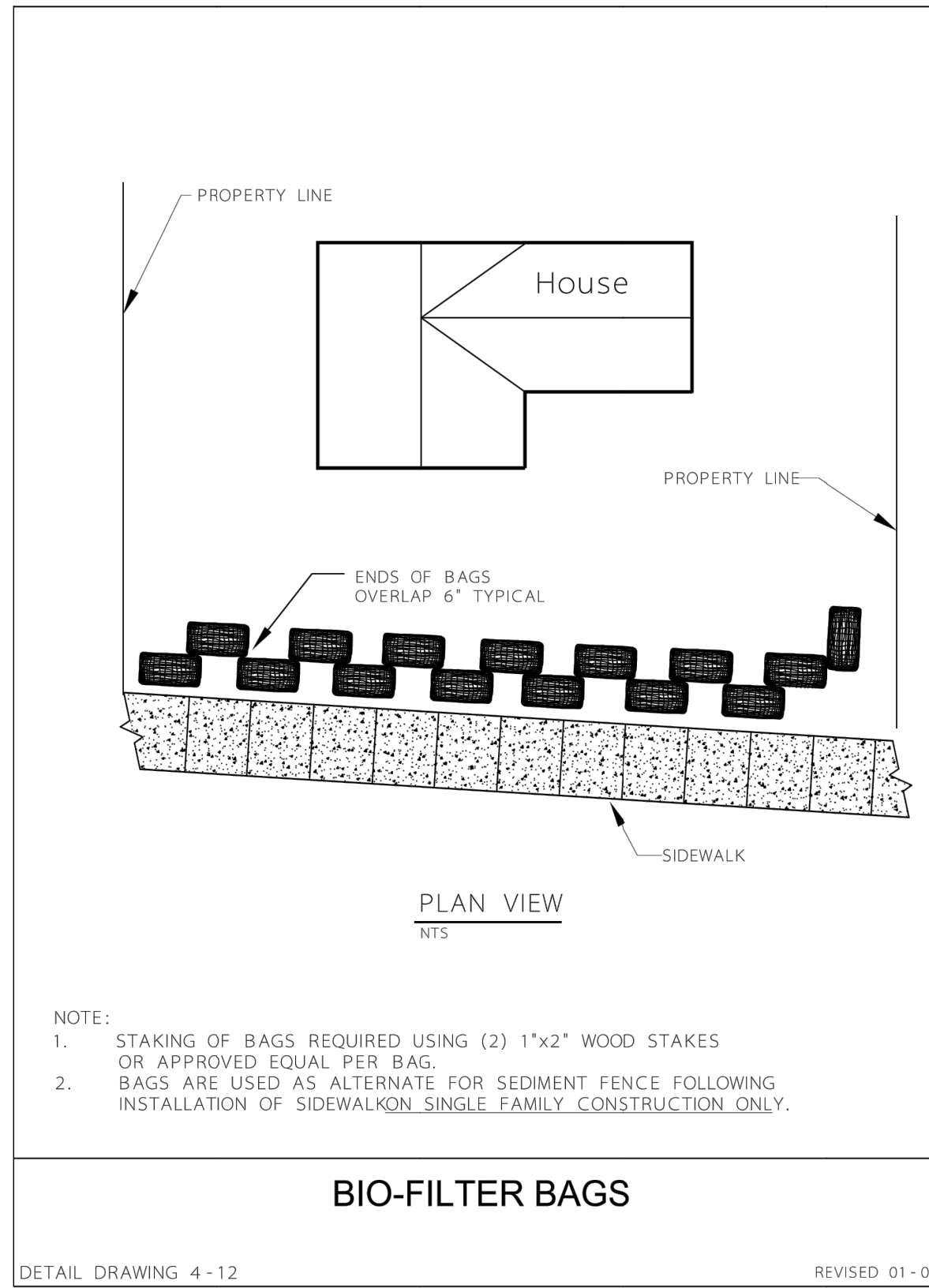
TRILLIUM MACHINE
 CITY OF SANDY, OR

PROJECT NO.: GC1001
 DESIGN BY: CDB
 REVIEWED BY: LKS
 DATE: 11/07/2019

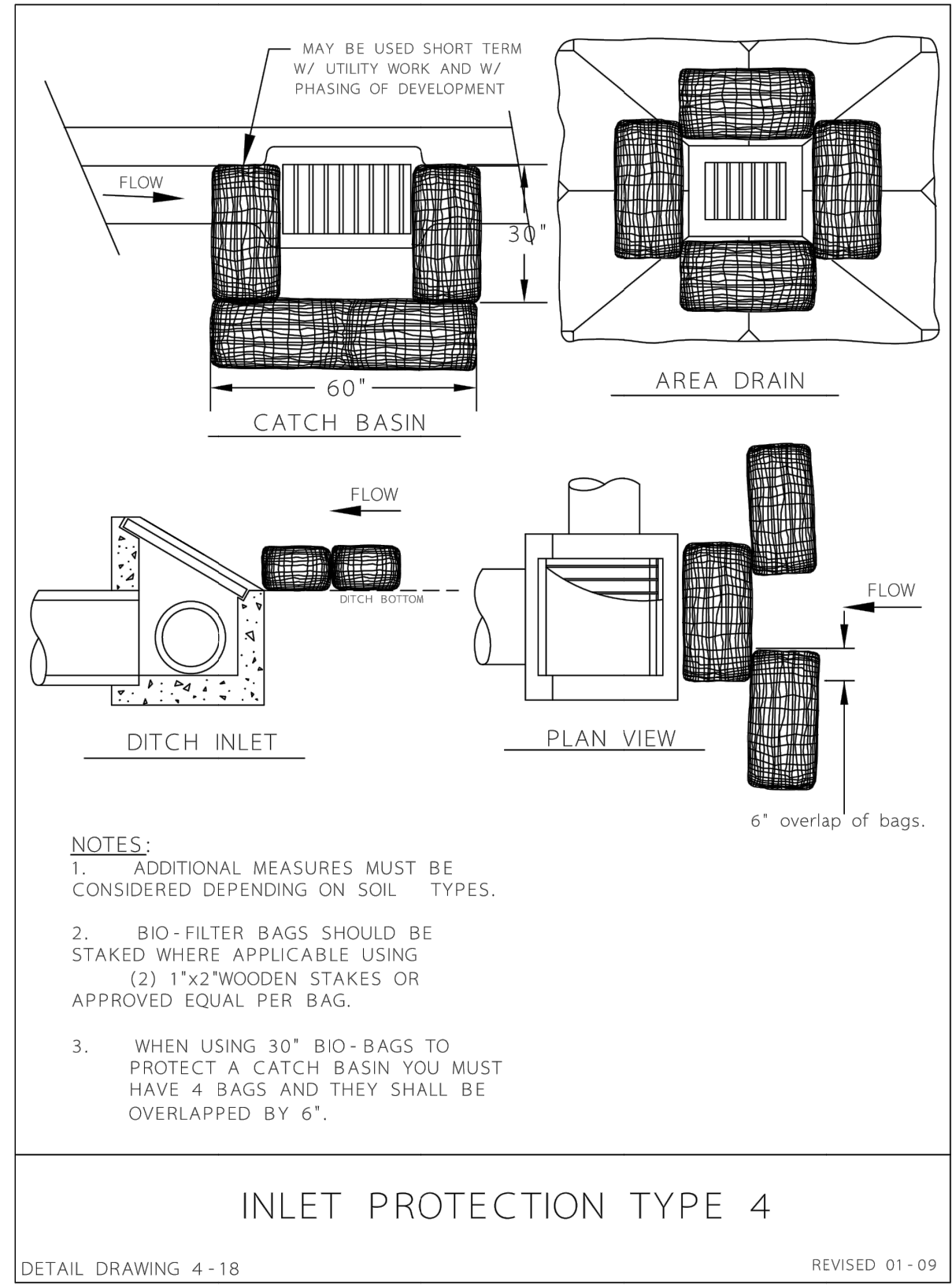
SHEET

06

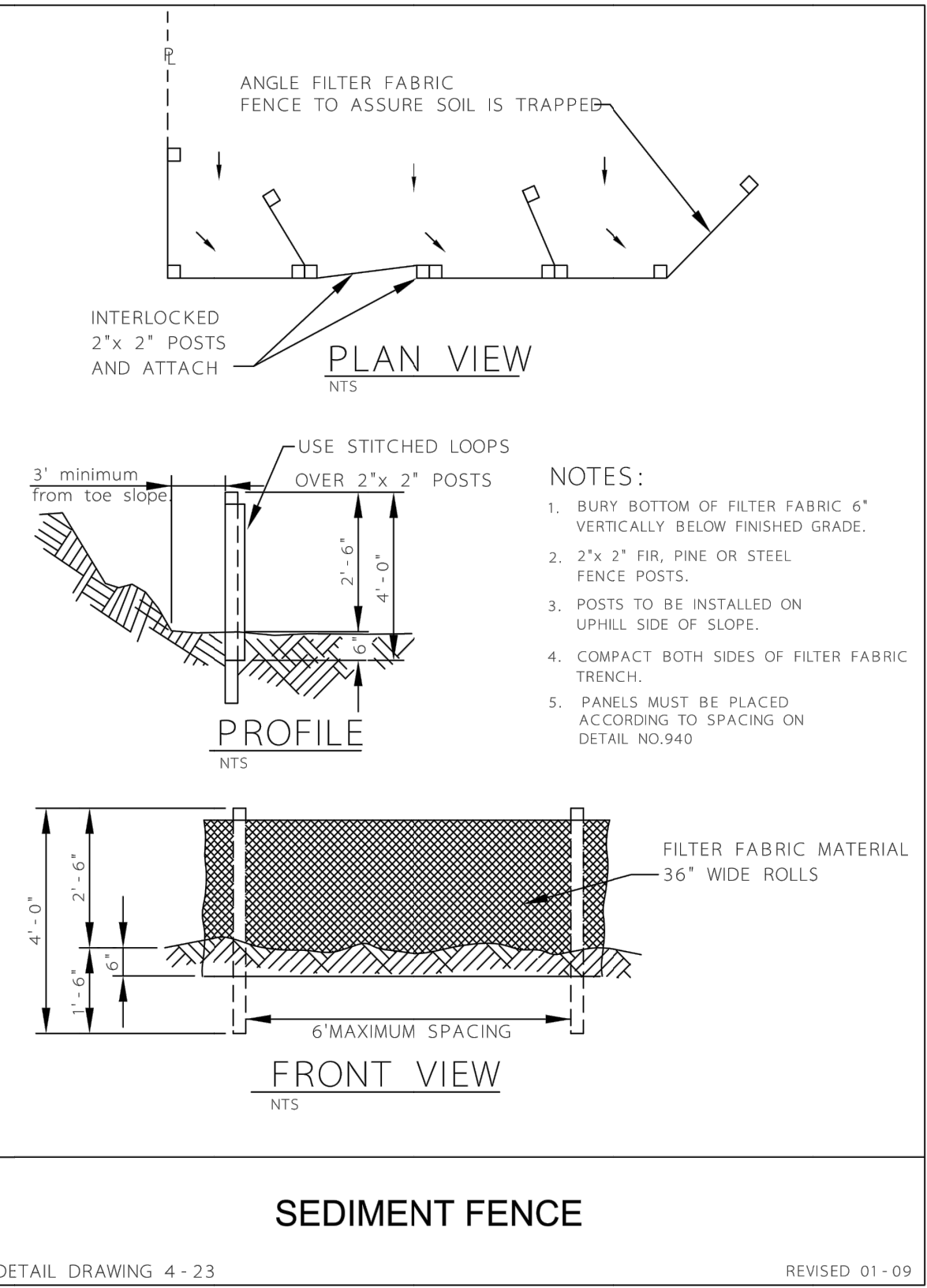
SCALE: 1" = 20'
 SHEET SIZE: 22x34



1 **BIO-FILTER BAGS**
NTS



2 **INLET PROTECTION**
NTS



3 **SILT FENCE**
NTS

- STANDARD EROSION AND SEDIMENT CONTROL PLAN DRAWING NOTES:
- WHEN RAINFALL AND RUNOFF OCCURS DAILY INSPECTIONS OF THE EROSION AND SEDIMENT CONTROLS AND DISCHARGE OUTFALLS MUST BE PROVIDED BY SOME ONE KNOWLEDGEABLE AND EXPERIENCED IN THE PRINCIPLES, PRACTICES, INSTALLATION, AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS WHO WORKS FOR THE PERMITTEE.
 - CONSTRUCTION ACTIVITIES MUST AVOID OR MINIMIZE EXCAVATION AND CREATION OF BARE GROUND FROM OCTOBER 1 THROUGH MAY 31 EACH YEAR.
 - DURING WET WEATHER PERIOD, TEMPORARY STABILIZATION OF THE SITE MUST OCCUR AT THE END OF EACH WORK DAY.
 - SEDIMENT CONTROLS MUST BE INSTALLED AND MAINTAINED ON ALL DOWN GRADIENT SIDES OF THE CONSTRUCTION SITE AT ALL TIMES DURING CONSTRUCTION. THEY MUST REMAIN IN PLACE UNTIL PERMANENT VEGETATION OR OTHER PERMANENT COVERING OF EXPOSED SOIL IS ESTABLISHED.
 - ALL ACTIVE INLETS MUST HAVE SEDIMENT CONTROLS INSTALLED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. UNLESS OTHERWISE APPROVED, A SURFACE MOUNTED AND ATTACHABLE, U-SHAPED FILTER BAG IS REQUIRED FOR ALL CURB INLET CATCH BASINS.
 - SIGNIFICANT AMOUNTS OF SEDIMENT WHICH LEAVES THE SITE MUST BE CLEANED UP WITHIN 24 HOURS AND PLACED BACK ON THE SITE AND STABILIZED OR PROPERLY DISPOSED. THE CAUSE OF THE SEDIMENT RELEASE MUST BE FOUND AND PREVENTED FROM CAUSING A RECURRENCE OF THE DISCHARGE WITHIN THE SAME 24 HOURS. ANY IN-STREAM CLEAN UP OF SEDIMENT SHALL BE PERFORMED ACCORDING TO THE OREGON DEPARTMENT OF STATE LANDS REQUIRED TIME FRAME.
 - SEDIMENT MUST NOT BE INTENTIONALLY WASHED INTO STORM SEWERS, DRAINAGE WAYS, OR WATER BODIES.
 - SEDIMENT MUST BE REMOVED FROM BEHIND ALL SEDIMENT CONTROL MEASURES WHEN IT HAS REACHED A HEIGHT OF 1/3RD THE BARRIER HEIGHT, AND PRIOR TO THE CONTROL MEASURES REMOVAL.
 - CLEANING OF ALL STRUCTURES WITH SUMPS MUST OCCUR WHEN THE SEDIMENT RETENTION CAPACITY HAS BEEN REDUCED BY 50% AND AT COMPLETION OF PROJECT.
 - ANY USE OF TOXIC OR OTHER HAZARDOUS MATERIALS MUST INCLUDE PROPER STORAGE, APPLICATION, AND DISPOSAL.
 - THE PERMITTEE MUST PROPERLY MANAGE HAZARDOUS WASTES, USED OILS, CONTAMINATED SOILS, CONCRETE WASTE, SANITARY WASTE, LIQUID WASTE, OR OTHER TOXIC SUBSTANCES DISCOVERED OR GENERATED DURING CONSTRUCTION.
 - THE APPLICATION RATE OF FERTILIZERS USED TO REESTABLISH VEGETATION MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS. NUTRIENT RELEASES FROM FERTILIZERS TO SURFACE WATERS MUST BE MINIMIZED. TIME RELEASE FERTILIZERS SHOULD BE USED AND CARE SHOULD BE MADE IN APPLICATION OF FERTILIZERS WITHIN ANY WATER WAY RIPARIAN ZONE.
 - OWNER OR DESIGNATED PERSON SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES, IN ACCORDANCE WITH CURRENT CLEAN WATER SERVICES STANDARDS AND STATE, AND FEDERAL REGULATIONS.
 - PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BOUNDARIES OF THE CLEARING LIMITS, VEGETATED BUFFERS, AND ANY SENSITIVE AREAS SHOWN ON THIS PLAN SHALL BE CLEARLY DELINEATED IN THE FIELD. UNLESS OTHERWISE APPROVED, NO DISTURBANCE IS PERMITTED BEYOND THE CLEARING LIMITS. THE OWNER/PERMITTEE MUST MAINTAIN THE DELINEATION FOR THE DURATION OF THE PROJECT. NOTE: VEGETATED CORRIDORS TO BE DELINEATED WITH ORANGE CONSTRUCTION FENCE OR APPROVED EQUAL.
 - PRIOR TO ANY LAND DISTURBING ACTIVITIES, THE BMPS THAT MUST BE INSTALLED ARE GRAVEL CONSTRUCTION ENTRANCE, PERIMETER SEDIMENT CONTROL, AND INLET PROTECTION. THESE BMPS MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT.
 - IF VEGETATIVE SEED MIXES ARE SPECIFIED, SEEDING MUST TAKE PLACE NO LATER THAN SEPTEMBER 1ST; THE TYPE AND PERCENTAGES OF SEED IN THE MIX ARE AS IDENTIFIED ON THE PLANS OR AS SPECIFIED BY THE DESIGN ENGINEER.
 - WATER-TIGHT TRUCKS MUST BE USED TO TRANSPORT SATURATED SOILS FROM THE CONSTRUCTION SITE. AN APPROVED EQUIVALENT IS TO DRAIN THE SOIL ON SITE AT A DESIGNATED LOCATION USING APPROPRIATE BMPS; SOIL MUST BE DRAINED SUFFICIENTLY FOR MINIMAL SPILLAGE.
 - ALL PUMPING OF SEDIMENT LADEN WATER MUST BE DISCHARGED OVER AN UNDISTURBED, PREFERABLY VEGETATED AREA, AND THROUGH A SEDIMENT CONTROL BMP (I.E. FILTER BAG).
 - THE ESC PLAN MUST BE KEPT ONSITE. ALL MEASURES SHOWN ON THE PLAN MUST BE INSTALLED PROPERLY TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER A SURFACE WATER SYSTEM, ROADWAY, OR OTHER PROPERTIES.
 - THE ESC MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE MEASURES SHALL BE UPGRADED AS NEEDED TO MAINTAIN COMPLIANCE WITH ALL REGULATIONS.
 - WRITTEN ESC LOGS ARE SUGGESTED TO BE MAINTAINED ONSITE AND AVAILABLE TO DISTRICT INSPECTORS UPON REQUEST.
 - IN AREAS SUBJECT TO WIND EROSION, APPROPRIATE BMPS MUST BE USED WHICH MAY INCLUDE THE APPLICATION OF FINE WATER SPRAYING, PLASTIC SHEETING, MULCHING, OR OTHER APPROVED MEASURES.
 - ALL EXPOSED SOILS MUST BE COVERED DURING WET WEATHER PERIOD.

