



City of Sandy

Agenda

Parks & Trails Advisory Board Meeting

Meeting Location: Virtual Via Zoom

Meeting Date: Wednesday, September 8, 2021

Meeting Time: 7:00 PM

Page

1. MEETING FORMAT

Meeting Format Notice:

The Parks and Trails Advisory Board will conduct this meeting electronically using the Zoom video conference platform.

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- To login to the electronic meeting online using your computer, [click this link:](#)
- **Note a passcode may be required:**
- If you would rather access the meeting via telephone, dial 1-669-900-6833. When prompted, enter the following meeting number: 856 1211 8433
- If you do not have access to a computer or telephone and would like to take part in the meeting, please contact the Sandy Community Center (503-668-5569) by September 7th and arrangements will be made to facilitate your participation.

2. ROLL CALL

3. PUBLIC COMMENT

4. CONSENT AGENDA

4.1. Meeting Minutes

[Parks & Trails Advisory Board - 11 Aug 2021 - Minutes - Pdf](#)
[Parks & Trails Advisory Board - 11 Aug 2021 - Minutes - Html](#)

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5. CHANGES TO THE AGENDA

6. NEW BUSINESS

- 6.1. [Staff Report Pad Townhomes](#) 17 - 31
[The Pad - Final LU Drawings - 2021-07-14](#)
- 6.2. [Staff Report - Bang the Table Public Engagemenet Platform](#) 32

7. OLD BUSINESS

8. STAFF UPDATES

- 8.1. Interviews for new Parks and Recreation Director
- 8.2. Pollinator Garden - Community Garden

9. ADJOURN



MINUTES
Parks & Trails Advisory Board Meeting
Wednesday, August 11, 2021 Virtual Via
Zoom 7:00 PM

BOARD MEMBERS PRESENT: Don Robertson, Board Member, Will Toogood, Board Member, and Mary Casey, Board Member

BOARD MEMBERS ABSENT: David Breames, Board Member and Sarah Schrodetz, Board Member

STAFF PRESENT: Sarah Richardson, Community Services

MEDIA PRESENT:

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2. Roll Call

3. Public Comment

4. Consent Agenda

4.1. Meeting Minutes

Moved by Mary Casey, seconded by Will Toogood

Motion to approve the minutes.

CARRIED. 3-0

5. Changes to the Agenda

6. New Business

6.1. Bell St. - 362nd Extension Project

Mike Walker, Public Works Director attended to discuss required mitigation related to the Bell St. -362nd Extension Project. Seeking feedback from the Parks Board regarding some options in city owned open space near Bluff Park.

Mike provided an overview of the extension project and introduced Ivy Watson an environmental scientist with Harper Hauf. Ivy presented two options for the board's consideration.

Ivy explained that there will be some wetland and stream impact that is less than a 10th of an acre, although that could change depending on the design. The city will be required to provide mitigation matching the type of impact. The ratio of mitigation that the Oregon Department of State Lands requires varies depending on whether we will be enhancing an existing resource or creating a new resource.

Ivy provided an overview of the open space area that is being considered for mitigation and shared two options.

Option 1: Drain the in-line pond and convert the depression to scrub-shrub wetland and stream channel.

Option 2: Enhance existing stream and pond and create wetland at the pond fringe. Result would be water quality and habitat enhancement.

Board member Will Toogood asked about what the construction of the stream channel would look like in option one. Ivy described the plan and explained that the channel would move around naturally once the area was graded and other enhancements completed. Clarified that this would change the area to more of a marsh in the winter. Might be able to add an access point for wildlife and wetland habitat viewing. Will asked if either option was beneficial to migratory birds. Option 1 would provide less attractive habitat for migratory birds, and option 2 would provide more attractive habitat for migratory birds.

Mary Casey asked a question about pollinators and whether the plan could incorporate habitat to support them. Ivy noted that flowering wetland shrubs could be utilized. Mary expressed some concern about marshland attracting mosquitos etc. Wondered if this would be an issue. Ivy noted they are already likely breeding in the pond and that both options would likely attract more frogs. Identified Option 1 as likely best for native frogs. Clarified that marsh is not the best description of what will be the result of option 1.

Don Robertson asked if Option 2 would create any flow through the pond. Ivy noted that it would flow longer than it does now but once it drops below the outlet level it would slow. Don asked Mike Walker about stormwater. Mike provided an overview of the stormwater systems. Don noted the pond had been there for quite some time and Mike described its history. Don asked if Public Works had a preference. Mike identified Option 2 as a preference.

Public Works is interested in advice from the Parks Board and noted that it will be Council who makes the final decision. Mike noted these options will likely be acceptable to the regulatory agencies. Important that this parcel is owned by the public and will remain so whereas other nearby areas will likely be developed.

Don asked if the board members had a preference. Mary noted both have good points with Option 2 being more migratory bird friendly. Don identified the path and some benches that are already there and good for viewing. Will noted he is torn between what may be better water quality vs better habitat for migratory birds and esthetically likes Option 2. Don said his personal preference would be Option 2. Likes that it maintains the historical use, viewing opportunities, and it really is an amenity for the park area.

Don asked that along with the motion that the feedback about habitat for birds and pollinators be included in information being forwarded to council.

Moved by Mary Casey, seconded by Will Toogood

Mary Casey moves that the board recommend Option 2.

CARRIED. 3-0

6.2. Deer Meadows Proposed Development

Kelly O'Neill, Development Services Director attended to provide an overview of the Deer Meadows proposed development.

Deer Meadows is a 32 lot proposed subdivision in the area of Hwy 26 and Dubarko road. Kelly provided a visual denoting the proposed development site. Deer Meadows is adjacent to parkland dedicated with the Deerpointe plat. It is undeveloped and is about 1.4 acres. One of the main reason this park has not been developed is because of the intended parkland dedication that would expand the area of the park that is part of the subject property. It is staff recommendation that dedication of this land would be consistent with the long term vision for this park, and align with the new Parks and Trails Master Plan that will be before council for adoption in September.

Kelly reviewed the formula for determining parkland dedication and what variables can impact the total dedication.

Tracy Brown, the developers representative. reviewed the previous application known as Bull Run Terrace. As part of the Bull Run proposal the developer proposed dedicating 1.4 acres of parkland and offered to assist with preparing the land for park development. Tracy noted that the board at that time recommended the parkland dedication and entering into an agreement with the developer to do the initial park improvements.

The Bull Run proposal included a request for a zone change. Tracy noted this proposal was recommended for approval by the Planning Commission but denied by council. As a result the developers proposal to dedicate the parkland and to assist with the park improvements went away. The new Deer Meadow proposal is not requesting a zone change. Without a change in the zoning and the ability to increase housing density the dedication of parkland becomes problematic to the economic viability of the project, and the developers attorney believes that the city cannot legally require parkland dedication because the standards in 17.86 are not "clear and objective". The applicant is interested in working with the city on a win-win scenario. Tracy outlined the applicants proposal and invited questions. Kelly shared a visual of the proposal.

Will noted the proposed dedication is not a lot of land. Mary agreed. Don shared that he is extremely disappointed that we are having this conversation although he doesn't doubt council had good reasons for the denial. Referencing the current proposal he noted that just because you have the legal right to do something, doesn't mean it is the right thing to do. Don shared that he believes that the board got it right the first time and is inclined

to stand pat on that original decision. Recognizes that the applicant may go forward but noted they would responsible for the Fee in Lieu and the System Development Charges.

Kelly shared that the city attorney agrees with the applicants attorney that the current Parks and Trails Master Plan is not fully incorporated into the city development code but they disagree on parkland dedication. Our attorney believes the city has the legal right to require parkland dedication but may have difficulty dictating the location of the dedication within a proposal. Wants to be clear the attorneys do not agree on the interpretation. Don noted to acquire the parkland adjacent to Deer Pointe we would be relying on the good will of the applicant. Kelly added or alternatively relying on the city forcing the issue in an approval, and then the applicant would need to appeal it to the State of Oregon, or the city denying the application. It could lead to a legal decision.

Will noted the proposal doesn't come close to realizing the Deer Pointe vision and the strip of land proposed does not add much. Mary does not see another place in the proposal for a park except that one little area. Don shared the the neighborhood has been very patient and waiting a long time for a developed park.

Moved by Don Robertson, seconded by Will Toogood

Motion to stick with the first recommendation of accepting land dedication and some hope of connectivity to the other parkland property in Deer Pointe.

CARRIED. 3-0

6.3. Bornstedt Views Proposed Development

Kelly O'Neill, Development Services Director, noted Bornstedt Views application is considered incomplete at this time.

Staff recommends Fee in Lieu of Parkland Dedication given the size of the development and its proximity to both Bornstedt and Cascadia Park.

Mac Even, the applicant, notes they are proposing Fee in Lieu and they are proposing to preserve quite a lot of trees.

Don pointed out that we are pretty park rich in this area of the community.
Agrees the best option is to accept the Fee in Lieu.

Mary asked about the blue area noted in the packet. Kelly clarified that is the retention pond.

Moved by Mary Casey, seconded by Will Toogood

Motion to accept the Fee in Lieu for Bornstedt Views proposed development.

CARRIED. 3-0

6.4. Sandy Woods Phase II Proposed Development

Kelly O'Neill, Development Services Director attended to provide an overview of the proposed development.

43 lot subdivision and although the application is currently incomplete the planning staff does not anticipate big changes.