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PLANNING ENGINEERING SURVEYING
M 703 Broadway St, Suite 610
Vancouver, WA 98660
O 360.597.0240 F 360.597.0981
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REV.	DATE	DESCRIPTION

EROSION CONTROL DETAILS

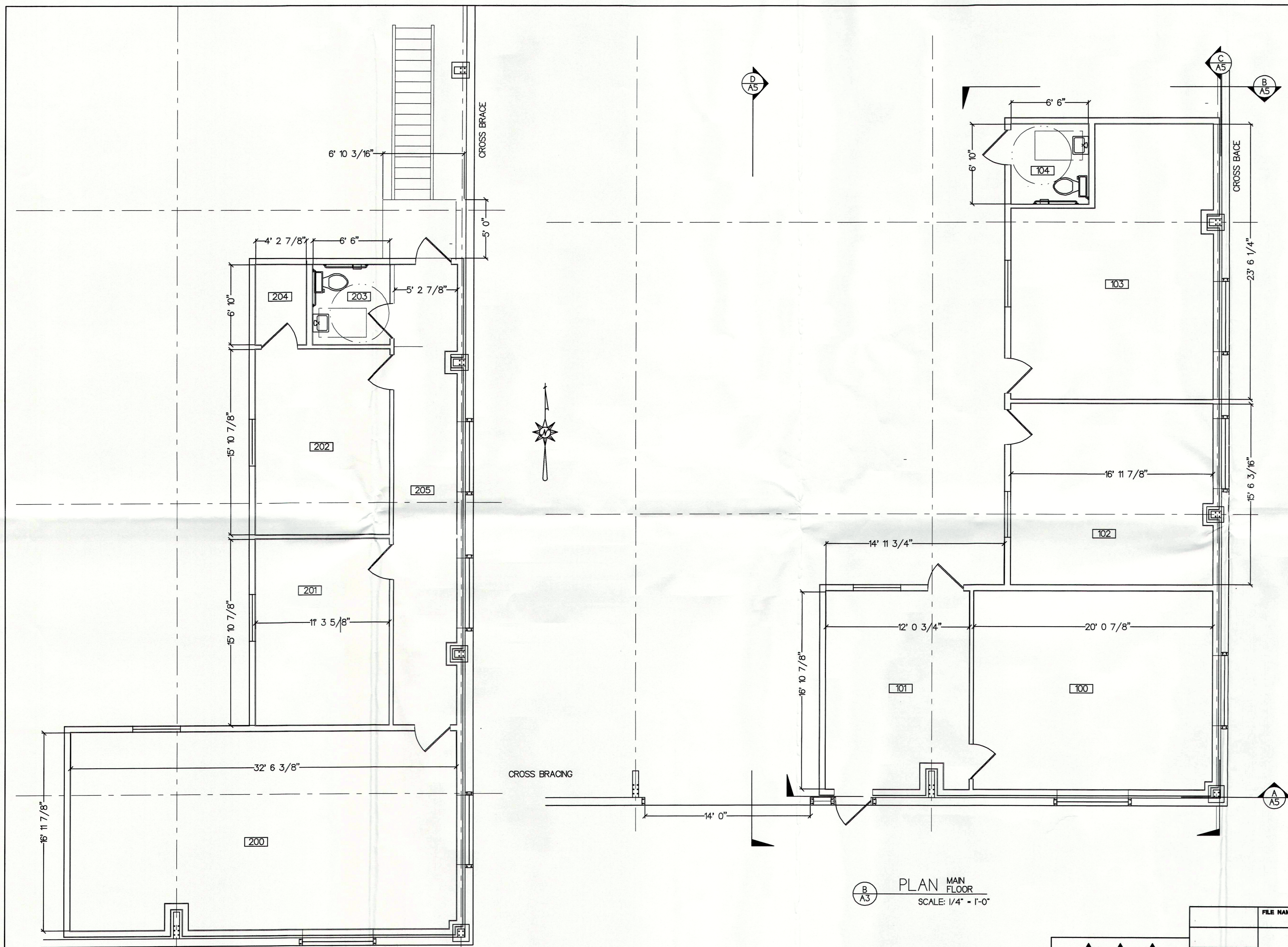
TRILLIUM MACHINE
CITY OF SANDY, OR

PROJECT NO.: GCI001
DESIGN BY: CDB
REVIEWED BY: LKS
DATE: 11/07/2019

SHEET

07

SCALE: 1" = 20'
SHEET SIZE: 22x34
0 20 40



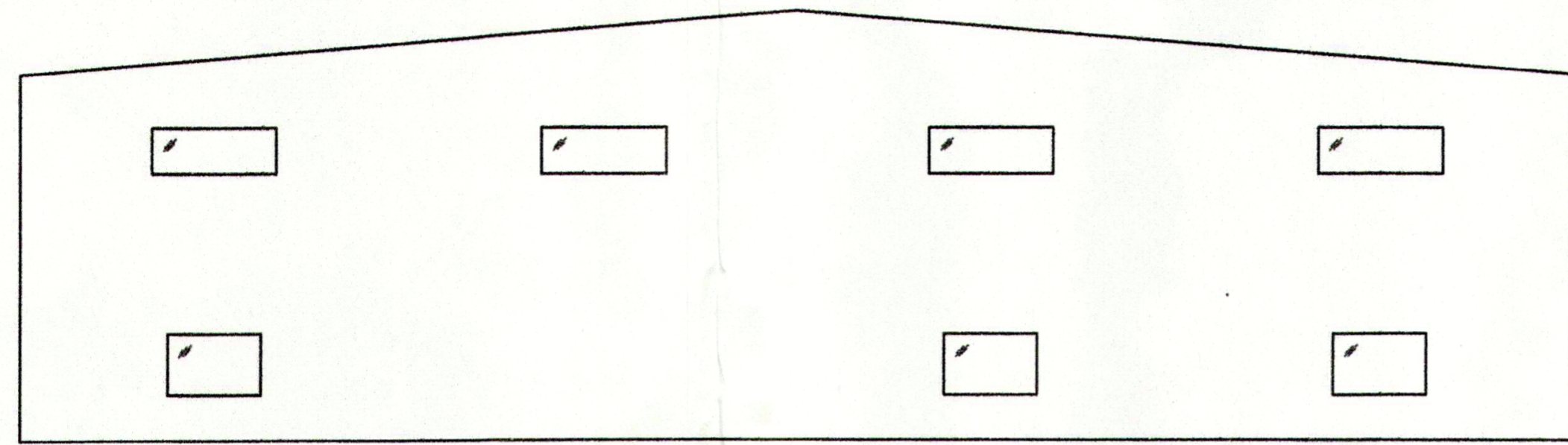
PLAN UPPER FLOOR
SCALE: 1/4" = 1'-0"

PLAN MAIN FLOOR
SCALE: 1/4" = 1'-0"

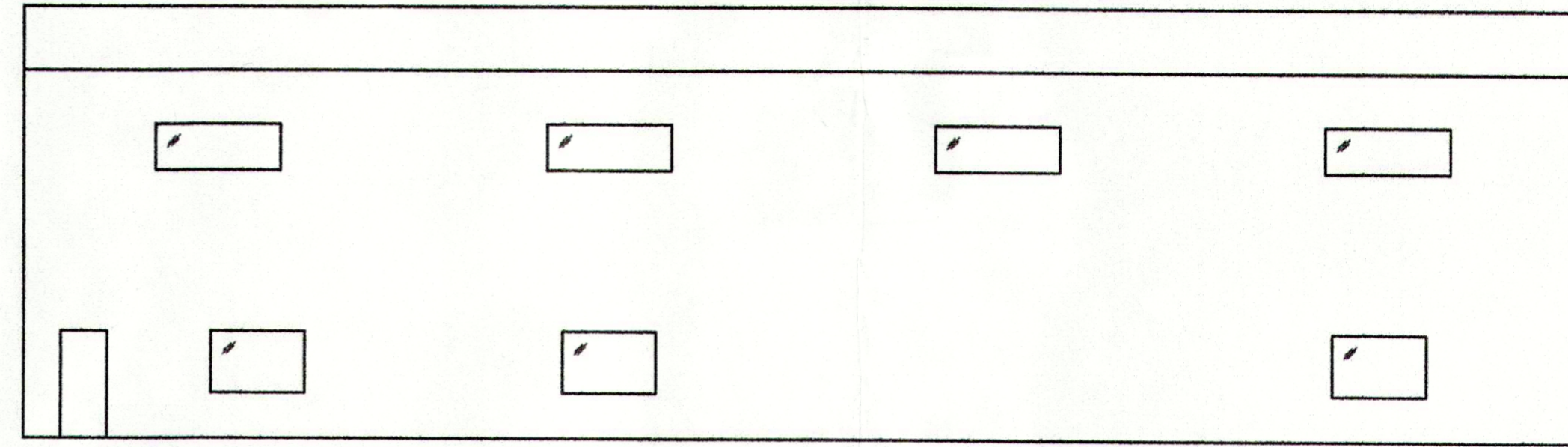


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APPR. BY:	
PROJ. NO.:	
PRELIMINARY	

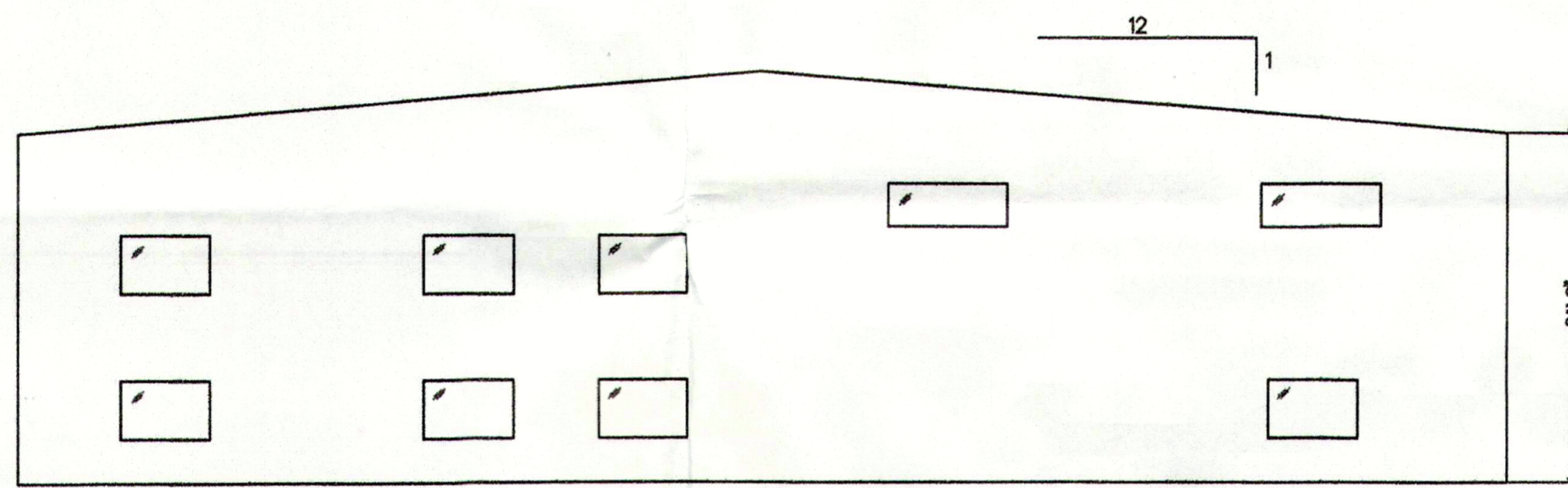
REV./ DATE	DESCRIPTION
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	TITLE: TRILLIUM MACHINE SANDY OREGON OFFICE GENERAL ARRANGEMENTS
DRAWING NO.:	19113A3
REV.:	
SHT.:	A3



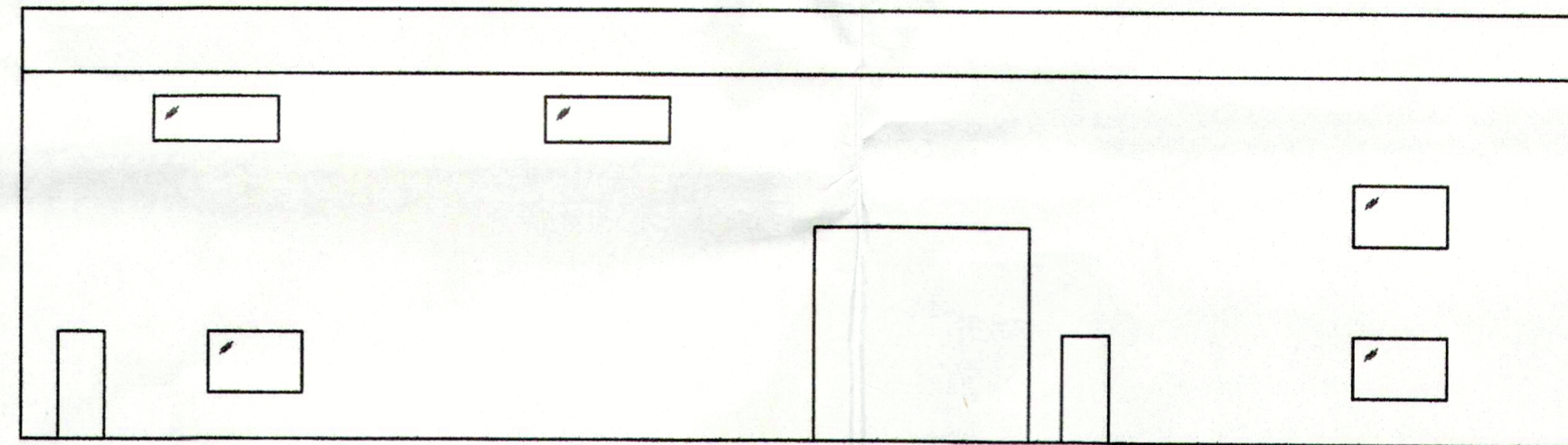
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A4 ELEVATION WEST
SCALE: 1/8" = 1'-0"



C
A4 ELEVATION NORTH
SCALE: 1/8" = 1'-0"



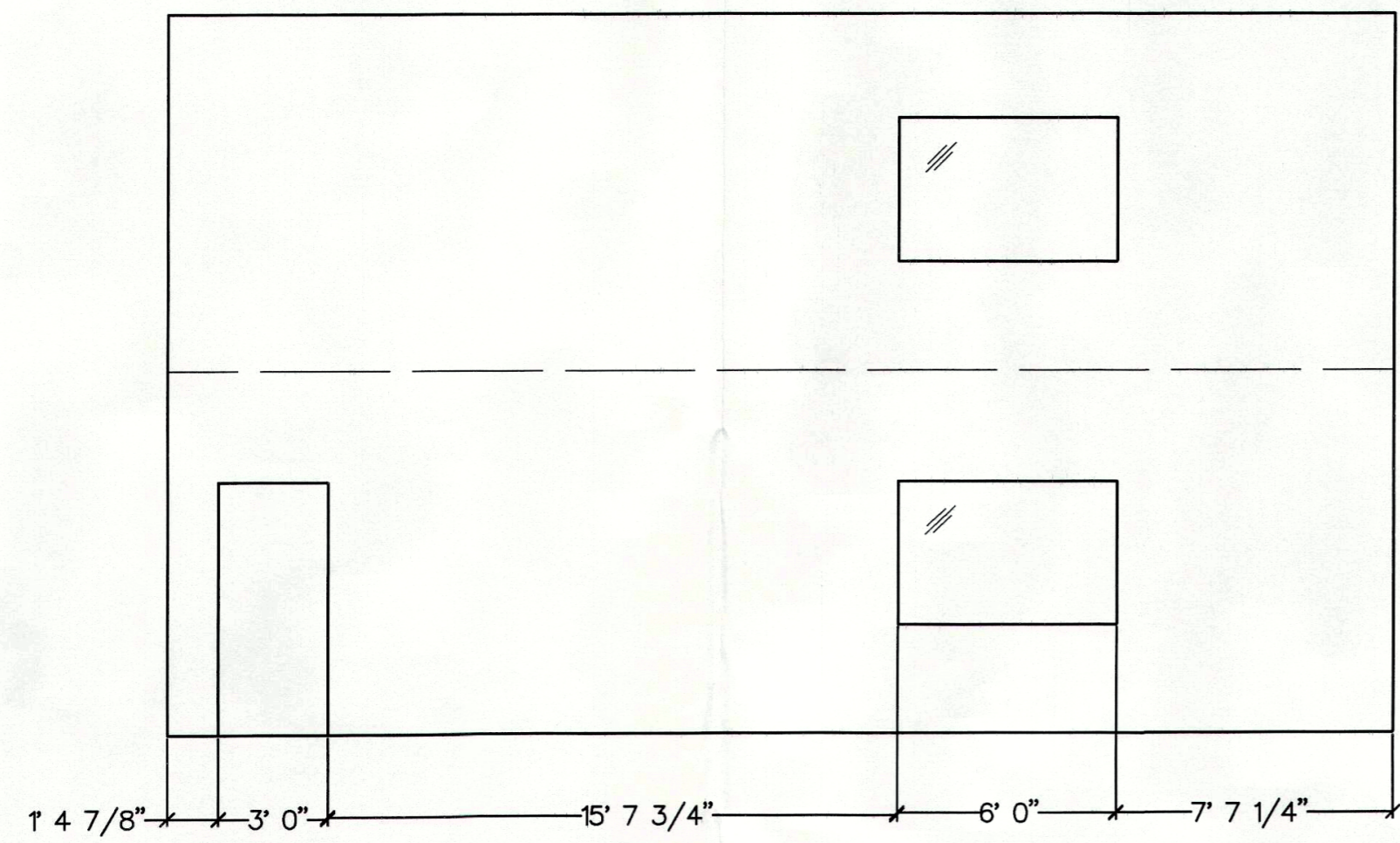
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A4 ELEVATION EAST
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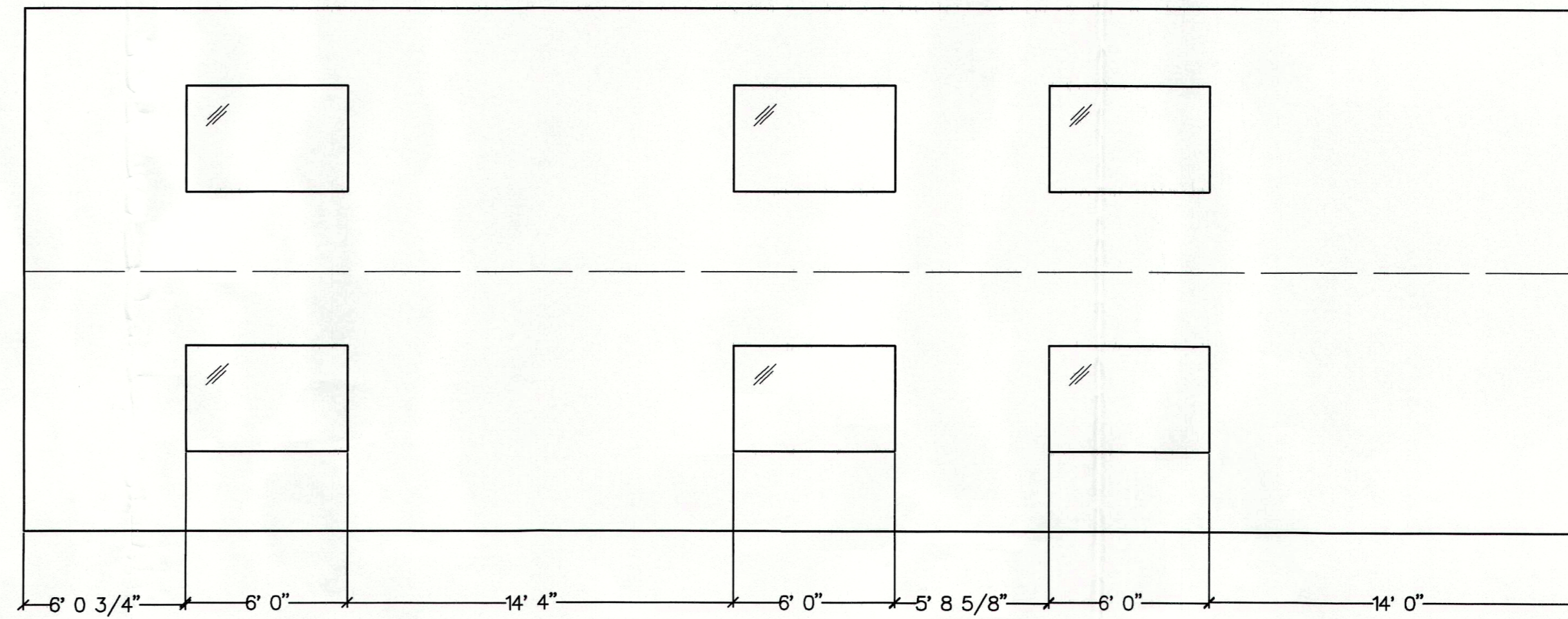
D
A4 ELEVATION SOUTH
SCALE: 1/8" = 1'-0"