Kelly shared a visual and noted the location of Sandy Woods Phase I. Noted pedestrian access between the two Sandy Wood Phases. Sarah Richardson, staff liaison, noted that it gives the residents in the new phase pretty direct access to Bluff Park. Kelly pointed out that the access points will be a requirement as well as a tree tract through Phase II. The tract will include many old growth trees. It will not officially be parkland but it will provide some open space in this new phase.

Don asked for board questions or comment.

Moved by Mary Casey, seconded by Will Toogood

Motion to accept a Fee in Lieu of land dedication for the Sandy Woods Phase II proposed development. Includes the support for the requirement of the access points connecting Phase 1 and Phase II which provides direct access to Bluff Park and future trail connections.

CARRIED. 3-0

7. Old Business

Don reminded the board that we have two open seats on the board, and a vacancy in the Vice Chair position that needs to be filled.

8. STAFF UPDATES

Looking forward to the updates to the development code that relates to parks (17.86 and 17.32). Will give the board a stronger position to implement the new Parks and Trails Master Plan and more certainty with regard to the interpretation of the code.

9. Adjourn

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9. Adjourn

Draft



City of Sandy
39250 Pioneer Blvd.,
Sandy, OR 97055

Agenda Date: September 8th, 2021

To: Parks and Trails Advisory Board

From: Sarah Richardson, Staff Liaison Parks and Trails Advisory Board

Subject: The Pad Townhomes

Attachments: None

The Pad Townhomes is a proposed 10-unit apartment development located at 17650 Meinig Avenue. The lot is approximately .59 acres.

The applicant is proposing a fee-in-lieu of land dedication.

The proposed 10-unit multi-family project results in the following calculation:

10 units x 2 persons/unit x 0.0043 (per person parkland factor) = 0.086 rounded to the nearest 1/100 = 0.09 acres.

A payment of \$21,690 ($0.09 \times \$241,000 = \$21,690$) would be required.

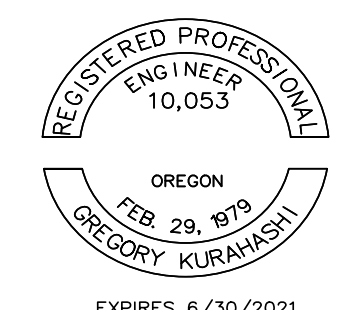
Recommendation: Staff recommends Fee in Lieu of Land Dedication for The Pad Townhomes.



Staff Contact:

Sarah Richardson
503-489-2150

srichardson@cityofsandy.com



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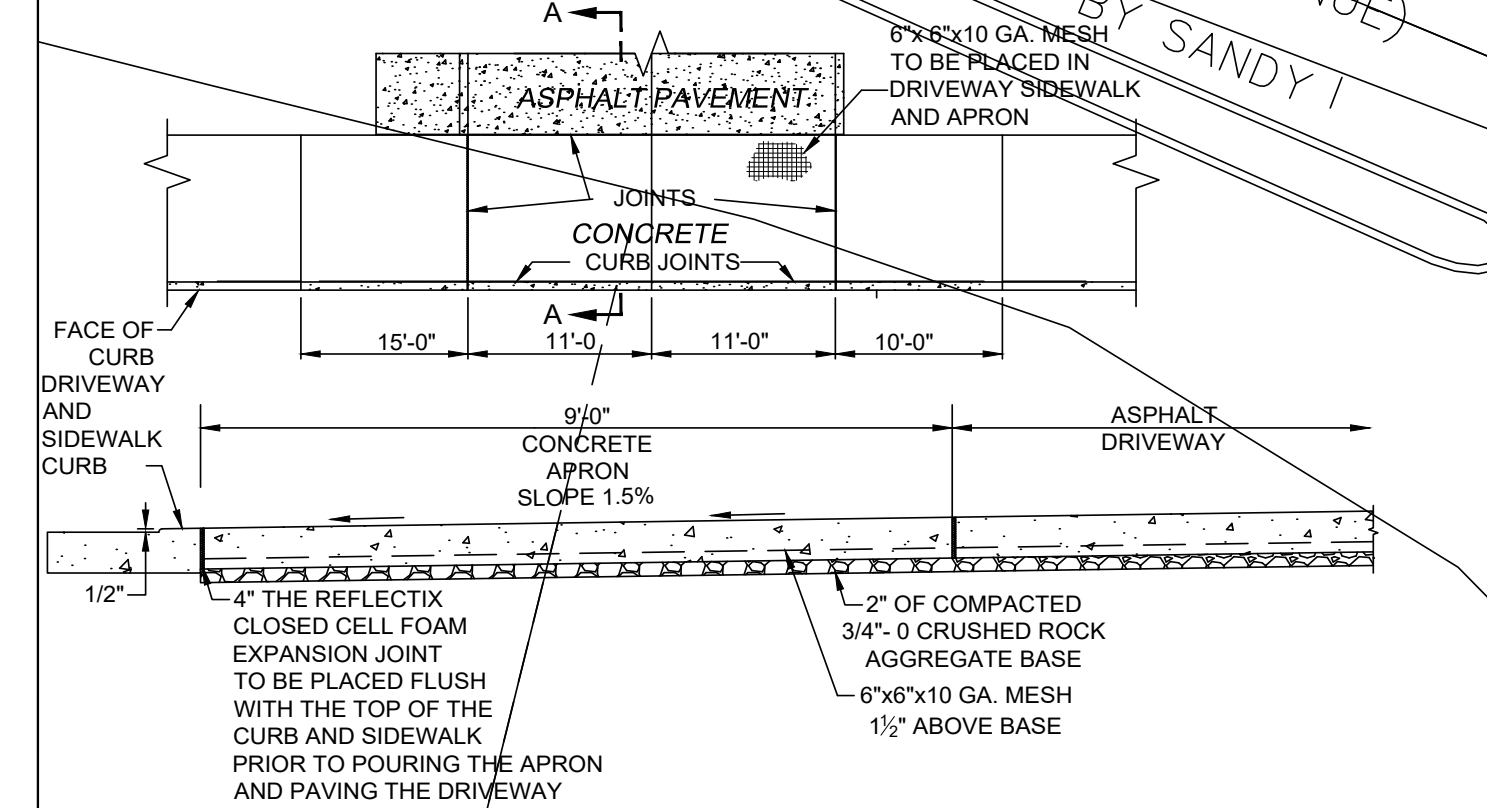
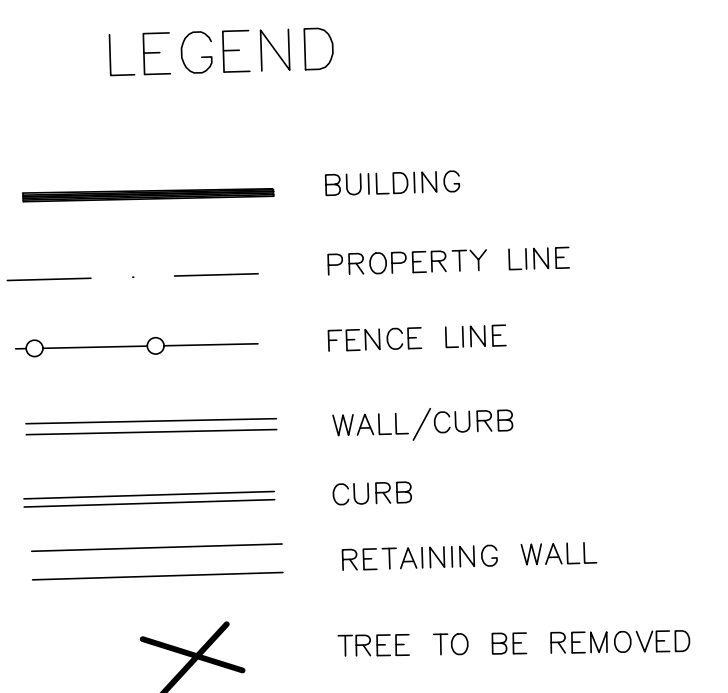
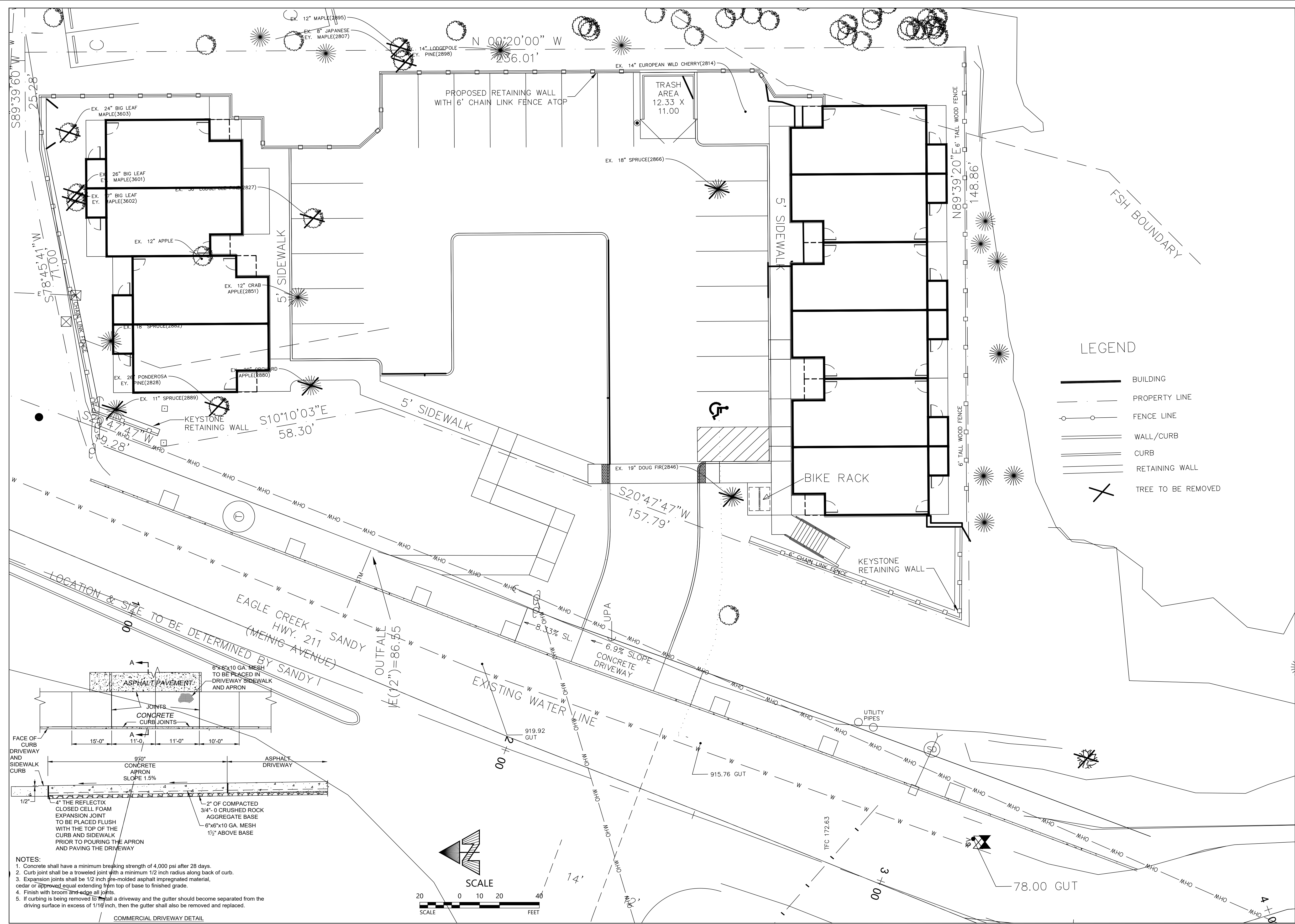
THE PAD TOWNHOME APARTMENTS
 17860 MENING AVENUE
 SANDY, OR 97055

REVISIONS

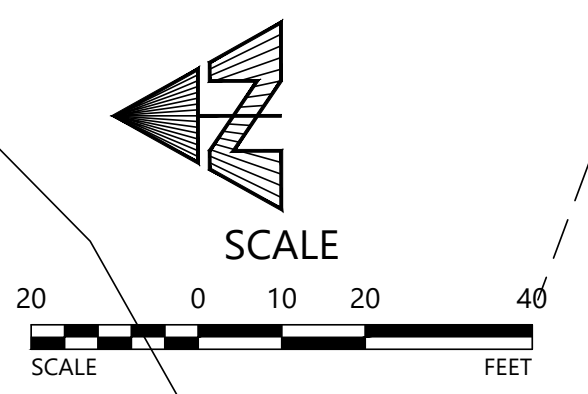
No.	Description	Date

DRAWN BY: GTK
 CHECKED BY: GTK
 JOB NO: 20-004
 DATE: 6/10/2021
 ISSUED FOR: DESIGN REVIEW
 SHEET TITLE
 CIVIL SITE DESIGN
 SHEET NO.

C-2

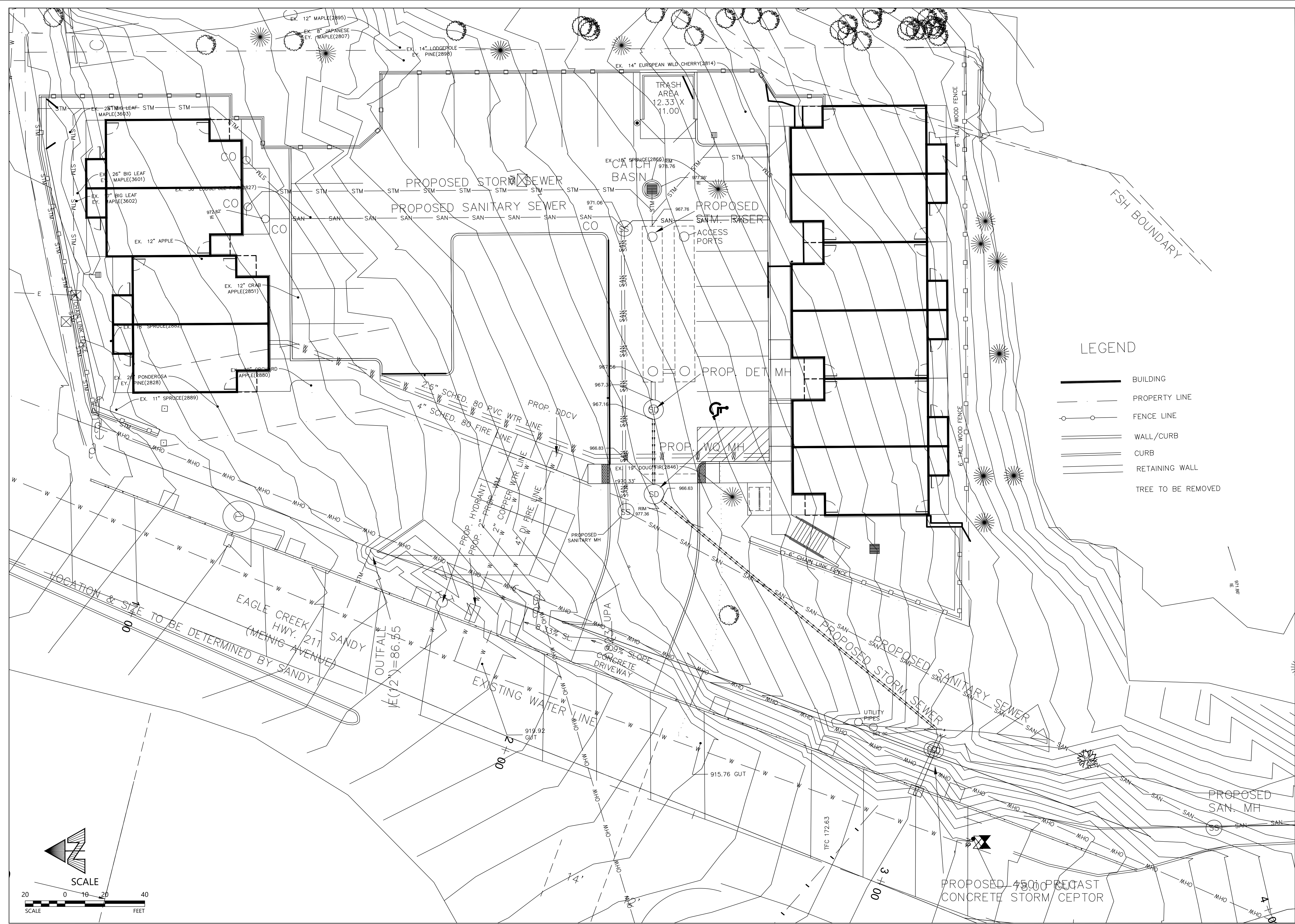


- NOTES:**
- Concrete shall have a minimum breaking strength of 4,000 psi after 28 days.
 - Curb joint shall be a broveled joint with a minimum 1/2 inch radius along back of curb.
 - Expansion joints shall be 1/2 inch pre-molded asphalt impregnated material, cedar or approved equal extending from top of base to finished grade.
 - Finish with broom and edge all joints.
 - If curbing is being removed to install a driveway and the gutter should be separated from the driving surface in excess of 1/16 inch, then the gutter shall also be removed and replaced.



C:\Users\Drefter\Desktop\KURAHASHI_JOBS\2804 - THE PAD\2804 - THE PAD PRELIMINARY PLANS 20210510 DRIVEWAY CHANGE.dwg @ Plot Date: Jun 10 21 @ Time: 6:00 PM

C:\Users\Drofer\Desktop\KURAHASHI_JOBS\2804 - (2481) THE PAD\2804 THE PAD PRELIMINARY PLANS 20210510 DRIVEWAY CHANGE.dwg @ Plot Date: Jun 10 21 @ Time: 6:01 PM