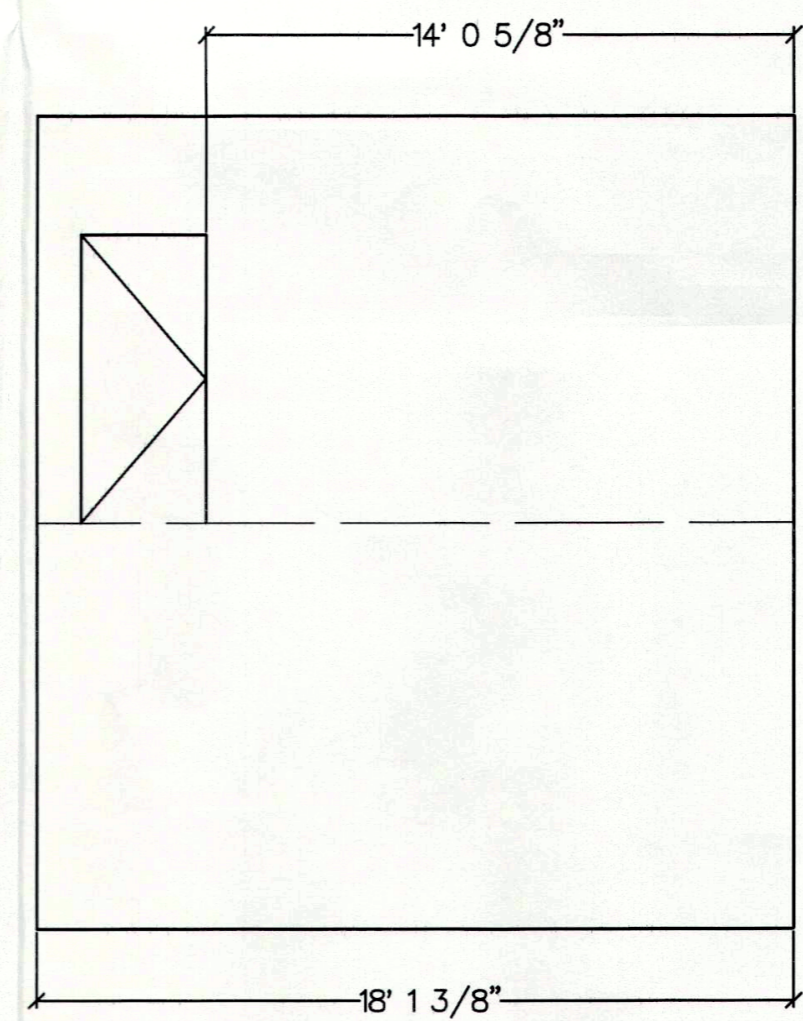
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		APPR. BY:	DRAWING NO.:
	PRELIMINARY	EXPIRES 08/30/20	19113A4
		PROJ. NO.:	REV.
		19-118	SHT. A4



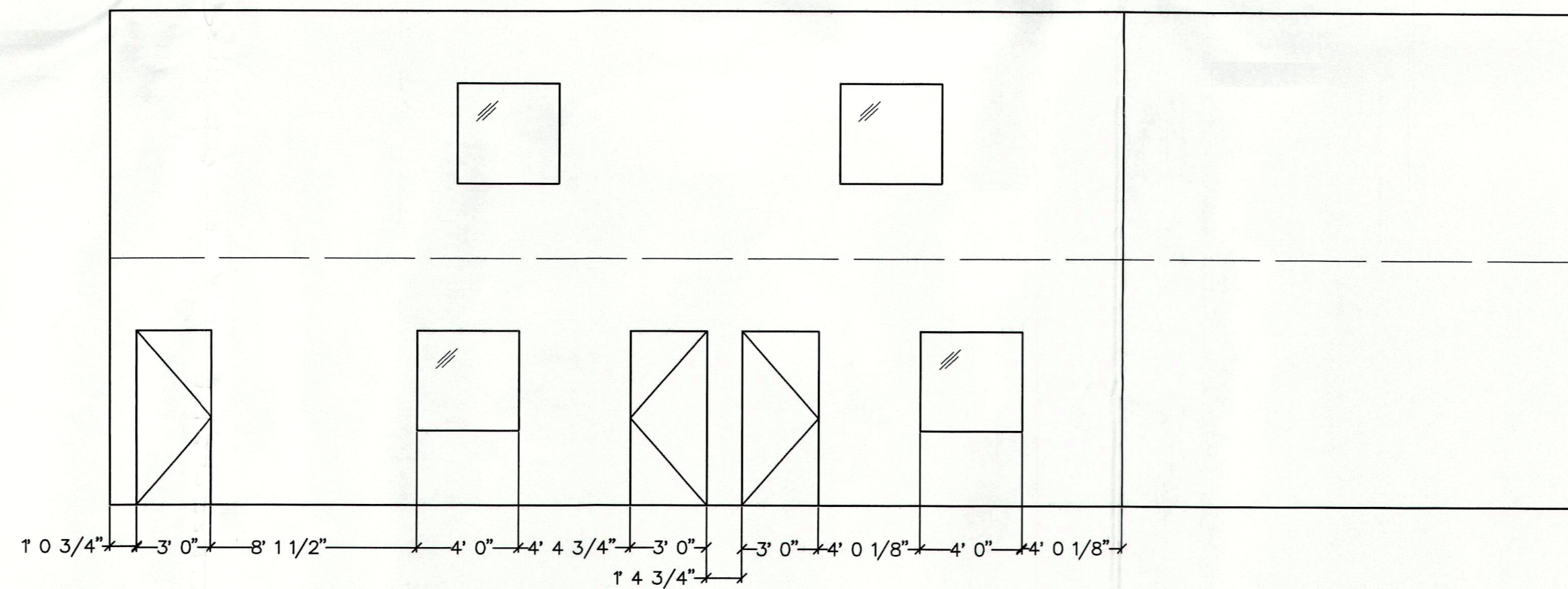
ELEVATION SOUTH
SCALE: 1/4" = 1'-0"



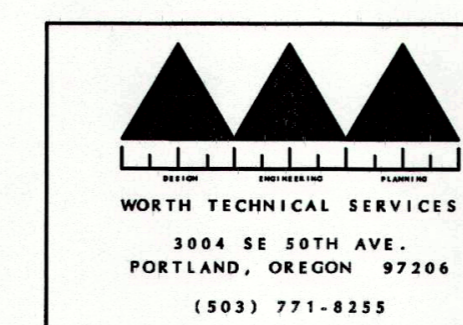
ELEVATION EAST
SCALE: 1/4" = 1'-0"



ELEVATION NORTH
SCALE: 1/4" = 1'-0"



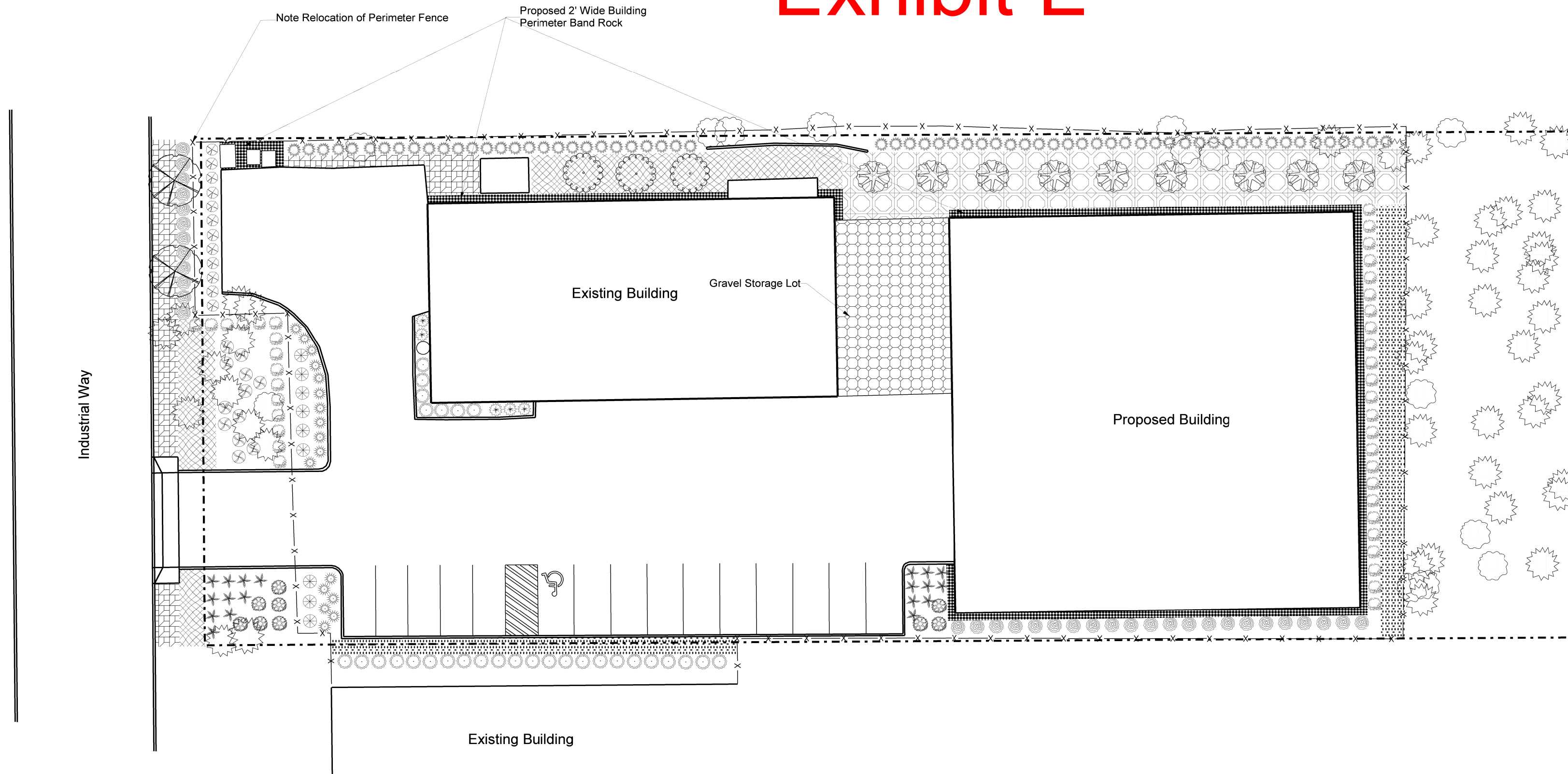
ELEVATION WEST
SCALE: 1/4" = 1'-0"



REV.	DATE	DESCRIPTION

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SCALE: 1/4" = 1' 0"	TITLE: TRILLIUM MACHINE SANDY OREGON OFFICE - ELEVATIONS	
DRAWN BY: JMW	APPR. BY:	DRAWING NO.:
PROJ NO.:		19113A5
		REV.
		SHT.
		A5

Exhibit E



Landscape Plant and Materials Legend

Trees	Size	Quantity
Existing Deciduous Tree	N/A	N/A
Existing Evergreen Tree	N/A	N/A
Acer circinatum Vine Maple	8-10'	9
Pyrus calleryana 'Chanticleer' Chanticleer Pear	2"	3
Acer rubrum 'Bowhall' Bowhall Maple	2"	2
Shrubs	Size	Quantity
Cornus sanguinea 'Midwinter Fire' Bloodtwig Dogwood	5 gal	9
Euonymus japonica 'Green Spire' Green Spire Euonymus	5 gal	34
Rhododendron sp. 'English Roseum' Rhododendron	5 gal	9
Spiraea x bumalda 'Lime Mound' Limemound Spirea	5 gal	12
Nandina domestica 'Gulfstream' Heavenly Bamboo	5 gal	30
Mahonia aquifolium Oregon Grape	5 gal	39
Hydrangea quercifolia 'Pee Wee' Oak Leaf Hydrangea	5 gal	12
Thuja occidentalis Arborvitae	4-5'	64
Grasses/Perennials	Size	Quantity
Polystichum minimum Sword Fern	1 gal	19
Calamagrostis x acutiflora 'Karl Forester' Karl Forester Grass	5 gal	5
Penisetum a. 'Little Bunny' Little Bunny Grass	1 gal	17
Ground Cover	Size	Quantity
Arctostaphylos uva-ursi Kinnickinnick	1 gal	24" O.C.
Euonymus f. 'Coloratus' Creeping Euonymus	1 gal	36" O.C.
Bergenia sp. Bergenia	1 gal	30" O.C.
Sarcococca hookeriana var. 'Humilis' Sweetbox	1 gal	36" O.C.
Perimeter Band Rock 1.5' River Rock		
3/4" Minus Gravel Lot		

Landscape Notes:

- Landscape to be irrigated with fully automated drip irrigation system. To be design-build by contractor.
- "Pocket Plant" all trees and shrubs with 3-way soil.
- Trees to be staked and tied.
- Cover all planting areas with 2" of medium fresh fir bark dust.
- Front fence to be modified slightly to accommodate new landscape.

Sheet
1 of 1

9/5/2019

Date

NA

Job Number

TRI36535

File Number

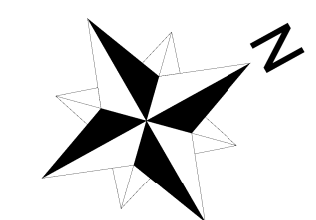
Trillium Machine



Proposed Landscape Design

Sheet Title

Designed by	Firm	Website
Kyle Kalian	CGL	crystalgreens.com



Scale: 1"=20'



Exhibit F

CERTIFIED ARBORIST REPORT

09/19/2019
01/22/2020
Jeffrey Beeson
36535 Industrial Way
Sandy, OR 97055
jeffrey.beeson@gogallant.com

This report has been prepared to independently conduct a site visit and subsequent inventory and professional opinion for the existing trees located at 36535 Industrial Way Sandy, OR 97055.

As the techniques and terminology of the Arboriculture industry are continuously evolving, we have provided some brief descriptions to assist with the review and understanding of this report.

This report was completed, reviewed and approved by the undersigned Certified Arborist and owner of Earth Care Designs, LLC dba Oregon Tree Care.

Damien Carré
Certified Arborist, ISA# PN-6405A
Certified Tree Risk Assessor, CTRA
1717

PO Box 13068
Portland, OR 97213

503.929.9437 o
503.905.0605 f

admin@oregontreecare.com
oregontreecare.com

Oregon CCB 176382
Certified Arborist PN-6405A
CTRA 1717

TERMINOLOGY:

Air Spade: The Air Spade is an attachment added to the terminal end of an air compressor hose. The compressed air is directed into the soil, fracturing the soil and exposing the roots below the soil surface. This method is low impact.

Critical Root Zone (CRZ): A critical step in retaining healthy trees is the protection of tree roots from disturbance. Each tree has a critical root zone (CRZ) that varies by species and site conditions. The International Society of Arboriculture defines CRZ as an area equal to a 1-foot radius from the base of the tree's trunk for each 1 inch of the tree's diameter at 4.5 feet above grade (referred to as diameter at breast height).

Root Protection zone (RPZ): Portion of the root system that is the minimum necessary to maintain vitality or stability of the tree. Encroachment or damage to the root protection zone will put the tree at risk of failure

Pruning: The act of sawing or cutting branches from a living tree generally involving thinning, deadwood removal and weight reduction to improve the overall health of a tree. The species and size/age of the tree will determine the proper amount of reduction and type of cuts performed.

Vigor: A measure of the increase in plant growth or foliage volume through time after planting.

SITE REVIEW:

A site visits were performed on September 13th, 2019 and January 22nd, 2020. At the time of the site visit all trees appeared to be of average vigor. The trees to be preserved and trees that need tree protection during construction activities are already under a high volume of soil compaction and pedestrian traffic in the common areas of the property. The proposed construction is in close proximity to the trees. Due to the close proximity of the trees, hardscape and construction, it is recommended that any trees falling within one half the distance of the one foot per inch in diameter formula (Prescriptive Path) should be removed as the proposed construction activities will compromise the trees structural integrity and or vigor of the trees. The trees are numbered as followed per the report from Stanridge Surveying, 1,2,3,4,8,11,12,21,42 and 45. Thus, it is recommended that these trees be removed. The Remaining trees per the inventory done by Stanridge Surveying shall be preserved and follow the best practices of the Prescriptive Path. UPDATE January 22, 2020: Added Updated Tree Inventory to include species, condition, and confirmed DBH measurements.