REGISTERED PROFESSIONAL ENGINEER 10,053
 OREGON FEB 29, 1978
 CREGORY KURAHASHI
 EXPIRES 6/30/2021

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 fax: (503)644-9731

- LEGEND**
- BUILDING
 - PROPERTY LINE
 - FENCE LINE
 - WALL/CURB
 - CURB
 - RETAINING WALL
 - TREE TO BE REMOVED

THE PAD
TOWNHOME APARTMENTS
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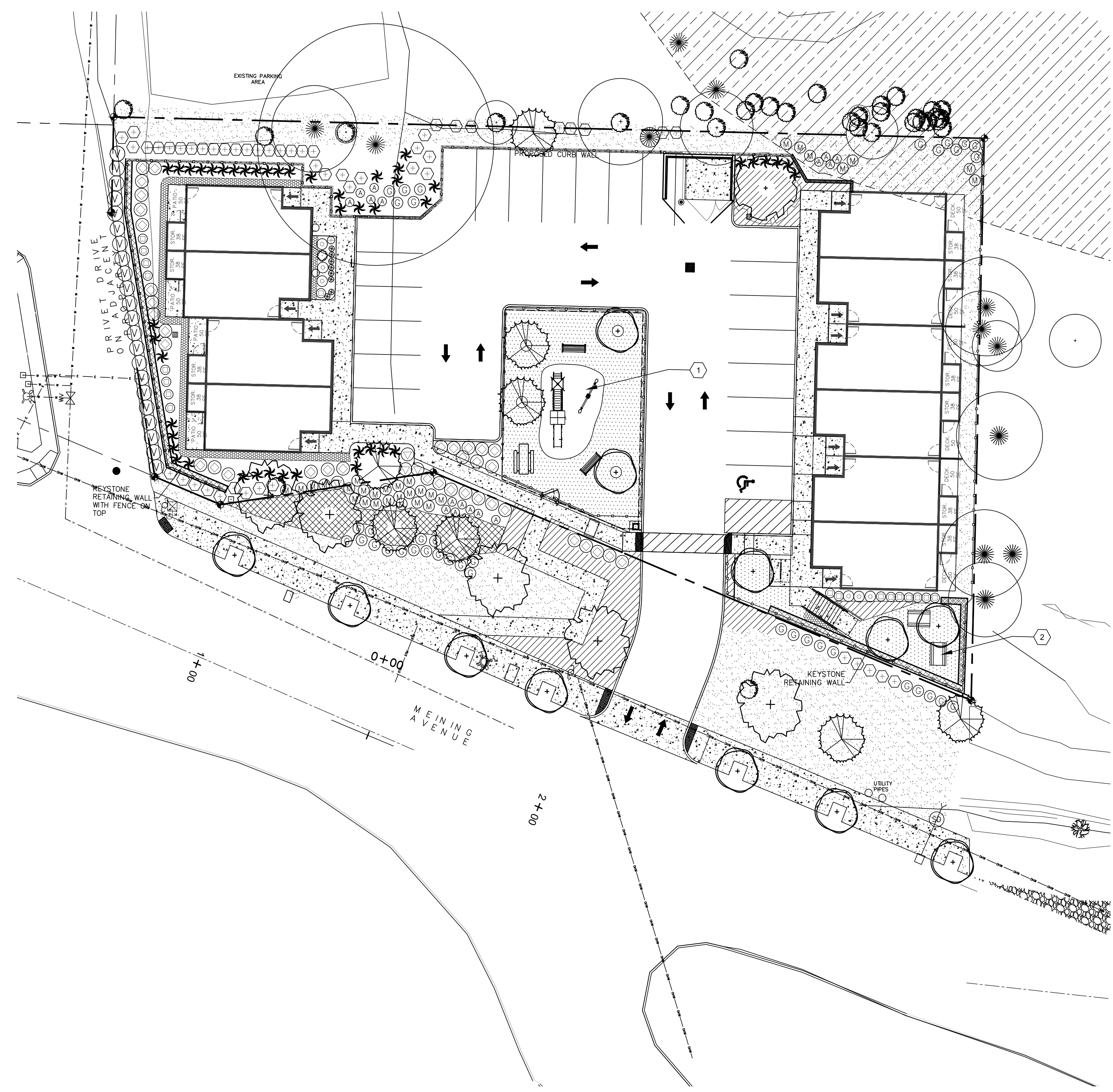
REVISIONS

No.	Description	Date

DRAWN BY: GTK
 CHECKED BY: GTK
 JOB NO: 20-004
 DATE: 6/10/2021
 ISSUED FOR: DESIGN REVIEW
 SHEET TITLE
 UTILITY PLAN
 SHEET NO.

C-3

C:\Users\JJ\Documents\Drawings-projects\05-Whitney\05-26 The Pad\Drawings\7-14-21 L1 Planting Plan.dwg © Plot Date: Jul 14 21 © Time: 5:06 PM



PLANT LIST

TREES					
SYM	QUAN	BOTANICAL NAME/COMMON NAME	SIZE	COMMENT	
	12	ACER BUERGERIANUM - TRIDENT MAPLE	1-1/2" CAL B&B	AS SHOWN	
	8	CALOCEDRUS DECURRENS - INCENSE CEDAR	6" HT MIN.	REMOVE LOWEST BRANCHES	
	1	QUERCUS FRAINETTO 'FOREST GREEN' FOREST GREEN OAK	2" CAL B&B	AS SHOWN	
	5	RHAMNUS PURSHIANA	1-1/2" CAL B&B	AS SHOWN	

SHRUBS

SYM	QUAN	BOTANICAL NAME	COMMON NAME	SIZE	COMMENT
	18	EUONYMUS FORTUNEI 'EMERALD GAJETY'	EMERALD GAJETY EUONYMUS	2 GAL	SPACE AS SHOWN
	4	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	3 GAL	SPACE 42" O.C.
	1	JUNIPERUS VIRGINIANA 'BLUE ARROW'	BLUE ARROW JUNIPER	48" HT.B&B	AS SHOWN
	51	MAHONIA AQUIFOLIUM	OREGON GRAPE	2 GAL	FULLY BRANCHED
	1	NANDINA DOMESTICA 'WOODS DWARF'	WOODS DWARF HEAVENLY BAMBOO	2 GAL	SPACE AS SHOWN
	30	PHILADELPHUS LEWISII	MOCKORANGE	2 GAL	SPACE AS SHOWN
	38	ROSA GYMNOCARPA	BALDHIP ROSE	2 GAL	AS SHOWN
	20	SYMPHORICARPOS ALBUS	COMMON SNOWBERRY	2 GAL	AS SHOWN
	6	SPIRAEA X BUMALDA 'GOLDMOUND'	GOLDMOUND BUMALD SPIREA	2 GAL	AS SHOWN
	2	VIBURNUM DAVIDII	DAVID VIBURNUM	3 GAL	AS SHOWN
	23	VIBURNUM TINUS	LAURUSTINUS	5 GAL	SPACE 48" O.C.
	37	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	3 GAL	AS SHOWN

GROUNDCOVER

	8	HELICTOTRICHON SEMPERVIRENS - BLUE OAT GRASS	1 GAL - SPACE AS SHOWN	
	47	POLYSTICHUM MUNITUM - WESTERN SWORD FERN	1 GAL - SPACE AS SHOWN	
	74	ARCTOSTAPHYLOS UVA-URSI - KINNICKINICK	1 GAL - SPACE 2' O.C.	
	23	MAHONIA REPENS - CREeping MAHONIA	1 GAL - SPACE 30" O.C.	
	2340 SF	PT 301- WATER SMARTER TALL FESCUE BLEND TURFWAY TALL FESCUE - FESTUCA ARUNDINACEA 'TURFWAY' HOUNDDOG 8 TALL FESCUE - FESTUCA ARUNDINACEA 'HOUNDDOG 8' BLOODHOUND TALL FESCUE - FESTUCA ARUNDINACEA 'BLOODHOUND'	7 LBS / 1000 S.F.	
	4635 SF	PT 702 - NATIVE URBAN MEADOW	4 OZ / 1000 S.F.	

LEGEND

- EXISTING TREE TO REMAIN
- BENCH
- GRAVEL EDGING - SEE SHEET L2 FOR DETAILS
- 5' BLACK VINYL CLAD CHAIN LINK FENCING AROUND PLAY AREA

KEY NOTES

- RECREATIONAL PLAY AREA - SPECIFIC PLAY EQUIPMENT TO BE DETERMINED LATER
- PICNIC AREA - PICNIC TABLES

GENERAL NOTES

1. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL USE DRIP IRRIGATION AND WATER CONSERVATION ROTOR IRRIGATION HEADS. NATIVE PLANTING AREAS SHALL HAVE TEMPORARY IRRIGATION THAT WILL BE REDUCED EACH YEAR UNTIL PLANTS ARE FULLY ESTABLISHED.
2. QUANTITIES ARE INTENDED TO ASSIST THE CONTRACTOR IN EVALUATING THEIR OWN TAKEOFFS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BID QUANTITIES AS SHOWN AND REQUIRED BY THE PLANS.
3. CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND COMPOST IN REQUIRED QUANTITIES TO CREATE THE PLANTING SOIL FOR PLANTED AND SEEDED AREAS IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS.
4. CONTRACTOR SHALL VERIFY THE LOCATIONS OF UTILITIES PRIOR TO BEGINNING EXCAVATION.
5. IF PLANT MATERIAL CONFLICTS WITH NEW OR EXISTING UTILITIES TO REMAIN, THE CONTRACTOR SHALL ADJUST THE PLANTING LOCATIONS IN COORDINATION WITH THE OWNER'S REPRESENTATIVE.
6. PROVIDE 3" OF BARK MULCH AROUND PLANTING.
7. RESTORE PUBLIC RIGHT IF AREA DISTURBED BY UTILITY INSTALLATION AND SEED AREA WITH NATIVE URBAN MEADOW MIX.
8. SEE SHEET L2 FOR PLANTING DETAILS AND NOTES.

SITE DATA

TOTAL SITE AREA =	25,889 S.F.
REQUIRED LANDSCAPE AREA =	25% OF SITE AREA = 6,467.25 S.F.
TOTAL LANDSCAPE AREA PROVIDED =	32.98 % = 8,522.83 S.F.
RECREATION REQUIRED =	2000 S.F.
RECREATIONAL AREA PROVIDED	
PICNIC AREA =	651.8 S.F.
CHILDREN PLAY AREA =	2,054.1 S.F.
TOTAL RECREATION AREA =	2,705.9 S.F.