Protective fencing shall be installed and remain in place per the Prescriptive and or Performance Path formula per tree numbers from the already executed tree inventory not done by OTC.

PRESCRIPTIVE PATH:

The Prescriptive Path method of tree protection establishes a root protection zone (see diagram at right) and blocks this zone from construction activities. The prescriptive path calls for the root protection zone to have a 1-foot radius from the center of the trunk per inch of tree diameter. For example, a 12-inch diameter tree would require a 12-foot radius root protection zone.

The root protection fencing shall be a minimum of 6-foot high chain link fence secured with 8-foot metal posts, at the edge of the root protection zone. Existing structures and/or existing secured fencing at least 3.5 feet tall can serve as the required protective fencing. Place the yellow sign marked 'Tree Root Protection Zone' prominently on the fence designating the root protection zone and describing the penalties for violation. Install the fence before any ground-disturbing activities take place, including clearing, grading, or construction. Keep the fence in place until final inspection.

PERFORMANCE PATH:

Due to the location of these trees on the property, this alternative approach to the prescriptive path is necessary to allow reasonable access for the planned construction activities. Protection fencing shall be installed and stay erected during the duration of construction. Areas within the tree protection zones that will have foot traffic within it is recommended to install mulch and or plywood to assist with the already compacted soils.

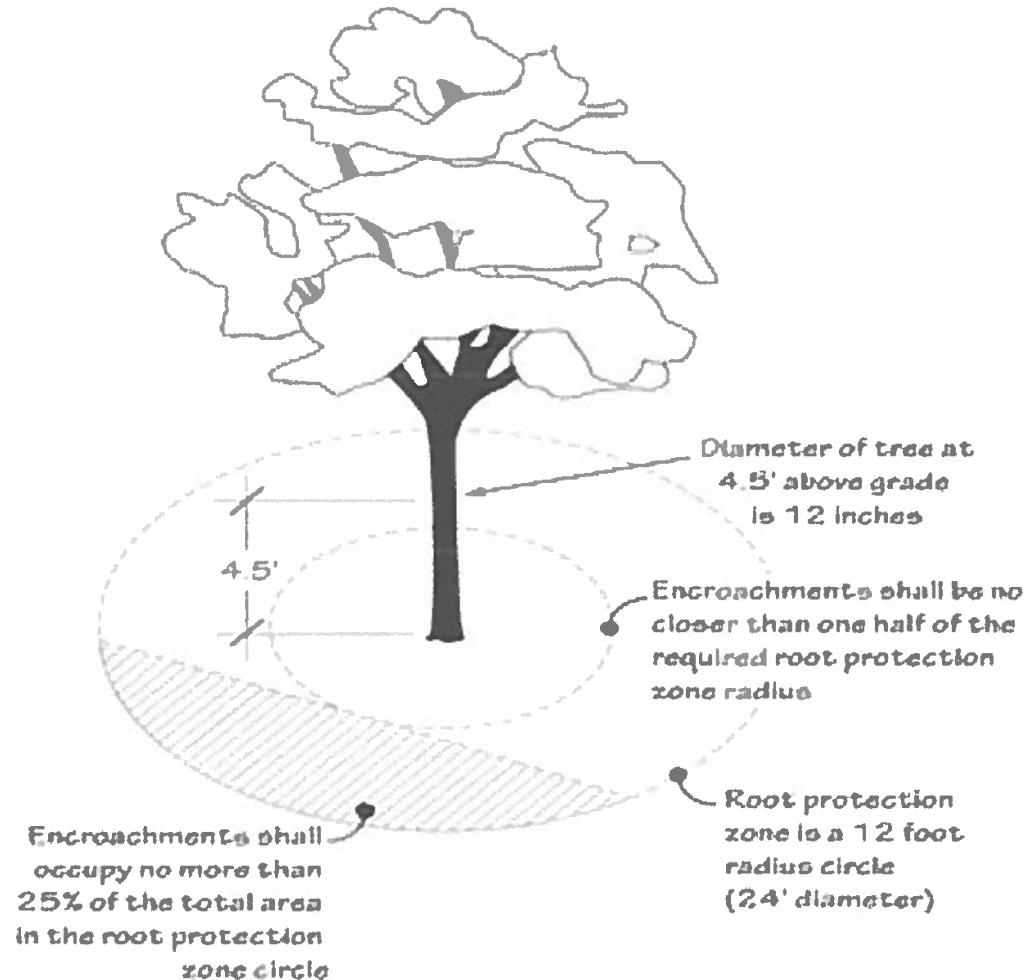
REMOVING TREES WITHIN THE RPZ OF PROTECTED TREES:

There shall be no heavy-duty equipment or materials within the RPZ of the tree, unless otherwise specified. Tree removal methods should be done to minimize any impact and or avoid compromising adjacent trees structural integrity and or vigor.

No heavy-duty equipment or materials within the RPZ of the tree. No excavation of soil shall be done within the trees RPZ without Arborist supervision, demolition should be done by hand to minimize compaction of soil and tree roots.

Any trees that will have significant encroachment into the RPZ, and its root system should be examined prior to any excavation within the RPZ. A Certified Arborist must be on site to monitor and/or perform any root pruning that may be deemed necessary. Recommend Air Spading.

It is always recommended to Air Spade prior to any excavation. A Certified Arborist must be on site to monitor and/or perform any root pruning that may be deemed necessary.



AIR SPADING AND ROOT PRUNING: If, during construction, root pruning is required due to exposed or severed roots, the following process should be followed to prevent further damage. It is highly recommended that a Certified Arborist supervise and/or complete the root pruning. Additionally, pruning of the tree branches may be necessary to help compensate for any root loss.

- Air spading is a less invasive option available
- Do not use an excavator to pull or cut roots
- By hand, dig out and around the exposed or severed root prior to cutting
- Only use tree pruning tools with sharpened blades to provide a clean cut
- Tree pruning to compensate for potential root loss may be recommended before root pruning

CERTIFIED ARBORIST ON SITE: It is highly recommended to have a Certified Arborist on site when construction activities could cause root exposure or is within the RPZ of the tree.

ANNUAL MONITORING: All preserved trees should be monitored annually for changes and/or signs of stress after construction activities are completed.

- END

OREGON TREE CARE

TREE INVENTORY

LOCATION: 36535 Industrial Way Sandy, OR 97055

SITE VISIT DATE: January 22, 2020

CERTIFIED ARBORIST: Damien Carré, Certified Arborist, ISA# PN-6405A Certified



Tree Number	ID number	Common Name	Scientific Name	DBH	Vigor
1	2713	Douglas Fir	<i>Pseudotsuga menziesii</i>	8	Good
2	2714	Douglas Fir	<i>Pseudotsuga menziesii</i>	15	Good
3	2715	Douglas Fir	<i>Pseudotsuga menziesii</i>	15	Good
4	2716	Douglas Fir	<i>Pseudotsuga menziesii</i>	14	Good
5	2717	Deodar Cedar	<i>Cedrus deodara</i>	14	Good
6	2718	Douglas Fir	<i>Pseudotsuga menziesii</i>	11	Good
7	2719	Douglas Fir	<i>Pseudotsuga menziesii</i>	11	Good
8	2720	Deodar Cedar	<i>Cedrus deodara</i>	18	Good
9	2721	Douglas Fir	<i>Pseudotsuga menziesii</i>	10	Good
10	2722	Sweetgum	<i>Liquidambar styraciflua</i>	7	Good
11	2723	Douglas Fir	<i>Pseudotsuga menziesii</i>	14	Good
12	2724	Deodar Cedar	<i>Cedrus deodara</i>	18	Good
13	2725	Lilac	<i>Syringa vulgaris</i>	10	Fair-30% dieback
14	2726	Douglas Fir	<i>Pseudotsuga menziesii</i>	14	Good
15	2727	Douglas Fir	<i>Pseudotsuga menziesii</i>	24	Good
16	2728	Douglas Fir	<i>Pseudotsuga menziesii</i>	26	Good
17	2729	Lilac	<i>Syringa vulgaris</i>	7	Fair-30% dieback
18	2730	Lilac	<i>Syringa vulgaris</i>	15	Fair-30% dieback
19	2731	Big Leaf Maple	<i>Acer macrophyllum</i>	16	Poor-40% dead
20	2732	Douglas Fir	<i>Pseudotsuga menziesii</i>	24	Good
21	2733	Douglas Fir	<i>Pseudotsuga menziesii</i>	22	Good
22	2734	Douglas Fir	<i>Pseudotsuga menziesii</i>	12	Good
23	2735	Douglas Fir	<i>Pseudotsuga menziesii</i>	12	Good
24	2736	Red Alder	<i>Alnus rubra</i>	9	Poor-Dead/dying
25	2737	Western Red Cedar	<i>Thuja plicata</i>	19	Good
26	2738	Douglas Fir	<i>Pseudotsuga menziesii</i>	18	Good
27	2739	Douglas Fir	<i>Pseudotsuga menziesii</i>	22	Good
28	2740	Western Red Cedar	<i>Thuja plicata</i>	6	Good
29	2741	Western Red Cedar	<i>Thuja plicata</i>	10	Good
30	2742	Douglas Fir	<i>Pseudotsuga menziesii</i>	20	Good
31	2743	Douglas Fir	<i>Pseudotsuga menziesii</i>	17	Good
32	2744	Douglas Fir	<i>Pseudotsuga menziesii</i>	16	Good
33	2745	Douglas Fir	<i>Pseudotsuga menziesii</i>	16	Good
34	2746	Douglas Fir	<i>Pseudotsuga menziesii</i>	16	Good
35	2747	Douglas Fir	<i>Pseudotsuga menziesii</i>	10	Poor-Dead/dying
36	2748	Douglas Fir	<i>Pseudotsuga menziesii</i>	38	Good
37	2749	Douglas Fir	<i>Pseudotsuga menziesii</i>	9	Good
38	2750	Douglas Fir	<i>Pseudotsuga menziesii</i>	21	Good

39	2751	Red Alder	<i>Alnus rubra</i>	15	Poor-Dead/dying
40	2752	Douglas Fir	<i>Pseudotsuga menziesii</i>	13	Good
41	2753	Red Alder	<i>Alnus rubra</i>	14	Fair-40% dead
42	2754	Douglas Fir	<i>Pseudotsuga menziesii</i>	29	Good
43	2755	Douglas Fir	<i>Pseudotsuga menziesii</i>	9	Good
44	2756	Douglas Fir	<i>Pseudotsuga menziesii</i>	6	Good
45	2757	Red Alder	<i>Alnus rubra</i>	8	Fair-Delaminating bark at base of tree
46	2758	Douglas Fir	<i>Pseudotsuga menziesii</i>	18	Good
47	2759	Western Red Cedar	<i>Thuja plicata</i>	28	Good
48	2760	Western Red Cedar	<i>Thuja plicata</i>	11	Good
49	2761	Douglas Fir	<i>Pseudotsuga menziesii</i>	18	Good
50	2762	Douglas Fir	<i>Pseudotsuga menziesii</i>	9	Good
51	2763	Douglas Fir	<i>Pseudotsuga menziesii</i>	27	Good
52	2764	Black Cottonwood	<i>Populus trichocarpa</i>	7	Good
53	2765	Douglas Fir	<i>Pseudotsuga menziesii</i>	23	Good
54	2766	Douglas Fir	<i>Pseudotsuga menziesii</i>	34	Good
55	2767	Black Cottonwood	<i>Populus trichocarpa</i>	10	Good
56	2768	Douglas Fir	<i>Pseudotsuga menziesii</i>	6	Poor-Dead/dying
57	2769	Douglas Fir	<i>Pseudotsuga menziesii</i>	11	Good
58	2770	Black Cottonwood	<i>Populus trichocarpa</i>	21	Good
59	2771	Black Cottonwood	<i>Populus trichocarpa</i>	9	Fair-30% dieback
60	2772	Douglas Fir	<i>Pseudotsuga menziesii</i>	18	Good
61	2773	Black Cottonwood	<i>Populus trichocarpa</i>	15	Poor-Over 60% dead
62	2774	Black Cottonwood	<i>Populus trichocarpa</i>	15	Poor-Over 60% dead
63	2775	Black Cottonwood	<i>Populus trichocarpa</i>	8	Poor-Over 60% dead
64	2776	Western Red Cedar	<i>Thuja plicata</i>	12	Good

✓
✓
✓
✓
✓
✓
✓
✓

Exhibit G

Preliminary Storm Water Management Report for **TRILLIUM MACHINE**

**ADDRESS: 36535 Industrial Way,
Sandy, Oregon**

Date: August 08, 2019

Prepared for:
Gallant Construction
P.O. Box 181
Banks, OR 97106

Prepared By:
Standridge Design, Inc.
703 Broadway Street, Suite 610
Vancouver, Washington 98660
360.597.9240
Project: GCI001

"I hereby certify that this Storm Water Management Report for Trillium Machine has been prepared by me or under my supervision and meets minimum standards of the City of Sandy and normal standards of engineering practice. I hereby acknowledge and agree that the jurisdiction does not and will not assume liability for the sufficiency, suitability or performance of drainage facilities designed by me."



Table of Contents

SECTION 1 – PROJECT OVERVIEW AND DESCRIPTION.....	1
SECTION 2 – METHODOLOGY.....	2
SECTION 3 – ANALYSIS.....	2
SECTION 4 – ENGINEERING CONCLUSIONS.....	3

Technical Appendices

Appendix A: Existing Conditions Plan Proposed Utility Plans and Catchment Plan
Appendix B: HydroCAD Calculations
Appendix C: Geotechnical Report

List of Figures

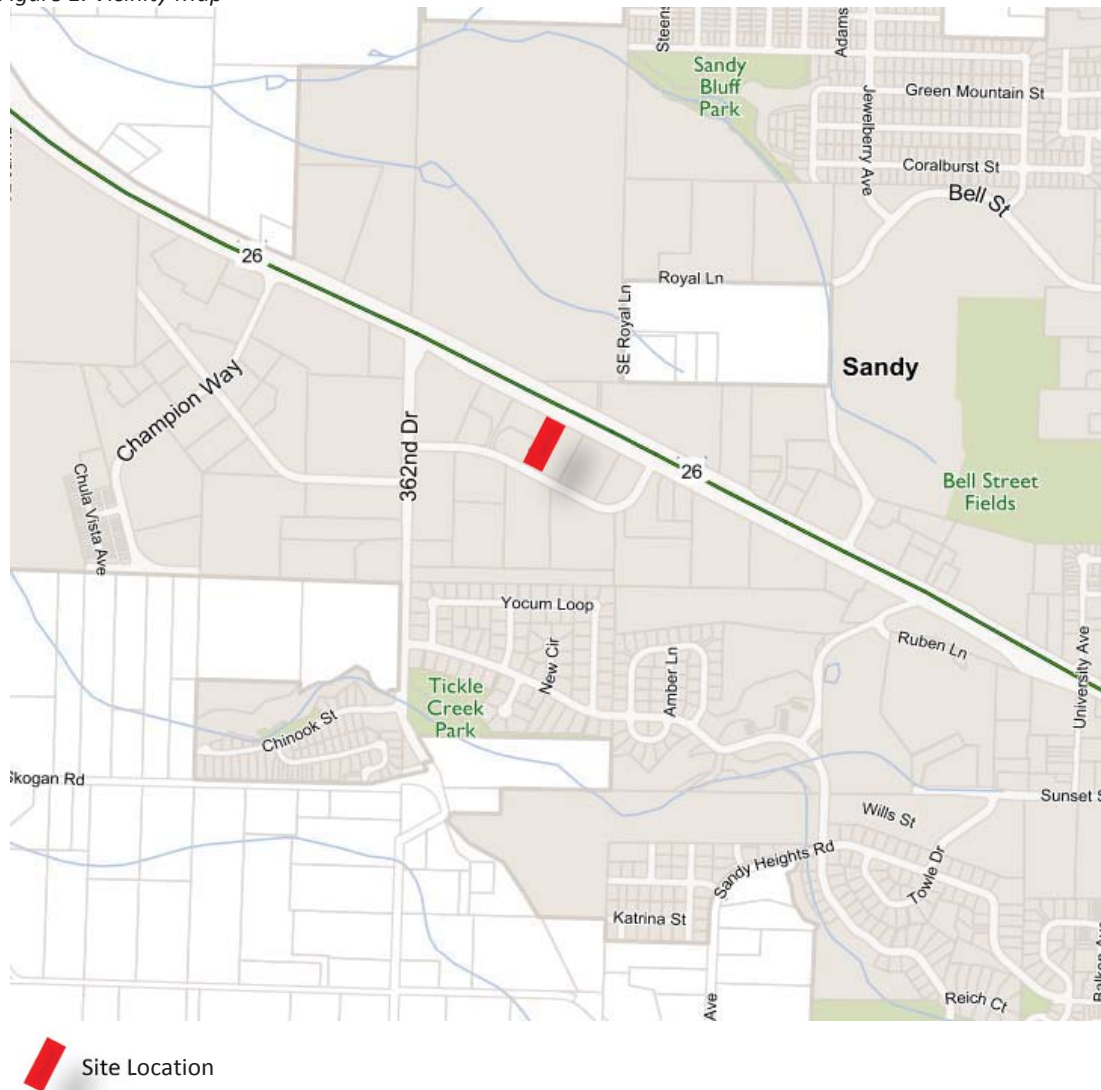
Figure 1: Vicinity Map

Project Overview and Description

The Trillium Machine project site is located between U.S. Highway 26 and Industrial Way, and parcels 36575 and 36525 in Sandy, Oregon. The property address is 36535 Industrial Way and includes parcel number 00666434.

The internal project site is approximately 1.0 acres in size.

Figure 1. Vicinity Map



Trillium Machine
Job #: 9368
August 08, 2019
Page 2

The site is zoned I-2, Light Industrial. The site is bordered by U.S. Highway 26 to the Northeast, Industrial Way to the Southwest, and other parcels to the Northwest and Southeast.

The existing site consists of a parking lot, one main building and several smaller buildings to the Southwest. There is a grassy area and trees to the Northeast. The parking lot and existing main building will be kept with minor revisions to the driveway, while a new building will be built in the grassy area. Public street improvements will be constructed along the Industrial frontage.

The project proposes to construct a new industrial building and lies in the Clackamas Watershed.

Methodology

This project is required to provide stormwater management and disposal in accordance with the 2016 Portland Stormwater Management Manual (SWMM) and the City Municipal Code for the private site. This includes provisions for quantity control (detention), water quality control, and disposal of stormwater runoff from all newly constructed or reconstructed impervious areas.

Stormwater systems must be designed to discharge stormwater in accordance with the SWMM Disposal Hierarchy (SWMM, Exhibit 1-2) that requires all facilities discharge to the highest technically feasible disposal method, which are ranked as follows:

- Category 1 On-site infiltration with surface infiltration facility
- Category 2 On-site infiltration with a private drywell or soakage trench
- Category 3 Off-site flow to drainage way, river, or storm-only pipe
- Category 4 Off-site flow to combined sewer

Category 2 is a good representative of the storm water system on site, as a soakage trench will be used.