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REVISIONS

No.	Description	Date

DRAWN BY: JJ
CHECKED BY: JJ
JOB NO: 20-004

DATE: 07/7/2021
ISSUED FOR: DESIGN REVIEW

SHEET TITLE: PLANTING PLAN

SHEET NO.

L-1



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REVISIONS

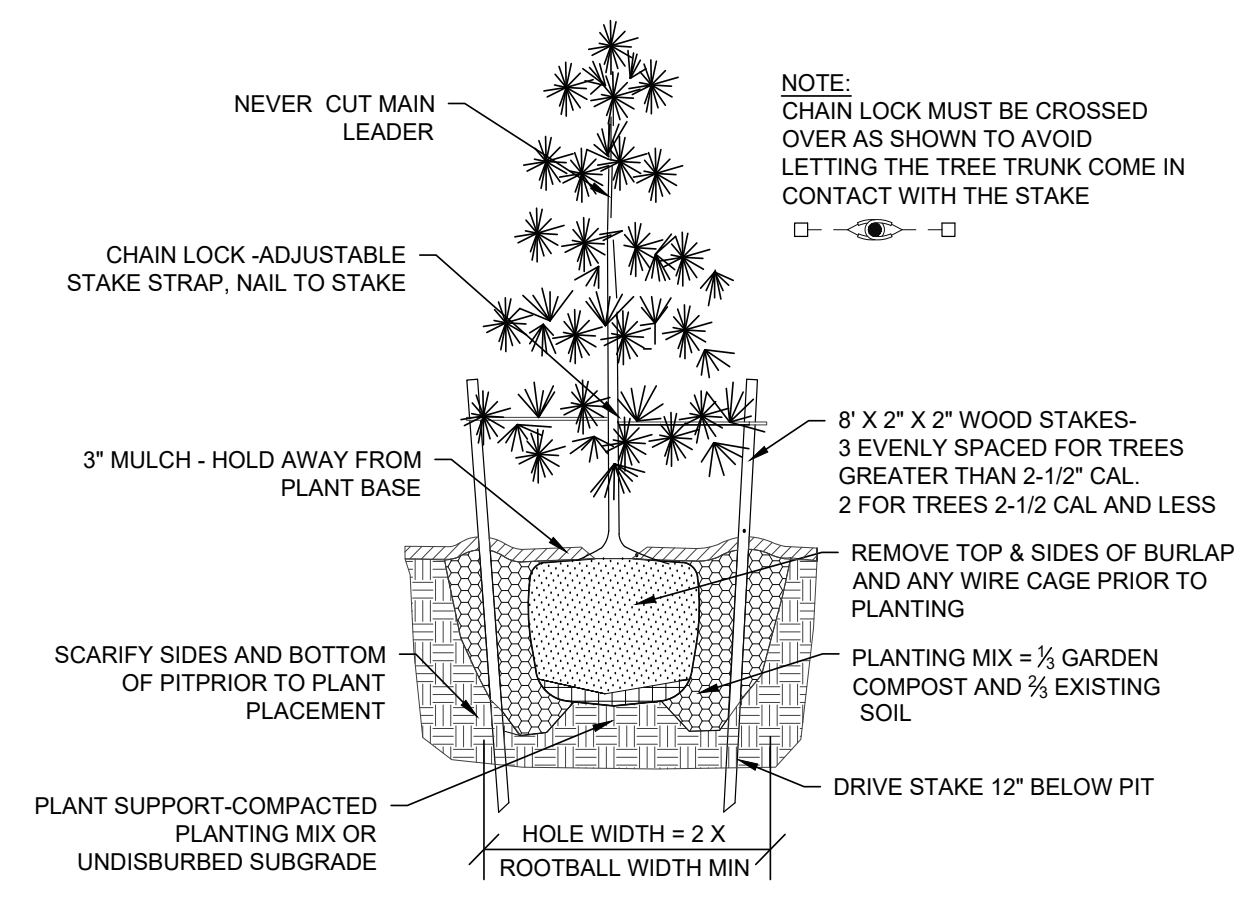
No.	Description	Date

DRAWN BY:
 CHECKED BY:
 BY:
 JOB NO: 20-004
 DATE: 07/7/2021
 ISSUED FOR: DESIGN REVIEW
 SHEET TITLE: LANDSCAPE NOTES AND DETAILS
 SHEET NO.

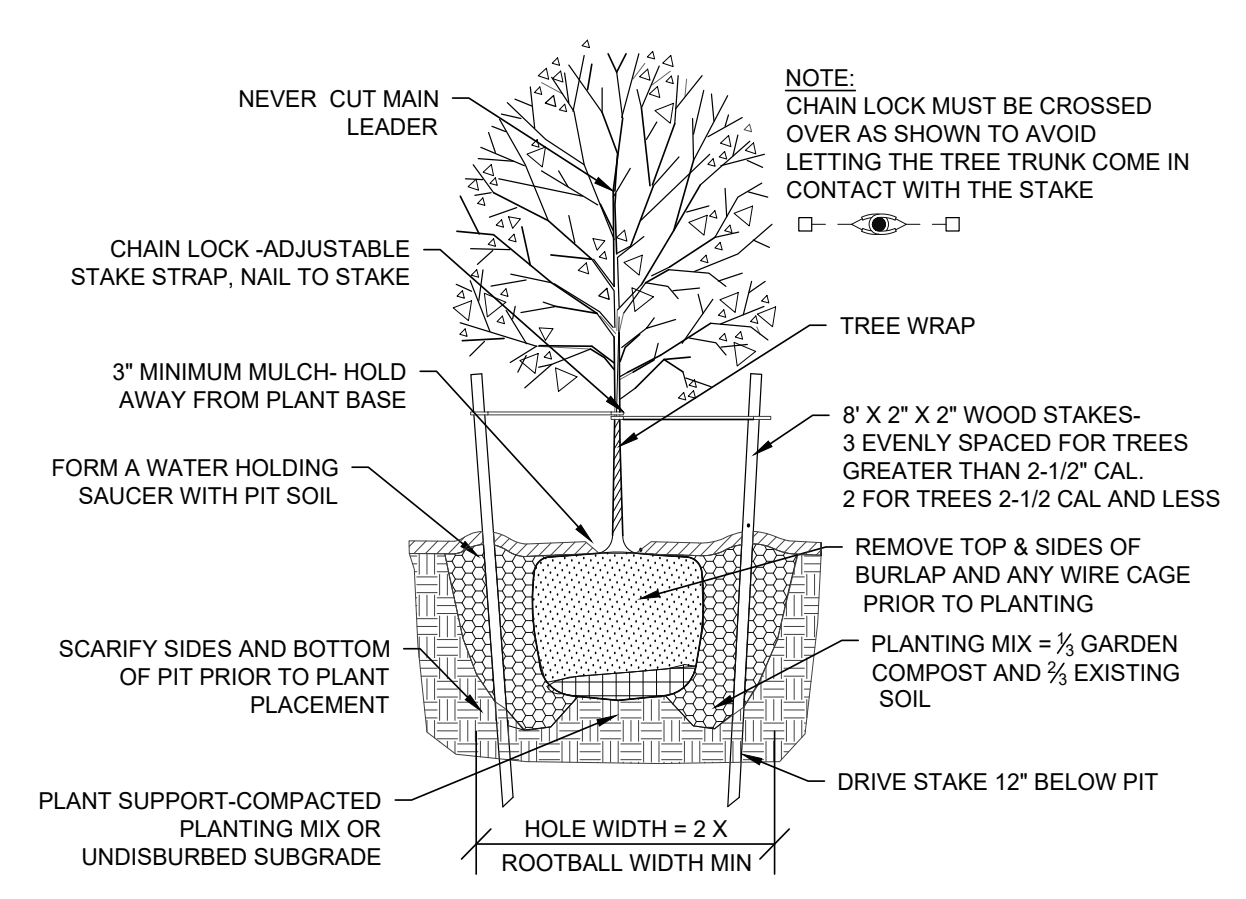
L-2

NOTES

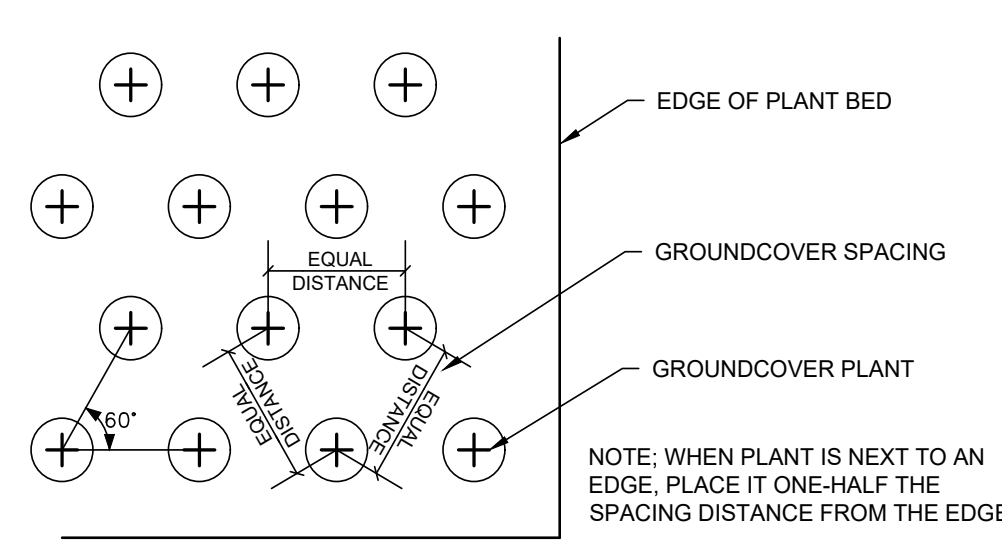
- PROVIDE ONE PERSON WHO WILL BE PRESENT AT ALL TIMES DURING THE WORK WHO IS FAMILIAR WITH PLANT MATERIALS AND IS KNOWLEDGEABLE OF GOOD HORTICULTURAL PRACTICE.
- CONTRACTOR SHALL REMOVE EXISTING VEGETATION THAT INTERFERES WITH ACCESS TO THE NEW PLANTING LOT. RECENTLY PLANTED MATERIAL SHALL BE STOCKPILED AND BE RE-PLANTED IN NEW LOCATIONS INDICATED ON THE PLANTING PLAN.
- NOTIFY THE OWNER'S REPRESENTATIVE, 48 HOURS IN ADVANCE OF WORK FOR SITE INSPECTION OF PLANT MATERIALS. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO REJECT ANY MATERIALS WHICH DO NOT MEET MINIMUM SIZE REQUIREMENTS, OR WHICH DO NOT APPEAR HEALTHY AND WELL FORMED. REMOVE UNACCEPTABLE PLANT MATERIALS FROM WORK AREA IMMEDIATELY.
- VERIFY ALL QUANTITIES AND REPORT DISCREPANCIES TO OWNER'S REPRESENTATIVE FOR CLARIFICATION.
- CONTACT A UTILITY LOCATES COMPANY BEFORE STARTING EXCAVATIONS.
- FINAL GRADING SHALL PROVIDE DRAINAGE OF LANDSCAPE AREAS. PLANTING AREAS SHALL SLOPE AWAY FROM BUILDINGS WITH A 2% SLOPE MINIMUM. SHRUB BEDS AND LAWNS SHALL BE CROWNED WITH A 2% SLOPE UNLESS INDICATED OTHERWISE. FINAL GRADES SHALL BE 2 INCHES BELOW ADJACENT WALKS AND CURBS FOR MULCH APPLICATIONS AND 1 INCH BELOW FOR SOD INSTALLATION.
- ALL PLANTS SHALL BE HEALTHY, WELL BRANCHED, ROOTED, TRUE TO SPECIES AND VARIETY, FREE FROM DISEASE, INSECTS, PESTS AND WEEDS. THEY SHALL HAVE GOOD GROWTH HABIT FREE OF PHYSICAL DISFIGURATION, INJURY, ABRASIONS OR SUN SCALDS. PLANTS SHALL EQUAL OR EXCEED MEASUREMENTS IN THE PLANT LIST.
- PLANTS WILL CONFORM TO CURRENT REQUIREMENTS OF 'AMERICAN STANDARDS FOR NURSERY STOCK' BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- PLANTS SHALL BE GROWN FOR THIS GENERAL LATITUDE AND ELEVATION OR SHALL BE ADEQUATELY CLIMATIZED.
- PROTECT PLANTS AT ALL TIMES DURING SHIPPING, HANDLING, STORAGE AND PLANTING FROM BREAKAGE, DESICCATION, WINDBURN, SUN DAMAGE AND WEATHER EXTREMES. STORE PLANTS IN AN UPRIGHT POSITION AND ALLOW SUFFICIENT VENTILATION. PROVIDE IRRIGATION. DO NOT PICK UP CONTAINERIZED OR BALLED PLANTS BY STEMS OR TRUCKS.
- ALL PLANTS WILL BE WELL FORMED AND POSSESS TOP AND ROOT GROWTH TYPICAL TO THE VARIETY AND IN HEALTHY PROPORTIONS TO EACH OTHER.
- CONTAINER GROWN MATERIAL SHALL HAVE ENOUGH FIBROUS ROOT MASS TO HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. ROOT BOUND MATERIAL IS UNACCEPTABLE.
- PLANTING PITS SHALL BE BACKFILLED WITH TWO-THIRDS EXISTING SOIL AND ONE-THIRD ORGANIC AMENDING MATERIAL APPROPRIATE FOR EACH SPECIES. CLEAN EXISTING SOIL OF ROOTS, PLANTS, SOD, STONES, CLODS, POCKETS OF COARSE SAND, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, ASPHALT, PLASTER, BUILDING DEBRIS, AND OTHER EXTRANEIOUS MATERIALS HARMFUL TO PLANT GROWTH. BACK FILL MATERIAL SHALL BE THOROUGHLY MIXED. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF AN UNUSUAL CONDITION WHICH APPEARS DETRIMENTAL TO THE NEW PLANTING IS ENCOUNTERED. PLANTING BEDS SHALL BE 4 INCHES OF AMENDING MATERIAL AND 8 INCHES EXISTING SOIL OR IF EXISTING SOIL IS INAPPROPRIATE, REMOVE IT AND REPLACE IT WITH 8 INCHES OF IMPORTED TOP SOIL AND 4 INCHES OF AMENDING MATERIAL.
- AMENDING MATERIAL SHALL BE COMPOST MATERIAL. COMPOST SHALL BE FROM A PROVIDER THAT COMPLIES WITH THE US COMPOSTING COUNCIL STANDARDS FOR COMPOST PRODUCTION. THE COMPOST SHALL BE FREE OF NOXIOUS WEED SEED OR OTHER DELETERIOUS MATERIAL. IT SHALL HAVE A P.H. BETWEEN 6 AND 7.2.
- TEST PLANTING SOIL TO DETERMINE FERTILIZER REQUIREMENTS PRIOR TO INSTALLING PLANTS. ADD FERTILIZER TO PLANTING SOIL AT THE RATES RECOMMENDED BY CERTIFIED SOIL LAB. DO NOT ADD FERTILIZER TO STORM WATER PLANTING AREAS.
- INSTALL OR REPAIR IRRIGATION SYSTEMS PRIOR TO PLANT MATERIAL INSTALLATION.
- INSTALL PLANT MATERIAL WHEN CONDITIONS ARE APPROPRIATE. DO NOT INSTALL PLANT MATERIAL DURING THE FOLLOWING CONDITIONS:
 - EXTENDED HOT WINDY WEATHER, GREATER THAN 90 DEGREES FAHRENHEIT.
 - WINDY WEATHER WITH VELOCITY GREATER THAN 20 MPH.
 - WHEN THE GROUND IS FROZEN AND COLDER THAN 32 DEGREES FAHRENHEIT.
- FIELD PLACE TREES AND SHRUBS IN LOCATIONS SHOWN ON DRAWINGS. PREPARE DEPTH OF PLANTING PIT EQUAL TO THE SIZE OF THE ROOT BALL WITH THE ROOTBALL FLUSH TO GRADE AND 1-2 INCHES HIGHER IN SLOWING DRAINING SOIL. WIDTH OF THE PLANTING PITS SHALL BE AT LEAST TWICE AS WIDE AS THE SIZE OF THE ROOT BALL.
- AFTER SETTING BALLED PLANTS COMPLETELY REMOVE TWINE OR WIRE BINDING AND FOLD BACK BURLAP FROM AT LEAST ONE THIRD OF THE ROOT BALL. NON BIODEGRADABLE WRAPPING SHALL BE REMOVED. DO NOT PLANT IF THE ROOTBALL IS BROKEN OR CRACKED.
- WHEN SETTING CONTAINERIZED PLANTS, LOOSEN ANY CIRCLED OR BOUND ROOTS TO INSURE STRAIGHT ROOT GROWTH INTO PLANT PIT OR BED SOIL. SEVERELY COILED AND ROOT BOUND PLANTS ARE UNACCEPTABLE.
- AFTER BACKFILLING 2/3 OF THE SOIL MIX THOROUGHLY WATER-IN EACH PLANT. IF RECOMMENDED PLACE FERTILIZER SLOW RELEASE TABLETS IN THE SOIL SO THEY DO NOT TOUCH THE PLANT ROOTS. TAMP IN REMAINING BACKFILL TO FINISHED GRADE AND CREATE LOW BERM WITH PLANTING SOIL AROUND PLANT TO RETAIN WATER. HOSE PLANT WITH A FINE MIST TO CLEANSE LEAVES OF DEBRIS AND REMOVE TAGS.
- APPLY A COMMERCIAL GRADE, MEDIUM GRIND, NATURALLY COLORED SOFTWOOD MULCH UNIFORMLY OVER THE PLANTING AREA A MINIMUM OF TWO INCHES (2") THICK. MULCH SHALL NOT COVER THE ROOT CROWN OR BE PLACED OVER GROUND COVER PLANTINGS.
- AMEND LAWN WITH A 4 INCH MINIMUM OF COMPOSTED GARDEN MULCH. ADD FERTILIZER AT RATES RECOMMENDED BY SOIL TESTING LABS. INCORPORATE AMENDING MATERIAL IN THE TOP 8 INCHES OF EXISTING SOIL AND THOROUGHLY BLEND. AFTER THE SOIL HAS BEEN PREPARED, APPLY PRILLED LIME AT A RATE DETERMINED BY TESTING, AND RAKE INTO SOIL SURFACE. FLOAT AND ROLL LAWN AREAS TO ENSURE A SMOOTH, FIRM, AND MOWABLE LAWN SURFACE.
- ONLY STAKE TREES IF ADDITIONAL SUPPORT IS NECESSARY AS IN THE FOLLOWING CONDITIONS: ROOT BALLS CONTAIN VERY SANDY SOIL OR VERY WET CLAY OR TREES ARE LOCATED IN A PLACE OF EXTREMELY WINDY CONDITIONS. IF STAKING IS DETERMINED NECESSARY, STAKE SHALL BE 2" X 2" WWPA NO.2 GRADE DOUGLAS FIR, EIGHT FEET LONG. TREE TIES SHALL BE POLY CHAIN LOCK MATERIAL AND LEAVE SLACK IN THE TIE. STAKES SHOULD NOT CONTACT THE TREE ROOTS OR ROOTBALL AND SHOULD BE EMBEDDED 12" BELOW THE PLANT PIT. REMOVE THE TREE TIES AND STAKES AFTER ONE YEAR.
- IRRIGATE WHEN NECESSARY TO AVOID DRYING OUT OF MATERIAL AND TO PROMOTE HEALTHY GROWTH UNTIL FINAL APPROVAL.
- AT JOB COMPLETION, ALL DEBRIS, EXTRA MATERIALS, SUPPLIES AND EQUIPMENT SHALL BE REMOVED FROM THE SITE. ALL SURFACES SHALL BE SWEEPED CLEAN AND MULCH AREAS CLEARED OF SOIL. ALL AREAS OF THE PROJECT SHALL BE CLEAN, ORDERLY AND COMPLETE.