Analysis

The SWMM and City Code require analysis of the water quality and the 10 year storm (4.80 in/hr per City of Sandy, OR). The entire water quality storm must filter through the infiltration system. The tested infiltration rate was 2.875 in/hr. The trench was designed to be no more than 3 feet deep due to groundwater presence, based on the recommendation of the Geotechnical Report in Appendix C. Using a factor of safety of 2, the design infiltration rate is 1.4 inches per hour.

Water Quality and Quantity

The runoff from new impervious area greater than 5000 square feet in area must be treated. Per City of Sandy Municipal Code Title 13 Section 18.40.C, an infiltration system provides both water quality and water quantity. Runoff from the new building and new pavement will be conveyed to the infiltration trench that will be located under the new paving. An existing sumped catch basin will provide pre-treatment prior to infiltration. Runoff from the existing pavement and existing building is not included in the infiltration calculations.

Runoff from up to the 10-year, 24-hour storm will be infiltrated. An overflow to the existing ditch located on the north side of the site will be provided for greater than 10-year storm runoff.

Trillium Machine
Job #: 9368
August 08, 2019
Page 3

Table 1 Catchment Areas

Catchment ID	Source	Impervious Area (SF)	Tree Credit (SF)	Impervious Area (SF)
Proposed Building	Building	10,000	N/A	10,000
Proposed Pavement	Pavement	2,878	N/A	2,890

Table 2 Catchment Facilities

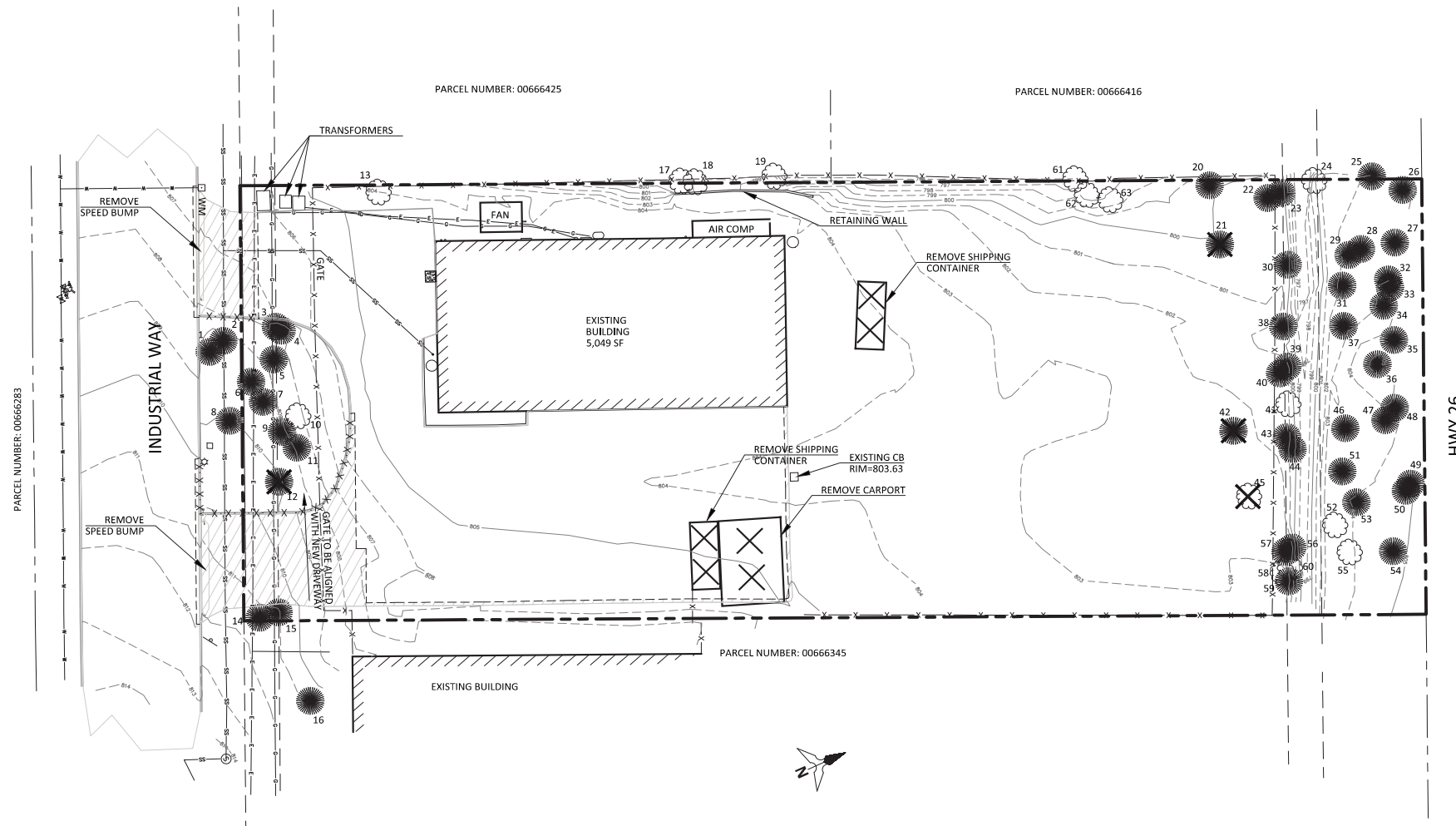
Facility ID	Impervious Area (SF)	Ownership	Facility Type / Function	Facility Size (SF)	Curve Number
Pond 1	12,878	Private	Infiltration Trench	900	98

Pond 1 is the infiltration trench and catches runoff from the new building and the new parking lot pavement detains it until it infiltrates into the existing soil.

Engineering Conclusions

The purpose of this report is to show that City of Portland 2016 SWMM requirements will be met for the project and to present the methodology and calculations used. The calculations for the storm water facility show that it is adequately designed to treat and infiltrate runoff up to the 10-year storm.

**Appendix A:
Existing Conditions Plan
Proposed Utility and Catchment Plan**



SHEET LEGEND	
--- 240 ---	EXISTING 5' CONTOUR
--- 238 ---	EXISTING CONTOUR
---	PROJECT BOUNDARY
⊕	EXISTING STORM MANHOLE
□	EXISTING CATCH BASIN
⊙	EXISTING SANITARY MANHOLE
---	EXISTING STORM
SS	EXISTING SANITARY
W	EXISTING WATER
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING WATER VALVE
⊕	EXISTING SIGNAGE
---	EXISTING EASEMENT LINE

DEMOLITION LEGEND	
⊕	DEMOLISH A.C. PAVEMENT, CURB AND SIDEWALK TO SAWCUT LINE
---	SAWCUT LINE
XXXX	DEMO EXISTING CURB, PARKING STRIPE OR STRUCTURE
⊕	REMOVE EXISTING SIGN, TREE OR STRUCTURE

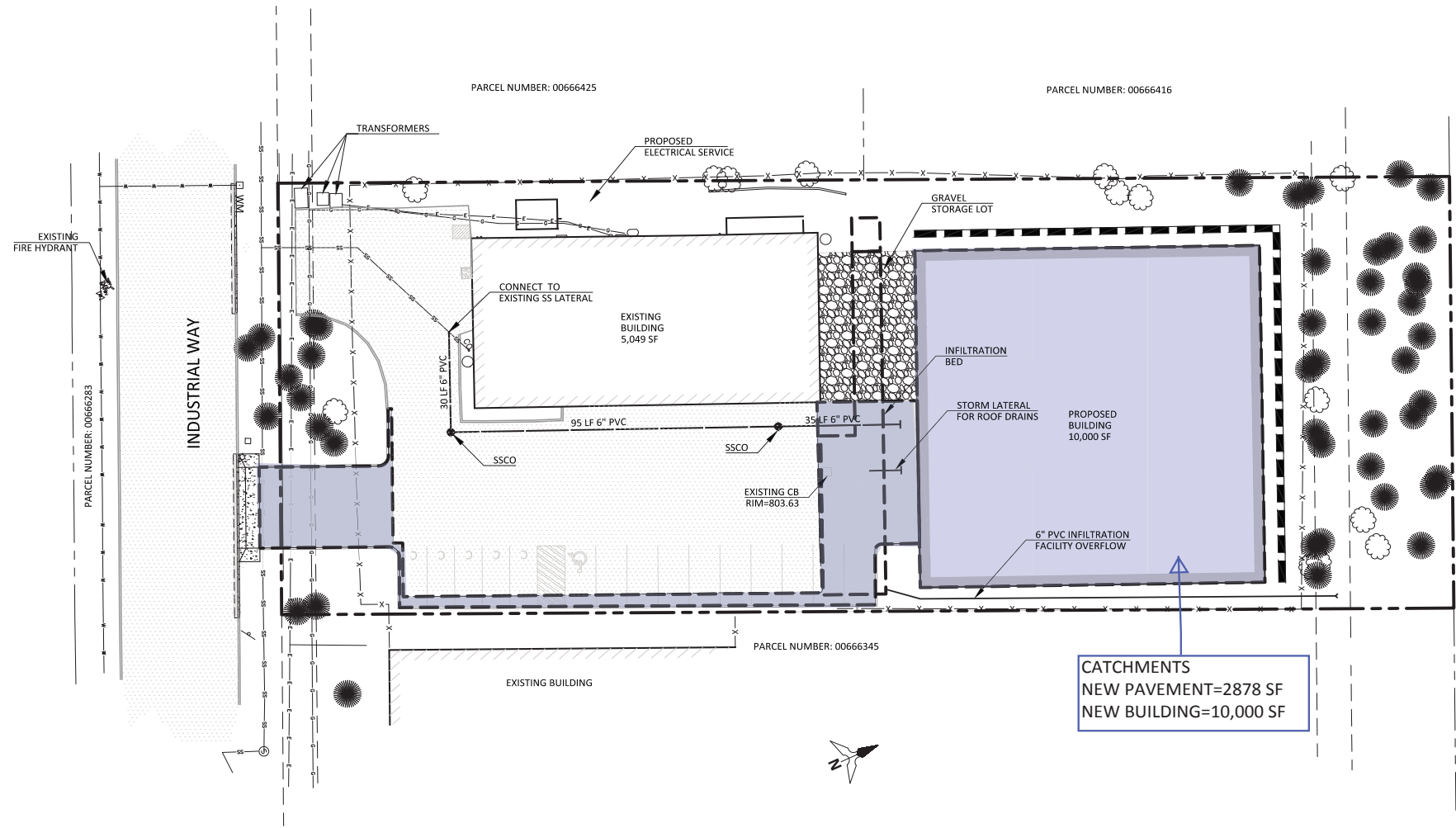
TREE TABLE											
NUMBER	TYPE	SIZE (DIA.)	RETAIN/REMOVE	NUMBER	TYPE	SIZE (DIA.)	RETAIN/REMOVE	NUMBER	TYPE	SIZE (DIA.)	RETAIN/REMOVE
1	EVERGREEN	8 IN.	RETAIN	22	EVERGREEN	11 IN.	RETAIN	43	EVERGREEN	9 IN.	RETAIN
2	EVERGREEN	18 IN.	RETAIN	23	EVERGREEN	12 IN.	RETAIN	44	EVERGREEN	6 IN.	RETAIN
3	EVERGREEN	16 IN.	RETAIN	24	DECIDUOUS	10 IN.	RETAIN	45	DECIDUOUS	7 IN.	REMOVE
4	EVERGREEN	14 IN.	RETAIN	25	EVERGREEN	17 IN.	RETAIN	46	EVERGREEN	16 IN.	RETAIN
5	EVERGREEN	14 IN.	RETAIN	26	EVERGREEN	17 IN.	RETAIN	47	EVERGREEN	25 IN.	RETAIN
6	EVERGREEN	12 IN.	RETAIN	27	EVERGREEN	20 IN.	RETAIN	48	EVERGREEN	11 IN.	RETAIN
7	EVERGREEN	12 IN.	RETAIN	28	EVERGREEN	16 IN.	RETAIN	49	EVERGREEN	16 IN.	RETAIN
8	EVERGREEN	19 IN.	RETAIN	29	EVERGREEN	10 IN.	RETAIN	50	EVERGREEN	9 IN.	RETAIN
9	EVERGREEN	10 IN.	RETAIN	30	EVERGREEN	17 IN.	RETAIN	51	EVERGREEN	22 IN.	RETAIN
10	DECIDUOUS	7 IN.	RETAIN	31	EVERGREEN	11 IN.	RETAIN	52	DECIDUOUS	8 IN.	RETAIN
11	EVERGREEN	14 IN.	RETAIN	32	EVERGREEN	13 IN.	RETAIN	53	EVERGREEN	22 IN.	RETAIN
12	EVERGREEN	18 IN.	REMOVE	33	EVERGREEN	12 IN.	RETAIN	54	EVERGREEN	36 IN.	RETAIN
13	DECIDUOUS	6 IN.	RETAIN	34	EVERGREEN	11 IN.	RETAIN	55	DECIDUOUS	10 IN.	RETAIN
14	EVERGREEN	16 IN.	RETAIN	35	EVERGREEN	10 IN.	RETAIN	56	EVERGREEN	6 IN.	RETAIN
15	EVERGREEN	24 IN.	RETAIN	36	EVERGREEN	40 IN.	RETAIN	57	EVERGREEN	11 IN.	RETAIN
16	EVERGREEN	24 IN.	RETAIN	37	EVERGREEN	9 IN.	RETAIN	58	DECIDUOUS	9 IN.	RETAIN
17	DECIDUOUS	10 IN.	RETAIN	38	EVERGREEN	17 IN.	RETAIN	59	EVERGREEN	17 IN.	RETAIN
18	DECIDUOUS	20 IN.	RETAIN	39	EVERGREEN	14 IN.	RETAIN	60	DECIDUOUS	18 IN.	RETAIN
19	DECIDUOUS	84 IN.	RETAIN	40	EVERGREEN	12 IN.	RETAIN	61	DECIDUOUS	30 IN.	RETAIN
20	EVERGREEN	20 IN.	RETAIN	41	DECIDUOUS	24 IN.	RETAIN	62	DECIDUOUS	60 IN.	RETAIN
21	EVERGREEN	20 IN.	REMOVE	42	EVERGREEN	24 IN.	REMOVE	63	DECIDUOUS	30 IN.	RETAIN

PREPARED FOR:
STANDRIDGE
 PLANNING/ENGINEERING/SURVEYING
 M 113 W 7th St, Suite 200
 Vancouver, WA 98660
 O 360.979.9240 F 360.979.4881
 WWW.STANDRIDGEINC.COM

REV.	DATE	DESCRIPTION

EXISTING CONDITIONS AND
 DEMOLITION PLAN
 TRILLIUM MACHINE
 CITY OF SANDY, OR
 PROJECT NO.: GCI001
 DESIGN BY: COB
 REVIEWED BY: LKS
 DATE: 05/30/2019

SHEET
03
 SCALE: 1" = 20'
 SHEET SIZE: 22x34



SHEET LEGEND	
	EXISTING CATCH BASIN
	EXISTING SANITARY MANHOLE
	EXISTING STORM
	EXISTING SANITARY
	EXISTING WATER
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING SIGNAGE
	EXISTING EASEMENT LINE
	PROPOSED CLEANOUT
	PROPOSED CLEANOUT

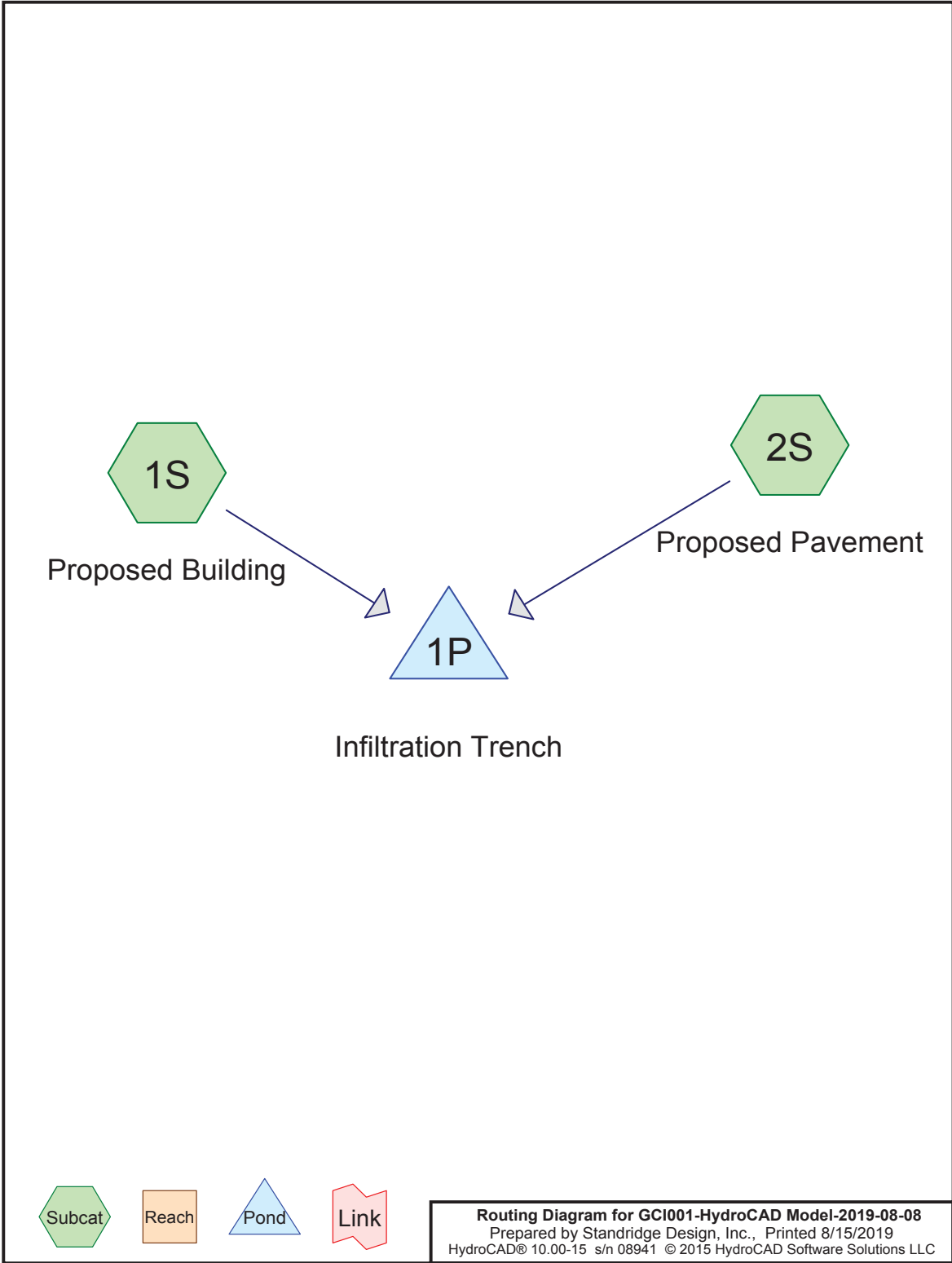
PREPARED FOR:
STANDRIDGE
 PLANNING ENGINEERING SURVEYING
 M 113 W 7th St, Suite 200
 Vancouver, WA 98660
 O 360.979.9240 F 360.979.4981
 WWW.STANDRIDGEINC.COM
 TRILLIUM MACHINE, INC
 SANDY, OR 97055
 503.668.6241

REV.	DATE	DESCRIPTION

UTILITY PLAN
 TRILLIUM MACHINE
 CITY OF SANDY, OR
 PROJECT NO.: GC1001
 DESIGN BY: CDB
 REVIEWED BY: LKS
 DATE: 05/30/2019
 SHEET

06
 SCALE: 1" = 30'
 SHEET SIZE: 22x34

**Appendix B:
HydroCAD Calculations**



GCI001-HydroCAD Model-2019-08-08

Prepared by Standridge Design, Inc.

HydroCAD® 10.00-15 s/n 08941 © 2015 HydroCAD Software Solutions LLC

Trillium Machine
Type IA 24-hr 10-YR Rainfall=4.80"

Printed 8/15/2019

Page 2

Summary for Subcatchment 1S: Proposed Building

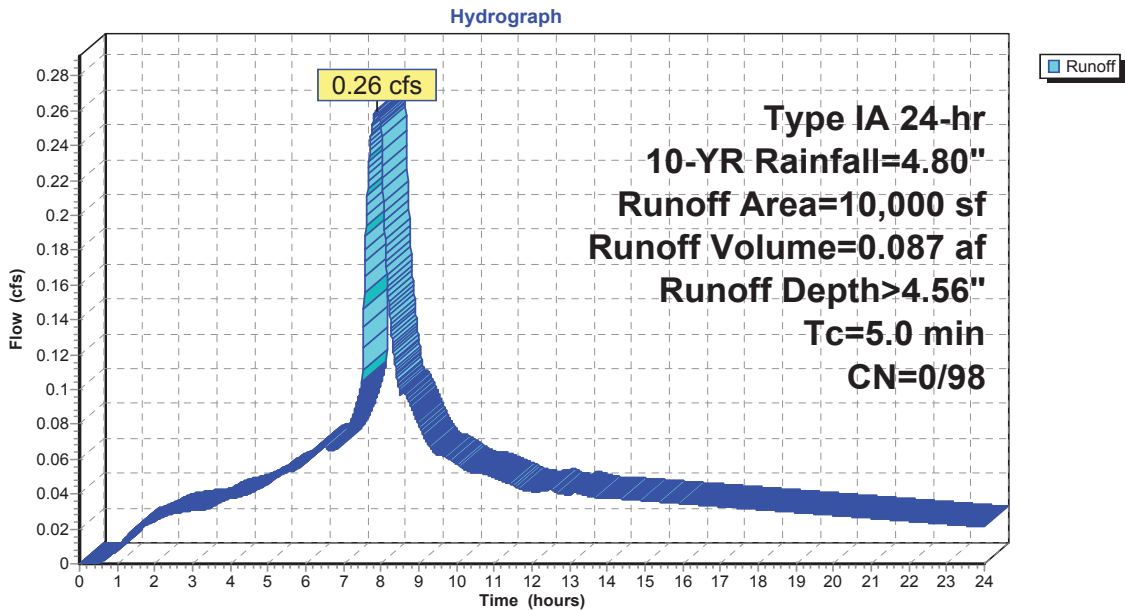
Runoff = 0.26 cfs @ 7.88 hrs, Volume= 0.087 af, Depth> 4.56"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
Type IA 24-hr 10-YR Rainfall=4.80"

Area (sf)	CN	Description
* 10,000	98	New Building
10,000	98	100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, Min

Subcatchment 1S: Proposed Building



GCI001-HydroCAD Model-2019-08-08

Prepared by Standridge Design, Inc.

HydroCAD® 10.00-15 s/n 08941 © 2015 HydroCAD Software Solutions LLC

Trillium Machine
Type IA 24-hr 10-YR Rainfall=4.80"

Printed 8/15/2019

Page 3

Summary for Subcatchment 2S: Proposed Pavement

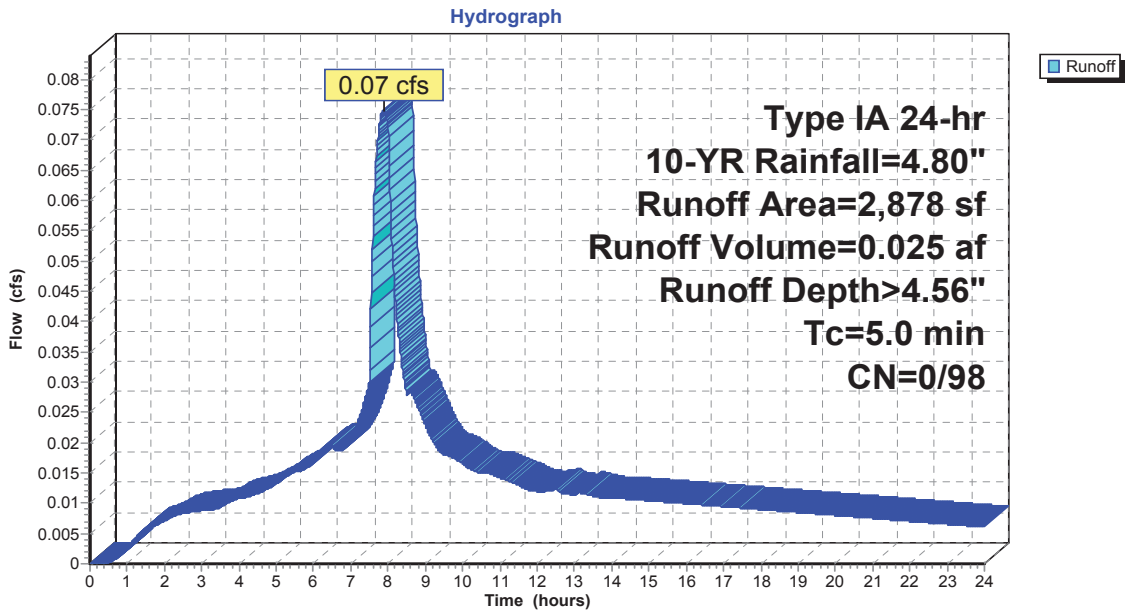
Runoff = 0.07 cfs @ 7.88 hrs, Volume= 0.025 af, Depth> 4.56"

Runoff by SBUH method, Split Pervious/Imperv., Time Span= 0.00-24.00 hrs, dt= 0.01 hrs
Type IA 24-hr 10-YR Rainfall=4.80"

Area (sf)	CN	Description
* 2,878	98	Pavement
2,878	98	100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry, New Pavement

Subcatchment 2S: Proposed Pavement



GCI001-HydroCAD Model-2019-08-08

Prepared by Standridge Design, Inc.

HydroCAD® 10.00-15 s/n 08941 © 2015 HydroCAD Software Solutions LLC

Trillium Machine
Type IA 24-hr 10-YR Rainfall=4.80"

Printed 8/15/2019

Page 4

Summary for Pond 1P: Infiltration Trench

Inflow Area = 0.296 ac, 100.00% Impervious, Inflow Depth > 4.56" for 10-YR event
 Inflow = 0.34 cfs @ 7.88 hrs, Volume= 0.112 af
 Outflow = 0.08 cfs @ 9.92 hrs, Volume= 0.104 af, Atten= 77%, Lag= 122.9 min
 Discarded = 0.08 cfs @ 9.92 hrs, Volume= 0.104 af

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs / 2
 Peak Elev= 803.90' @ 9.92 hrs Surf.Area= 0.031 ac Storage= 0.031 af

Plug-Flow detention time= 220.7 min calculated for 0.104 af (93% of inflow)
 Center-of-Mass det. time= 166.5 min (820.7 - 654.2)

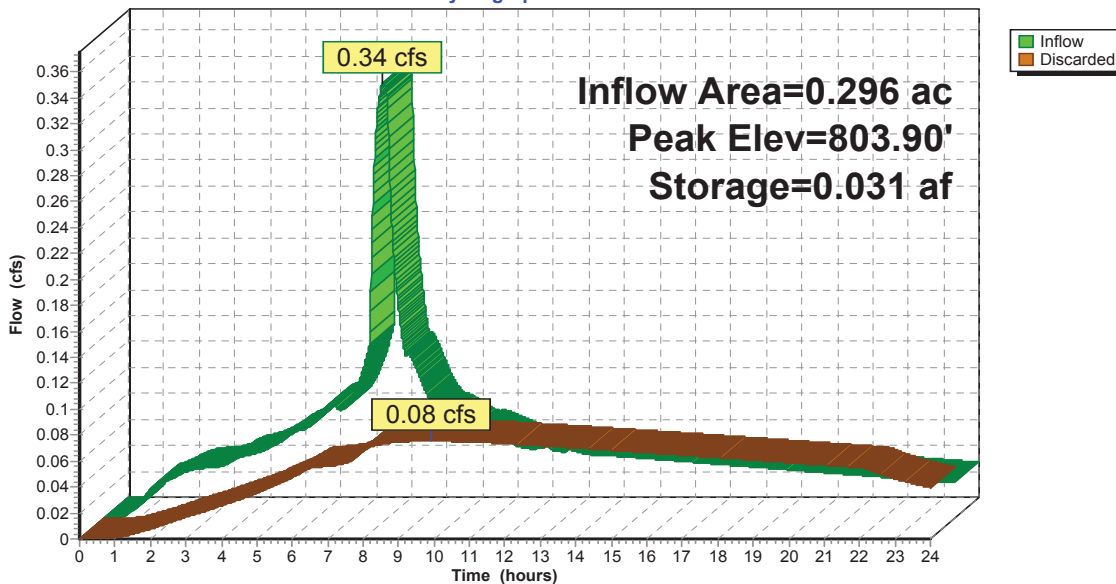
Volume	Invert	Avail.Storage	Storage Description
#1	801.00'	0.033 af	15.00'W x 90.00'L x 3.00'H Prismaoid 0.093 af Overall x 35.0% Voids

Device	Routing	Invert	Outlet Devices
#1	Discarded	801.00'	1.400 in/hr Exfiltration over Surface area Conductivity to Groundwater Elevation = 797.00' Phase-In= 1.00'

Discarded OutFlow Max=0.08 cfs @ 9.92 hrs HW=803.90' (Free Discharge)
 ↳1=Exfiltration (Controls 0.08 cfs)

Pond 1P: Infiltration Trench

Hydrograph



**Appendix C:
Geotechnical Report**

Infiltration testing Addendum Industrial Way for Trillium Machine

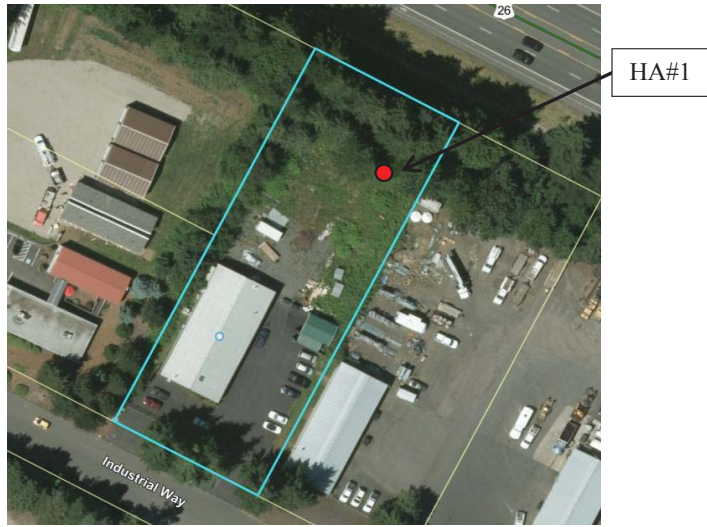
Infiltration testing was performed as per the City of Portland Storm Water Manual. Testing took place in a hand auger hole and is a constant head test method. The test was run a total of three times. The rates are shown on the following page spread sheet with the site plan of the site. RSS found the rate of **2.875in/hr** at HA#1 at 3ft.

As we found shallow ground water at 8ft RSS does not recommend any deeper facilities than 3ft so that you have the minimum 5ft separation between bottom of facility and ground water table.



Mia Mahedy, PE GE

Rapid Soil Solutions Infiltration Test Results



Preliminary Information

Location:	36535 Industrial Way Sandy, OR 97055	Performed By: (Supervised by Mia Mahedy, PE, GE)	Rachel Gipe, GIT
Date & Time:	22 April 2019, 9:30 AM	Instrument Used:	Hand Auger
Weather:	Sunny, 60 degrees	Depth:	8'

HA #1

Soil Profile Detail

Depth (ft)	Description
0'-2'	Damp, rich brown, organics and gravelly clay. FILL
2'-4'	Damp, orangish-red-brown, fine grained, silty CLAY
4'-6'	Damp, reddish-brown, stiff to very stiff, fine grained CLAY
6'-7'	Damp-dry, red-brown, very stiff to hard, high plasticity CLAY
7'-7.5'	Damp, red-brown, very stiff to hard, CLAY. Blocky when disturbed, black staining on fracture surfaces.
7.5'-8'	Wet, red-brown, very stiff to hard, CLAY. Blocky when disturbed, black staining on fracture surfaces.

No water was added to the boring. At completion of the boring at 10 AM there was a small amount of water in the very bottom of the boring. At 1:30 PM, 2' of water had accumulated in the bottom of the boring.

Time	Measurement (inches)	Level Refilled To (inches)	Rate (inches/hour)
Site Infiltration Rate (inches/hour)			-



503-816-3689

mia@rapidsoilsolutions.com

Rapid Soil Solutions Infiltration Test Results



Preliminary Information

Location:	36535 Industrial Way Sandy, OR 97055	Performed By: (Supervised by Mia Mahedy, PE, GE)	Rachel Gipe, GIT
Date & Time:	22 April 2019, 9:30 AM	Instrument Used:	Hand Auger
Weather:	Sunny, 60 degrees	Depth:	3'

HA #2

Soil Profile Detail

Depth (ft)	Description
0'-1.5'	Damp, rich brown, organics and FILL.
1.5'-3'	Damp, orange-red hued brown, fine grained, silty CLAY
3'-4'	Damp, orange-red, very stiff, fine grained, silty CLAY

A presoak period was started at 9:45 AM with 12.5" of water. Water was added every hour to bring the head to at least 12". 16 5/8 inches of water infiltrated into the boring over the three-hour pre-soak period.

Time	Measurement (inches)	Level Refilled To (inches)	Rate (inches/hour)
12:45	13.0	(13)	
1:05	11.25		
1:25	9.75		
1:45	9	12.25	4
2:05	11		
2:25	10.25		
2:45	9.375	12.5	2.875
3:05	11.25		
3:25	10.125		
3:45	9.5		3
Site Infiltration Rate (inches/hour)			2.875



503-816-3689

mia@rapidsoilsolutions.com

M E M O R A N D U M

TO:
Josh Shroyer
Gallant Construction Inc.
josh@gogallant.com

SI PROJECT #:
GC1001

DATE:
September 13, 2019

FROM:
Laura Standridge, PE

PROJECT NAME:
Trillium Machine

DISTRIBUTION:
VIA EMAIL
File

SUBJECT:
Access location adjustment

The proposed Trillium Machine building addition is located on tax lot 24E14 01123 and at 36535 Industrial Way in Sandy, Oregon. The project proposal is to build a second warehouse building behind the existing building. Attachments 1 & 2 show the existing and proposed site plans respectively. The existing site currently has two driveway accesses.

The applicant is proposing to remove the north access and to adjust the width of the south access. The location of the driveway will be shifted west to line up with the proposed drive aisle on site. This will bring the driveway to the site into compliance with Section 17.98.100 of the Sandy Development Code. Two way traffic is proposed and vision clearance is provided.

17.98.100 DRIVEWAYS

A. A driveway to an off-street parking area shall be improved from the public roadway to the parking area a minimum width of 20 feet for a two-way drive or 12 feet for a one-way drive but in either case not less than the full width of the standard approach for the first 20 feet of the driveway.

Response: The new south driveway will be adjusted to a width of 24 feet.

B. A driveway for a single-family dwelling shall have a minimum width of 10 feet.

Response: Not applicable

C. A driveway for a two-family dwelling shall have a minimum width of 20 feet. A driveway approach must be constructed in accordance with applicable city standards and the entire driveway must be paved with asphalt or concrete.

Response: Not applicable



D. Driveways, aisles, turnaround areas and ramps shall have a minimum vertical clearance of twelve feet for their entire length and width but such clearance may be reduced in parking structures.

Response: No covers are proposed so vertical clearance is 12 feet or greater.

E. No driveway shall traverse a slope in excess of 15 percent at any point along the driveway length.

Response: The new driveway does not exceed 15 percent.

F. The location and design of the driveway shall provide for unobstructed sight per the vision clearance requirements. Requests for exceptions to these requirements will be evaluated by the City Engineer considering the physical limitations of the lot and safety impacts to vehicular, bicycle, and pedestrian traffic.

Response: The south driveway has sufficient vision clearance per Section 17.74.30, providing a 20x20 triangle that contains only a light pole and no parking sign, which are allowed.

Please let me know if you have questions or concerns.

Sincerely,
Standridge, Inc.