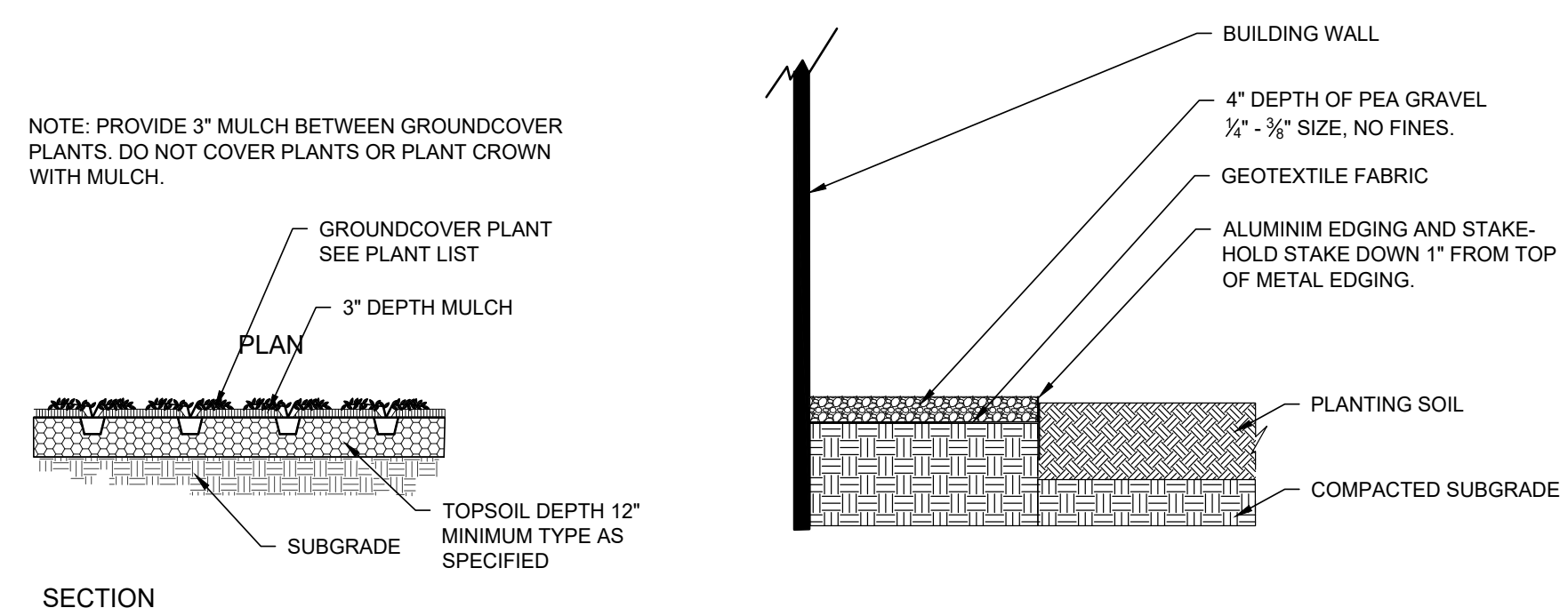
1 EVERGREEN TREE PLANTING DETAIL
 L2 NOT TO SCALE



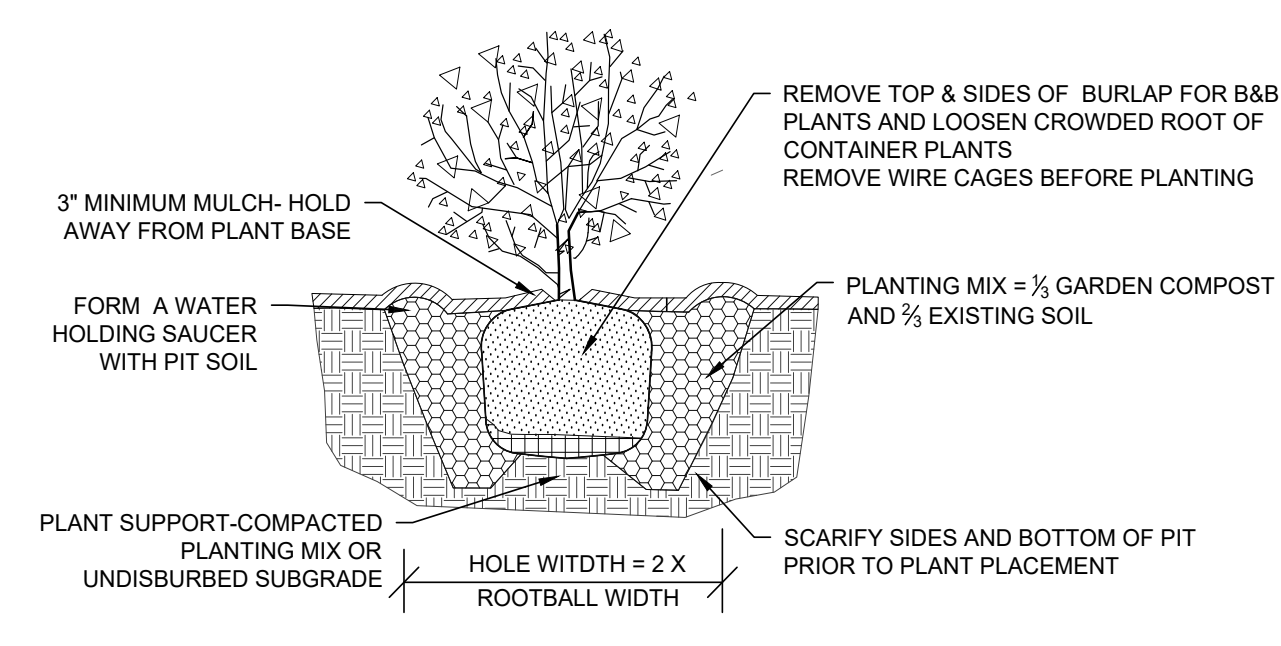
2 DECIDUOUS TREE PLANTING DETAIL
 L2 NOT TO SCALE



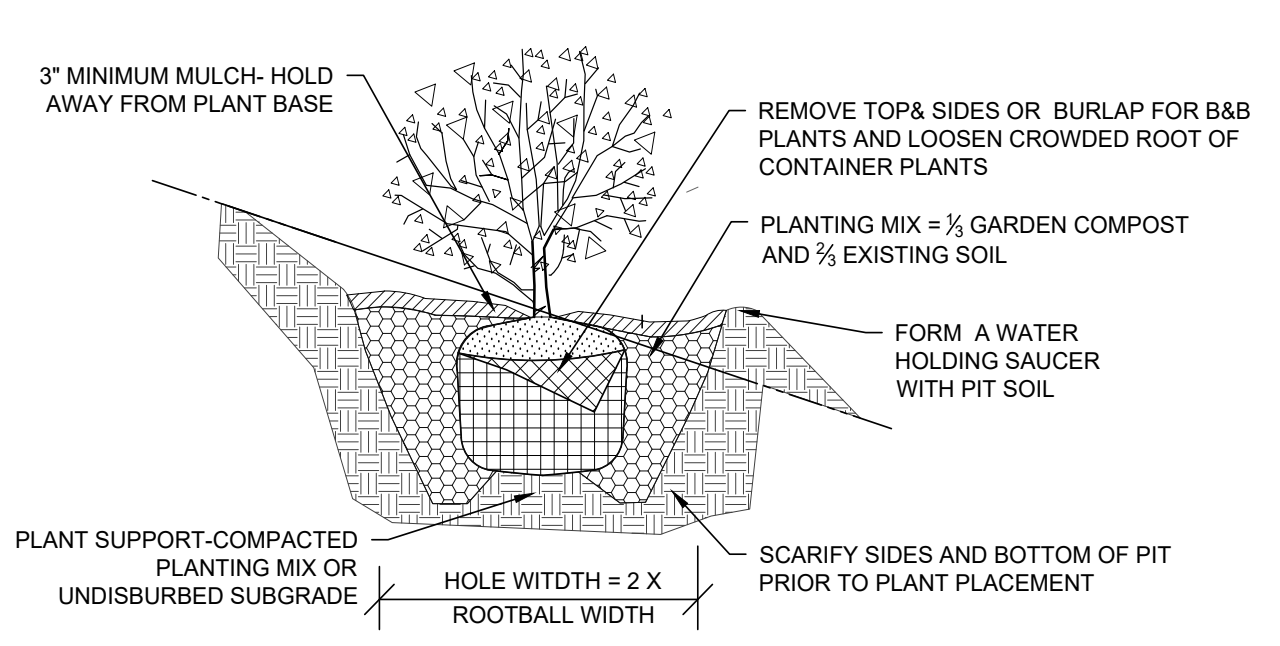
3 GROUNDCOVER PLANTING DETAIL
 L2 NOT TO SCALE



4 PEA GRAVEL EDGING DETAIL
 L2 NOT TO SCALE



5 SHRUB PLANTING DETAIL
 L2 NOT TO SCALE



6 SLOPE PLANTING DETAIL
 L2 NOT TO SCALE



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 TOWNHOME APARTMENTS**
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REVISIONS

No.	Description	Date

DRAWN BY: SJM
 CHECKED BY: DH
 JOB NO: 20-004
 DATE: 07/16/2021
 ISSUED FOR: DESIGN REVIEW
 SHEET TITLE
 SITE PLAN - EXISTING / DEMO
 SHEET NO.