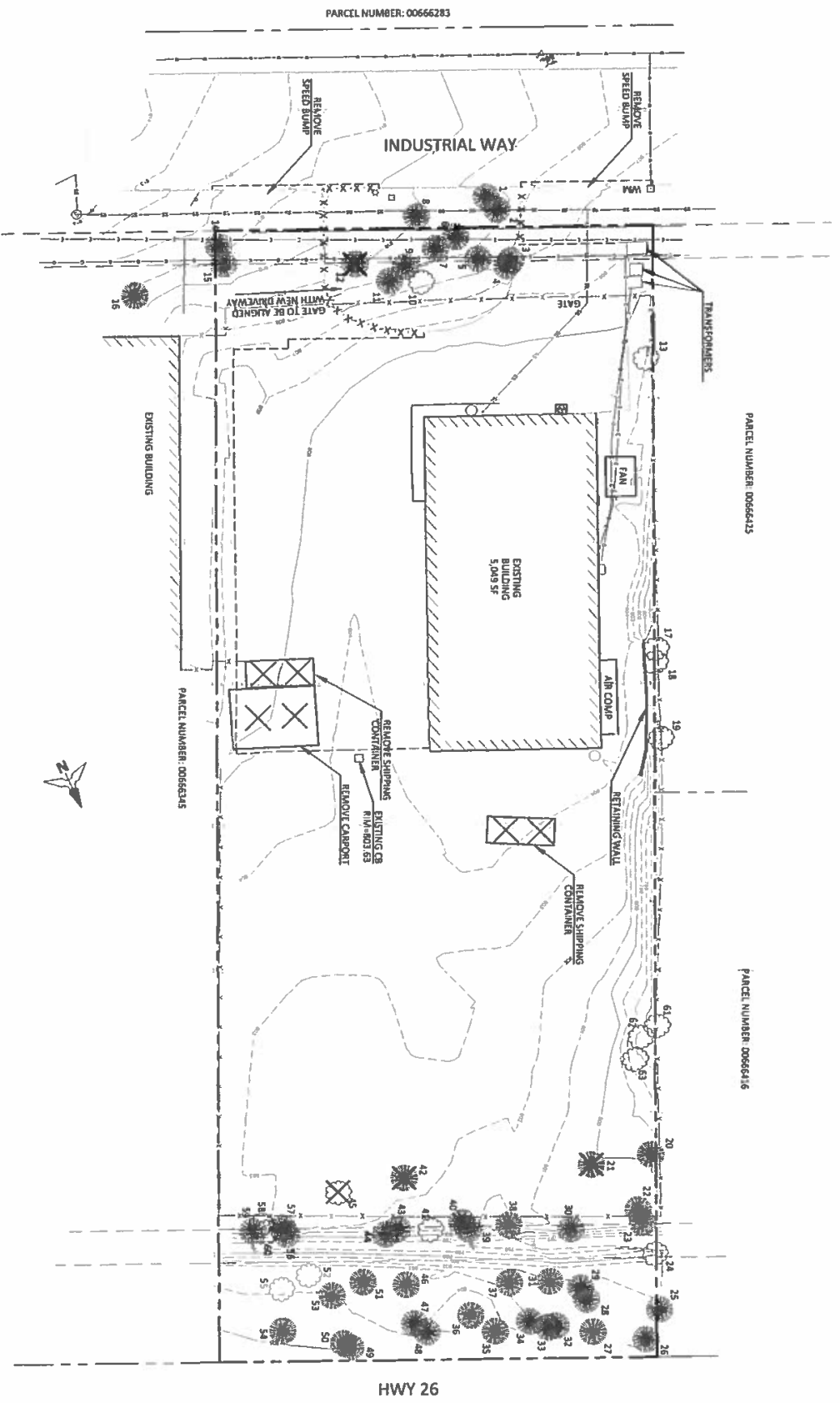


EXPIRES 6-30-20

Laura Standridge, PE, LEED AP
Principal

Attachments:

1. Existing Conditions
2. Proposed Conditions



TREE TABLE

NUMBER	TYPE	SIZE (DIA.)	RETAIN/REMOVE	NUMBER	TYPE	SIZE (DIA.)	RETAIN/REMOVE	NUMBER	TYPE	SIZE (DIA.)	RETAIN/REMOVE	NUMBER	TYPE	SIZE (DIA.)	RETAIN/REMOVE
1	EVERGREEN	8 IN.	RETAIN	22	EVERGREEN	11 IN.	RETAIN	43	EVERGREEN	9 IN.	RETAIN	51	EVERGREEN	22 IN.	RETAIN
2	EVERGREEN	18 IN.	RETAIN	23	EVERGREEN	12 IN.	RETAIN	44	EVERGREEN	6 IN.	REMOVE	52	EVERGREEN	8 IN.	RETAIN
3	EVERGREEN	18 IN.	RETAIN	24	DECIDUOUS	10 IN.	RETAIN	45	DECIDUOUS	7 IN.	REMOVE	53	EVERGREEN	22 IN.	RETAIN
4	EVERGREEN	14 IN.	RETAIN	25	EVERGREEN	17 IN.	RETAIN	46	EVERGREEN	16 IN.	RETAIN	54	EVERGREEN	36 IN.	RETAIN
5	EVERGREEN	14 IN.	RETAIN	26	EVERGREEN	17 IN.	RETAIN	47	EVERGREEN	25 IN.	RETAIN	55	EVERGREEN	10 IN.	RETAIN
6	EVERGREEN	12 IN.	RETAIN	27	EVERGREEN	20 IN.	RETAIN	48	EVERGREEN	11 IN.	RETAIN	56	EVERGREEN	6 IN.	RETAIN
7	EVERGREEN	13 IN.	RETAIN	28	EVERGREEN	16 IN.	RETAIN	49	EVERGREEN	16 IN.	RETAIN	57	DECIDUOUS	9 IN.	RETAIN
8	EVERGREEN	19 IN.	RETAIN	29	EVERGREEN	20 IN.	RETAIN	50	EVERGREEN	9 IN.	RETAIN	58	DECIDUOUS	17 IN.	RETAIN
9	EVERGREEN	10 IN.	RETAIN	30	EVERGREEN	17 IN.	RETAIN	51	EVERGREEN	22 IN.	RETAIN	59	DECIDUOUS	18 IN.	RETAIN
10	DECIDUOUS	7 IN.	REMOVE	31	EVERGREEN	11 IN.	RETAIN	52	DECIDUOUS	8 IN.	RETAIN	60	DECIDUOUS	30 IN.	RETAIN
11	EVERGREEN	14 IN.	RETAIN	32	EVERGREEN	13 IN.	RETAIN	53	EVERGREEN	22 IN.	RETAIN	61	DECIDUOUS	60 IN.	RETAIN
12	EVERGREEN	10 IN.	RETAIN	33	EVERGREEN	12 IN.	RETAIN	54	EVERGREEN	36 IN.	RETAIN	62	DECIDUOUS	60 IN.	RETAIN
13	DECIDUOUS	6 IN.	REMOVE	34	EVERGREEN	11 IN.	RETAIN	55	DECIDUOUS	10 IN.	RETAIN	63	DECIDUOUS	30 IN.	RETAIN
14	EVERGREEN	16 IN.	RETAIN	35	EVERGREEN	10 IN.	RETAIN	56	EVERGREEN	10 IN.	RETAIN				
15	EVERGREEN	24 IN.	RETAIN	36	EVERGREEN	40 IN.	RETAIN	57	EVERGREEN	11 IN.	RETAIN				
16	EVERGREEN	24 IN.	RETAIN	37	EVERGREEN	9 IN.	RETAIN	58	DECIDUOUS	11 IN.	RETAIN				
17	DECIDUOUS	10 IN.	RETAIN	38	EVERGREEN	17 IN.	RETAIN	59	DECIDUOUS	17 IN.	RETAIN				
18	DECIDUOUS	20 IN.	RETAIN	39	EVERGREEN	14 IN.	RETAIN	60	DECIDUOUS	30 IN.	RETAIN				
19	DECIDUOUS	20 IN.	RETAIN	40	EVERGREEN	12 IN.	RETAIN	61	DECIDUOUS	30 IN.	RETAIN				
20	EVERGREEN	20 IN.	REMOVE	41	DECIDUOUS	24 IN.	REMOVE	62	DECIDUOUS	60 IN.	RETAIN				
21	EVERGREEN	20 IN.	REMOVE	42	EVERGREEN	24 IN.	REMOVE	63	DECIDUOUS	30 IN.	RETAIN				

SHEET LEGEND

- 250 --- EXISTING S CONTOUR
- 230 --- EXISTING CONTOUR
- PROJECT BOUNDARY
- EXISTING STORM MANHOLE
- ⊙ EXISTING CATCH BASIN
- ⊠ EXISTING SANITARY MANHOLE
- ⊕ EXISTING STORM
- SS --- EXISTING SANITARY
- W --- EXISTING WATER
- EXISTING FIRE HYDRANT
- WV --- EXISTING WATER VALVE
- EXISTING SEWAGE
- EXISTING EASEMENT LINE

DEMOLITION LEGEND

- DEMOLISH A.C. PAVEMENT, CURB AND SIDEWALK TO SAWCUT LINE
- SAWCUT LINE
- DEAD EXISTING CURB, PARKING STRIPE OR STRUCTURE
- ⊗ REMOVE EXISTING SIGN, TREE OR STRUCTURE

REV.	DATE	DESCRIPTION

PREPARED BY:

STANDRIDGE
PLANNING | ENGINEERING | SURVEYING

M 113 W 7th St, Suite 200
Vancouver, WA 98660
O 360.597.9240 F 360.750.4981
WWW.STANDRIDGEINC.COM

PREPARED FOR:

TRILLIUM MACHINE, INC
SANDY, OR 97055
503.568.8241

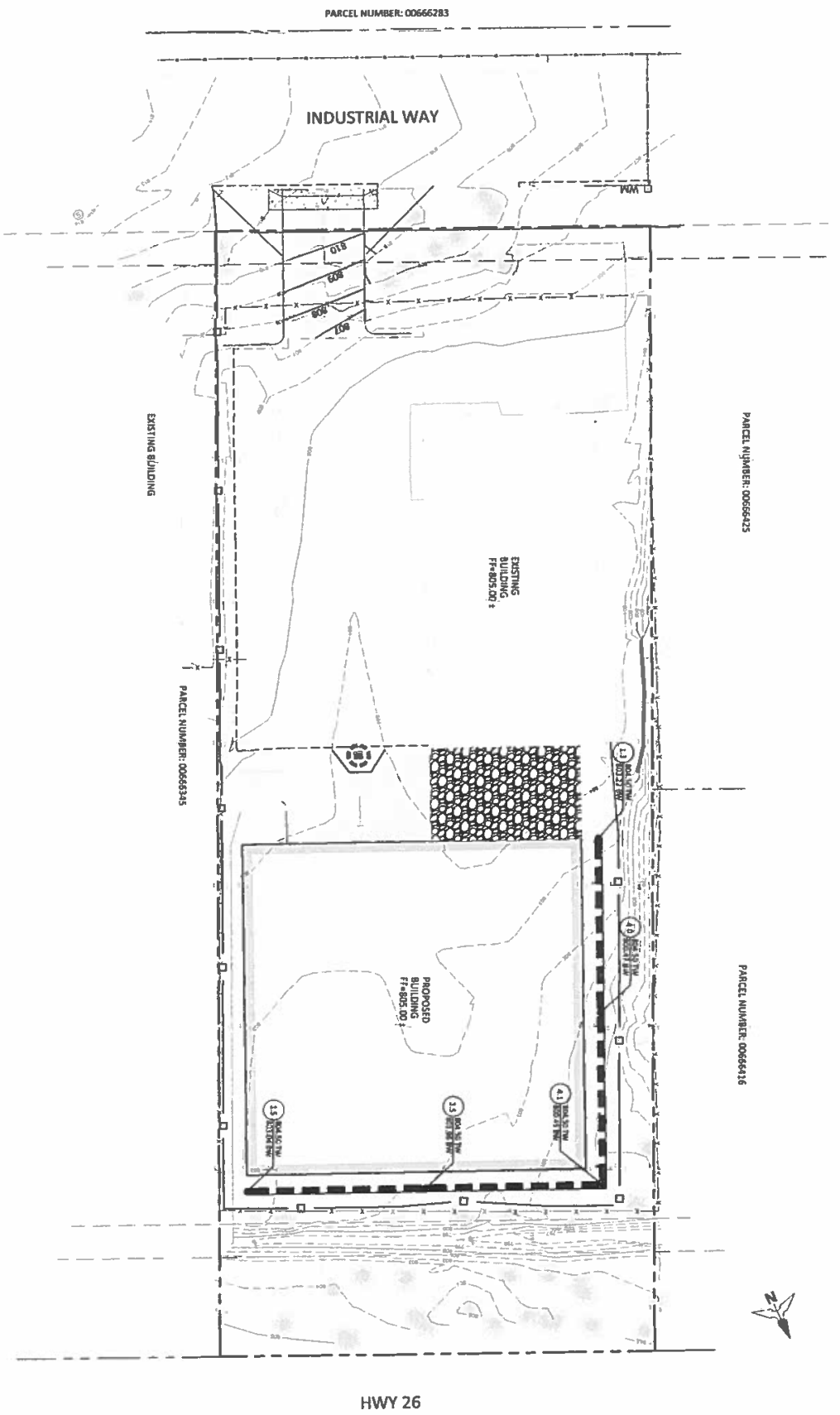
EXISTING CONDITIONS AND DEMOLITION PLAN

TRILLIUM MACHINE
CITY OF SANDY, OR

PROJECT NO.: G001
DESIGNED BY: CH
REVIEWED BY: LK
DATE: 06/30/2018
SHEET

1

SCALE: 1" = 20'
SHEET SIZE: 22x34



SHEET LEGEND	
	PROPOSED 5' CONTOUR
	PROPOSED CONTOUR
	EXISTING 5' CONTOUR
	EXISTING CONTOUR

NOTE: PROPOSED CONTOURS ARE TO FINISHED GRADE.

SHEET LEGEND	
	BLACK SEDIMENTATION FENCE
	INLET PROTECTION

REV.	DATE	DESCRIPTION

PREPARED BY:
STANDRIDGE
 PLANNING | ENGINEERING | SURVEYING
 M 113 W 7th St, Suite 200
 Vancouver, WA 98660
 O 360.597.9240 F 360.750.4981
 WWW.STANDRIDGEINC.COM

PREPARED FOR:
 TRILLIUM MACHINE, INC
 SANDY, OR 97055
 503.668.8241

GRADING AND EROSION CONTROL PLAN
 TRILLIUM MACHINE
 CITY OF SANDY, OR

PROJECT NO.: G0001
 DESIGN BY: CDB
 REVIEWED BY: LJS
 DATE: 05/20/2019
 SHEET

2



Exhibit I



SlimPak Pro

WSPS40LED 40 Watt LED SlimPak



3000K or warmer CCTs only

Project Information

Job Name

Fixture Type 40 Watt LED Die Cast SlimPak

Catalog Number WSPS40LED

Approved by

SPECIFICATIONS:

	WSPS40LED3K	WSPS40LED4K	WSPS40LED	WSPS40LED5K
Lumens:	3712	3712	4047	4394
Watts:	37.05	37.05	38.28	37.81
Lumens/Watt:	100.18	100.18	105.72	116.21
CRI:	82.5	71.2	75.2	71.2
CCT:	2929	4000	4576	4888
DLC Prod. ID:	PYV6V815	P4XP2HAK	P894U7BK	PW41S8M6

Construction:

Designed for commercial and industrial applications, providing cooler operating temperatures, brighter light and longer LED life. Apertures for field or factory installed photocontrol. Hinged at bottom to prevent leakage.

Installation:

Labor saving features including bubble level and removable hinged face frame.

Zero Glare:

The fixture design directs more light down and forward without wasting lumens and offensive light.

Thermal Management:

Atlas SlimPak Pro fixtures are designed as a complete system to optimize LED life and light output. The Patent Pending thermal stacking heat removal technology extracts heat from within the housing moving it away from LEDs and components. The lower temperatures result in long LED life (200,000+ hrs') and component life and also allows for higher light output.

Listings:

Luminaire is certified to UL/cUL Standards for Wet Locations DesignLights Consortium qualified luminaire, eligible for rebates from DLC member utilities. IDA Listed (3000K or warmer CCTs only)

AC Input:

120/208/240/277 V

Driver:

Constant current, Class 2, 120-277 VAC, 50-60 Hz
High Efficiency – min. 85%
Off-State Power: 0 Watts
0-10 V Dimming

LEDs

3000K | 4000K | 4500K | 5000K CCT

Testing:

Atlas LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 & LM-80.

Warranty: Five-year limited warranty

Photo Control:

For factory installed 120V button photo control add suffix PC to part number. Atlas uses only premium LED compatible photocontrols.

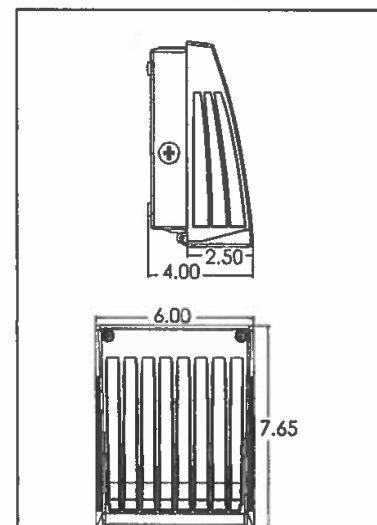
Alpha Series LED

PROFESSIONAL GRADE



Patent Pending

DIMENSIONS:



¹LED Life Span Based Upon LM-80 Test Results

Rebates and Incentives are available in many areas. Contact an Atlas Representative for more information.

ATLAS LIGHTING PRODUCTS, INC.

PO BOX 2348 | BURLINGTON, NC 27216
800-849-8485 | FAX: 1-855-847-2784 | www.atlasled.com

*The majority of Atlas Lighting Products are assembled in USA facilities by an American Workforce utilizing both Domestic and Foreign components. Meets Buy American requirements within the ARRA.



SlimPak Pro

WSPS40LED 40 Watt LED SlimPak

ORDERING FORMAT

WSPS
 PRODUCT SERIES
 WSPS = Small SlimPak

40LED
 WATTAGE
 40LED = 40 System Watts

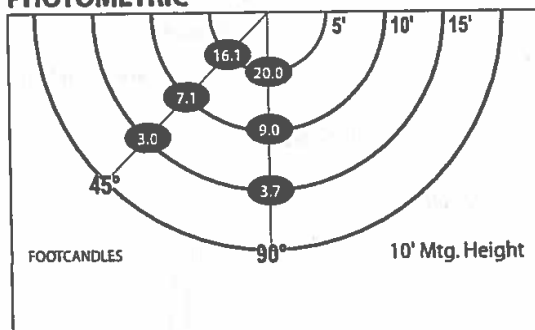
COLOR TEMP.
 Blank = 4500K
 3K = 3000K
 4K = 4000K
 5K = 5000K

CONTROLS
 Blank = Dimming (0-10V)
 PC = 120V Photocontrol
 PM = 208-277V Photocontrol

VOLTAGE
 Blank = 120-277

COLOR
 Blank = Bronze
 WT = White
 BK = Black

PHOTOMETRIC



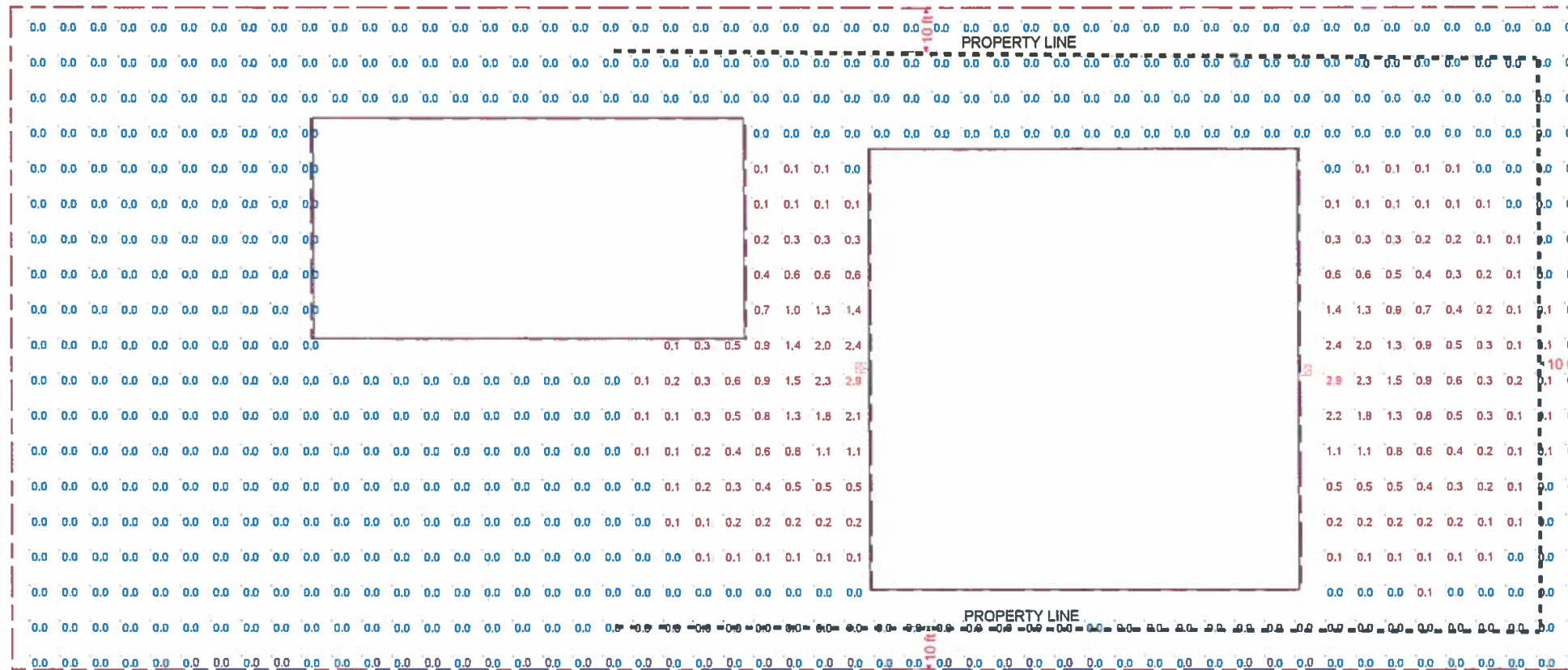
ATLAS LIGHTING PRODUCTS, INC.
 PO BOX 2348 | BURLINGTON, NC 27216
 800-849-8485 | FAX: 1-855-847-2794 | www.atlasled.com

The majority of Atlas Lighting Products are assembled in USA facilities by an American Workforce utilizing both Domestic and Foreign components. Meets Buy American requirements within the ARRA.

Exhibit J

Schedule						
Symbol	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Wattage
	2	ATLAS	WSPS40LED3K	1	3674	37.05

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #3	X	0.1 fc	2.9 fc	0.0 fc	N/A	N/A



VISUAL

Trillium Machine
Land Use Plans - Exterior Lighting Photometric
10' beyond property line

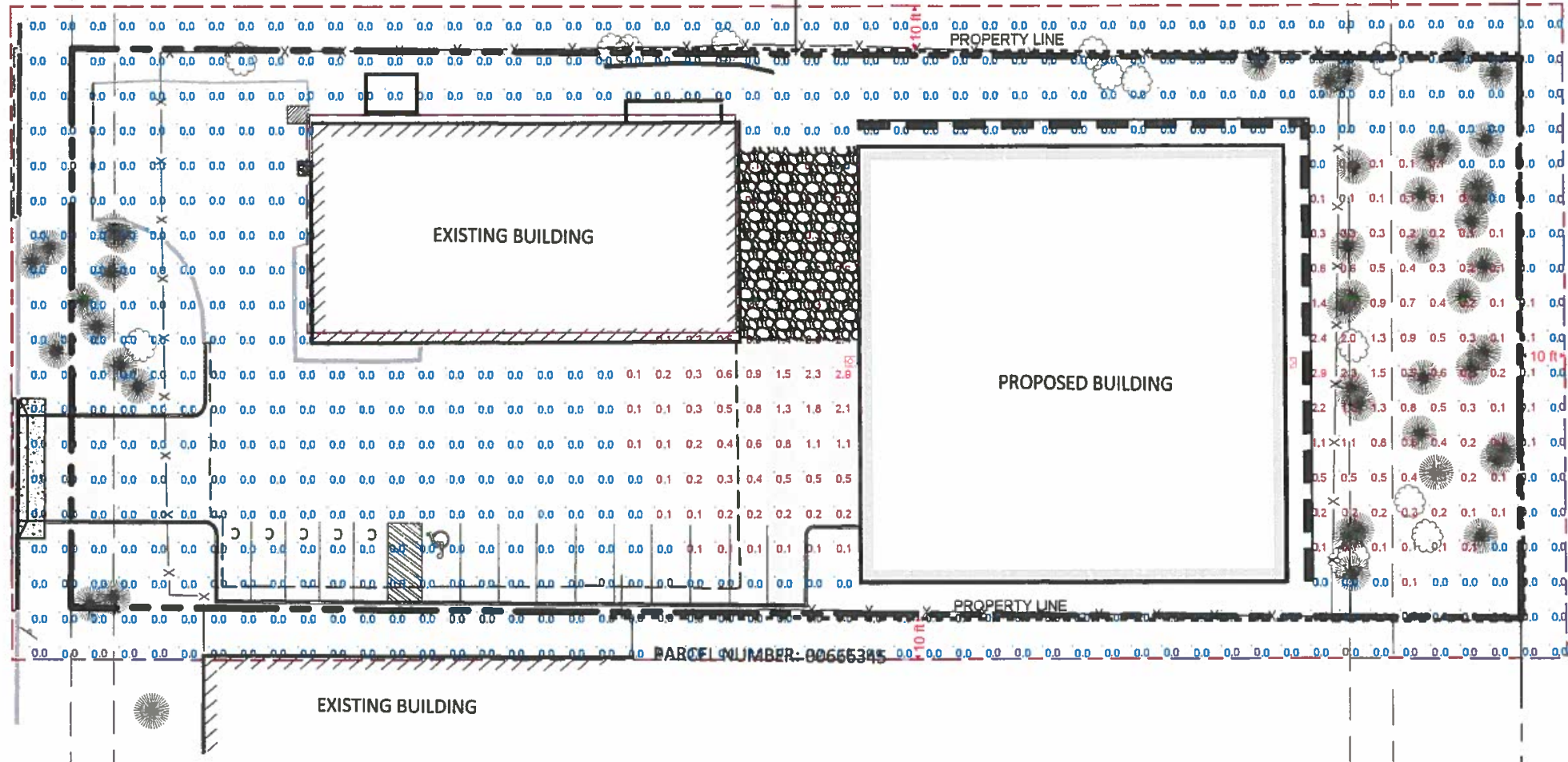
Designer
D. Wentworth
Date
1/27/2020
Scale
Not to Scale
Drawing No.

Summary

INDUSTRIAL WAY

PARCEL NUMBER: 00666425

PARCEL NUMBER: 00666416



EXISTING BUILDING

PARCEL NUMBER: 00666345

PROPOSED BUILDING

HWY 26



Exhibit K

Emily Meharg <emeharg@ci.sandy.or.us>

Trillium Machine Review

Hassan Ibrahim <hai@curran-mcleod.com>
To: Emily Meharg <emeharg@ci.sandy.or.us>
Cc: MW <mwalker@ci.sandy.or.us>

Tue, Feb 25, 2020 at 10:56 AM

Hi Emily,

1. As per your request, I have revised my comments as follows:
- 2.
3. The drainage report submitted doesn't fully address the City storm water requirements for water quantity and quality. The report only provides analysis for 10-yr storm event. The City requires analysis for 2, 5, 10 and 25-yrs storm events. The report needs to be modified to address the 4 year storm events to include detention and water quality requirements.

Best regards,

Hassan Ibrahim, P.E.
CURRAN-McLEOD, INC.
6655 SW Hampton St, Ste. 210
Portland, OR 97223
Tel: 503-684-3478
Fax: 503-624-8247
Cell: 503-807-2737
email: hai@curran-mcleod.com

Exhibit L



SANDY FIRE DISTRICT NO. 72 Fire Prevention Division

E-mail Memorandum

To: Emily Meharg
From: Gary Boyles
Date: March 6, 2020
Re: Trillium Machine (File No. 19-017 DR/VAR/DEV/TREE)

Review and comments are based upon the current version of the Oregon Fire Code (OFC) as adopted by the Oregon State Fire Marshal's Office. The scope of this review is typically limited to fire apparatus access and water supply, although the applicant shall comply with all applicable OFC requirements. When buildings are completely protected with an approved automatic fire sprinkler system, the requirements for fire apparatus access and water supply may be modified as approved by the fire code official. References include provisions found in the Metro Code Committee's Fire Code Applications Guide, OFC Chapter 5 and appendices B, C and D.

COMMENTS:

General

1. Construction documents detailing compliance with fire apparatus access and fire protection water supply requirements shall be provided to Sandy Fire District for review and approval upon building permit submittal.

Fire Apparatus Access

1. Fire apparatus access roads shall be within 150 feet of all portions of the exterior wall of the first story of any building as measured by an approved route around the exterior of the building. An approved turnaround will be required if the remaining distance to an approved intersecting roadway, as measured along the fire apparatus access road, is greater than 150 feet.
2. Dead end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved turnaround.

3. Commercial and industrial buildings exceeding three stories or 30 feet in height shall have not fewer than two means of fire apparatus access for each building.
4. Fire apparatus access roads shall have an unobstructed driving surface width of not less than 20 feet and an unobstructed vertical clearance of 13 feet 6 inches.
5. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing up to 75,000 pounds (gross vehicle weight). Documentation from a registered engineer that the final construction is in accordance with approved plans or the requirements of the OFC may be requested.
6. The inside turning radius and outside turning radius shall be not less than 28 feet and 48 feet respectively, measured from the same center point.
7. The installation of security gates across a fire apparatus access road shall comply with the following:
 - a. Minimum unobstructed width shall be 16-feet, or two 10-foot sections with a center post or island.
 - b. Gates serving one- or two-family dwellings shall be a minimum of 12 feet in width.
 - c. Gates shall be set back a minimum of 30 feet from the intersecting roadway.
 - d. Gates shall be of the swinging or sliding type.
 - e. Construction of gates shall be of materials that allow manual operation by one person.
 - f. Locking devices shall be approved.
 - g. Electric gates shall be equipped with an approved means of emergency operation. A KNOX key switch may be required. Contact Sandy Fire District NO. 72 for information on KNOX.
 - h. The security gates and the emergency operation shall be maintained in an operative condition at all times and replaced when defective.
8. Where fire apparatus roadways are not of sufficient width to accommodate parked vehicles and 20 feet of unobstructed driving surface, "NO PARKING-FIRE LANE" signs shall be placed on one or both sides of the roadway and in turnarounds as needed. Red painted curbs marked "NO PARKING FIRE LANE" at approved intervals may be used in lieu of signage.

Firefighting Water Supplies

1. The minimum available fire-flow and flow duration for commercial and industrial buildings shall be as specified in OFC Appendix B. In no case shall the resulting fire-flow be less than 1,500 gpm at 20 psi residual.
2. For commercial and industrial buildings served by a municipal water system where a portion of the building is more than 400 feet from a fire hydrant on a fire apparatus access road (600 feet for buildings equipped throughout with an approved automatic sprinkler system), as measured in an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided.
3. If applicable, fire department connections (FDC) shall be located within 100 feet of a fire hydrant. All FDC's shall be permanently labeled with appropriate address in which it serves and shall be accessible and visible from the fire apparatus access road.
4. Fire hydrants installed within the Sandy Fire District shall comply with the following requirements:
 - a. Flow requirements and location of fire hydrants will be reviewed and approved by Sandy Fire upon building permit submittal.
 - b. Each new fire hydrant installed shall be OSHA safety red and have a 4-inch non-threaded metal faced hydrant connection with cap installed on the steamer port. If a new building, structure or dwelling is already served by an existing hydrant, the existing hydrant shall also be OSHA safety red and have a 4-inch non-threaded metal faced hydrant connection with cap installed.
5. The minimum number and distribution of fire hydrants shall be in accordance with City of Sandy requirements and OFC Appendix C.

NOTE:

Sandy Fire District comments may not be all inclusive based on information provided. A more detailed review may be needed for future development to proceed.

Please do not hesitate to contact Fire Marshal Gary Boyles at 503-891-7042 or fmboyles.sandyfire@gmail.com should you have any questions or concerns.

Exhibit M

MEMORANDUM

TO: EMILY MEHARG, ASSOCIATE PLANNER
FROM: MIKE WALKER, PUBLIC WORKS DIRECTOR
RE: FILE NO. 19-017 DR/TREE/DEV/VAR – TRILLIUM MACHINE
DATE: MARCH 6, 2020

The following are Public Works' comments on the above-referenced application:

UTILITIES

The Stormwater Management Report report only provides analysis for 10-year storm event. Section 13.18.20 of the Municipal Code requires analysis and detention for the 2, 5, 10 and 25-year storm events. The Stormwater Management Report and plan need to be modified to address all storm events and include detention and water quality treatment.

If an infiltration trench remains the preferred stormwater management solution the proposed overflow must discharge to an existing, defined stormwater conveyance facility.

The utilities plan shows a sanitary sewer lateral for the proposed building passing through the infiltration bed. It is not clear whether the lateral will be within the infiltration trench, below the trench or located above it. If any portion of the sanitary sewer lateral is located within or below the infiltration trench a full length (18 ft.) of 3034 PVC pipe shall be centered in the crossing of the narrowest part of the trench so that no pipe joints are located within the infiltration trench.

TRANSPORTATION

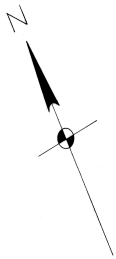
The site plan does not depict a sidewalk along the Industrial Way frontage of the site. Sidewalks are required on all public street frontages per section 15.20 and 17.84.30 of the Municipal Code.

A sidewalk and planter strip conforming to the requirements of section 17.84.30 shall be constructed along the Industrial Way frontage of the site. The sidewalk alignment and or planter strip width may be varied to preserve existing healthy trees in or adjacent to the right-of-way.

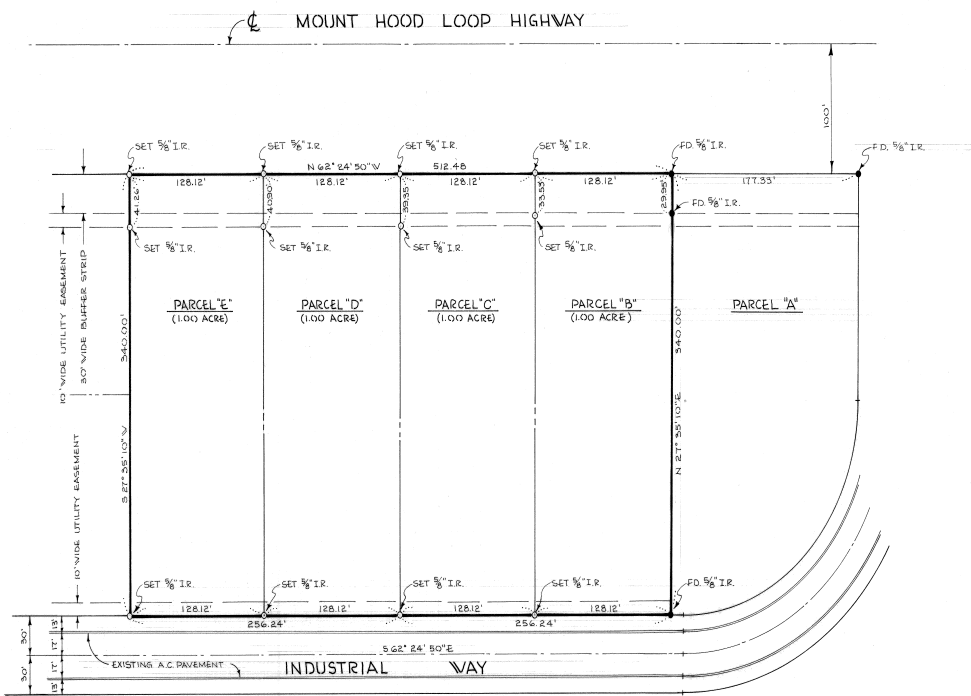
Section 17.98.80(B) of the Municipal Code limits the number of driveway approaches on a collector or arterial street to one. The existing site has two driveway approaches onto Industrial Way, a collector street. Section 17.98.80(C) allows the City the review the number and location of existing driveway approaches when "developed property is to be expanded or altered in a manner that significantly affects on-site parking or circulation". The proposed expansion meets this criterion. The existing westernmost driveway approach onto Industrial Way shall be eliminated.

Please let me know if you have any questions or need more information.

Exhibit N



CLACKAMAS COUNTY
FILED
 MAY 05 1978
 DEXTER C. HANE, County Surveyor
DCH
 1998



⊕ T.S.M. - 3/8" I.R. ON SOUTH R/W LINE OF INDUSTRIAL WAY (2.31' EAST OF P.C.) APPROX. 440' WEST OF THE S.W. COR. OF PARCEL "E", ASSUMED EL. 500.00

BASIS OF BEARINGS: PLAT

- DENOTES 3/8" X 30" IRON ROD SET IN GROUND.
- DENOTES IRON ROD OR PIPE FOUND OF THE SIZE INDICATED.

SITUATED IN THE N.W. 1/4 OF SECTION 14, T.2S., R.4E., W.M.
 CITY OF SANDY, CLACKAMAS COUNTY, OREGON

REGISTERED PROFESSIONAL LAND SURVEYOR
Bruce W. Erickson
 OREGON
 EXPIRES 12/31/77
 BRUCE W. ERICKSON
 1975

PS-15702

DESIGNED	B.W.E.	APPROVED	
DRAWN	M.E.D.	SCALE	1" = 50'
DATE	NO.	REVISION	BY
			CHECKED B.W.E.
			FILE P-18-76

B W E
 Bruce W. Erickson
 Consulting Engineer
 Sandy, Oregon P.O. BOX 520
 666-5335

JIM TURIN & SONS, INC.
 AND
 RAY THORNBURG EXCAVATING

BOUNDARY SURVEY OF A PORTION OF LOT 1, BLOCK 1, "SANDY INDUSTRIAL PARK" | 1

(E) PS-15702