A-101

SITE STATISTICS - EXISTING (ON SITE)
 TOTAL SITE AREA (AS SURVEYED): 25,869 SF (0.59 ACRES) 100%
 IMPERVIOUS AREA:
 BUILDING FOOTPRINT (EXISTING): 0 SF
 HARDSCAPE (EXISTING): 0 SF
 EXISTING IMPERVIOUS AREA: 0 SF 0%
 PERVIOUS AREA (GRAVEL): 1,620 SF (6%)
 PERVIOUS AREA (LANDSCAPE): 24,249 SF (94%)
 EXISTING PERVIOUS AREA: 25,869 SF 100%

EXISTING VEHICLE PARKING COUNTS:
 SITE IS UNDEVELOPED AND NO VEHICLE PARKING EXISTS

EXISTING BICYCLE PARKING:
 SITE IS UNDEVELOPED AND NO BICYCLE PARKING EXISTS

SITE STATISTICS - EXISTING (OFF SITE)
 IMPERVIOUS AREA:
 EXISTING TOTAL PERVIOUS AREA: 2,156 SF
 ASPHALT SIDEWALK (DEMO): <2,022 SF>
 CONC. CURB RAMP (DEMO): <134 SF>
 EXISTING IMPERVIOUS TO REMAIN: 0 SF

PERVIOUS AREA:
 EXISTING TOTAL PERVIOUS AREA: 8,243 SF
 GRAVEL (DEMO): <1,882 SF>
 LANDSCAPE (DEMO): <2,690 SF>
 EXISTING LANDSCAPE TO REMAIN: 3,671 SF

NOTE: TOTAL ADJACENT OFF-SITE AREA IS ALSO REDUCED DUE TO RELOCATION OF THE STREET CURB AS A RESULT OF WIDENING THE ROAD.

SITE PLAN LEGEND

- (E) CONCRETE
- (E) ASPHALT
- (E) LANDSCAPE
- (E) GRAVEL
- (E) FLOOD SLOPE HAZARD ZONE
- (E) DRAINAGE DITCH
- DEMO AREA
- (E) PROPERTY LINE
- (E) FENCE LINE
- (E) BUILDING FOOTPRINT
- (E) CONTOUR LINE - SEE CIVIL
- (E) SIGN
- (E) TREE - EVERGREEN
- (E) TREE - DECIDUOUS
- (E) SHRUBBERY
- (E) STORMWATER INLET
- (E) FIRE HYDRANT - OR - FDC
- (E) GAS METER
- VEHICLE CIRCULATION
- BUILDING ENTRY/EXIT

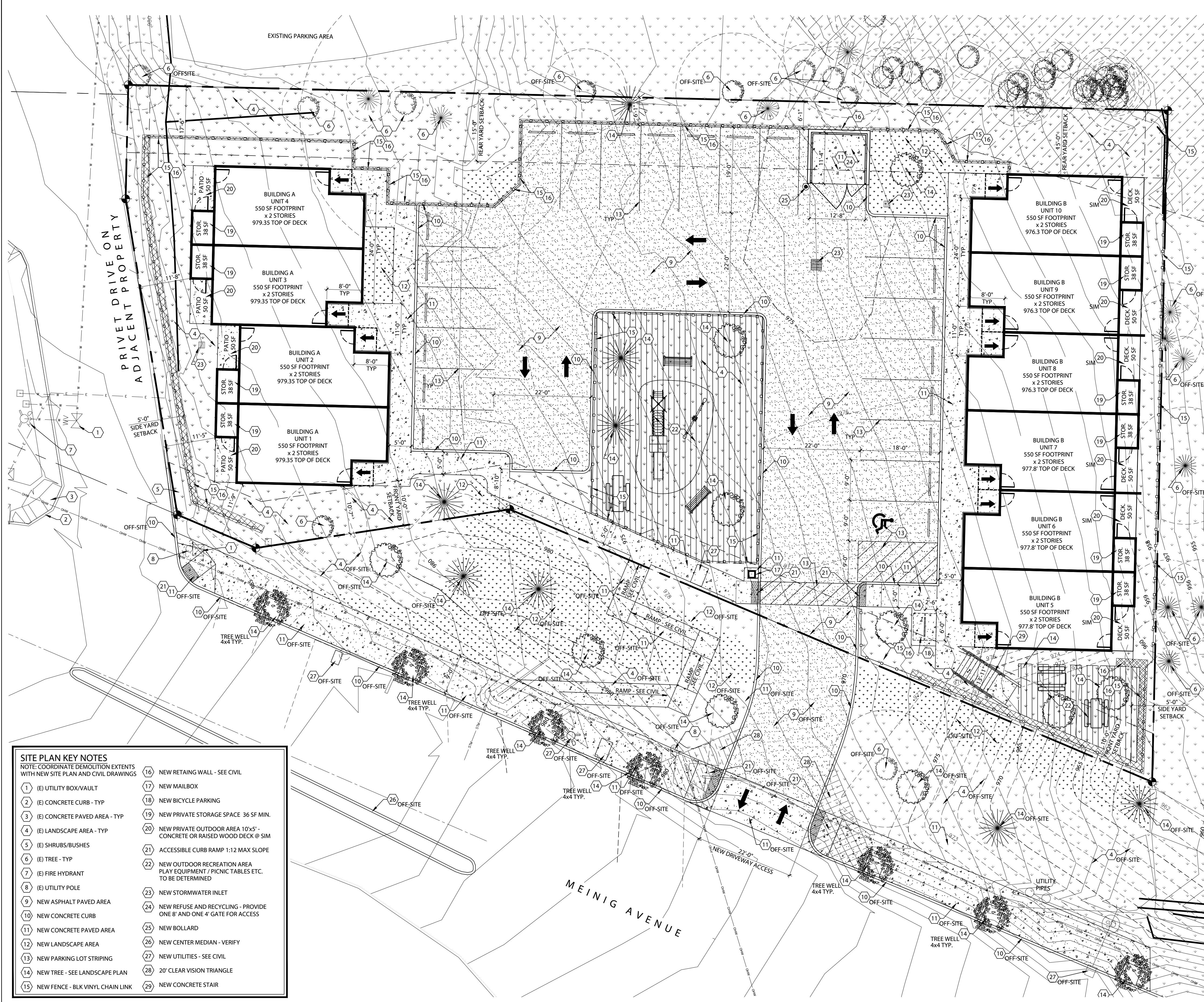


- SITE PLAN KEY NOTES**
 NOTE: COORDINATE DEMOLITION EXTENTS WITH NEW SITE PLAN AND CIVIL DRAWINGS
- 1 (E) UTILITY BOX/VAULT
 - 2 (E) CONCRETE CURB - TYP
 - 3 (E) CONCRETE PAVED AREA - TYP
 - 4 (E) LANDSCAPE AREA - TYP
 - 5 (E) SHRUBS/BUSHES
 - 6 (E) TREE - TYP
 - 7 (E) FIRE HYDRANT
 - 8 (E) UTILITY POLE
 - 9 DEMO (E) ASPHALT PAVED AREA
 - 10 DEMO (E) CONCRETE CURB
 - 11 DEMO (E) CONCRETE PAVED AREA
 - 12 DEMO (E) LANDSCAPE AREA
 - 13 DEMO (E) GRAVEL AREA
 - 14 DEMO (E) TREE - TYP
 - 15 DEMO (E) FENCE
 - 16 DEMO (E) LANDSCAPE AND PREP FOR NEW RETAINING WALL
 - 17 VERIFY CONDITION OF (E) GAS METER AND SUPPLY LINE

1 SITE PLAN - EXISTING / DEMO
 SCALE: 1" = 10'-0"



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SITE PLAN KEY NOTES
NOTE: COORDINATE DEMOLITION EXTENTS WITH NEW SITE PLAN AND CIVIL DRAWINGS

1 (E) UTILITY BOX/Vault	16 NEW RETAINING WALL - SEE CIVIL
2 (E) CONCRETE CURB - TYP	17 NEW MAILBOX
3 (E) CONCRETE PAVED AREA - TYP	18 NEW BICYCLE PARKING
4 (E) LANDSCAPE AREA - TYP	19 NEW PRIVATE STORAGE SPACE 36 SF MIN.
5 (E) SHRUBS/BUSHES	20 NEW PRIVATE OUTDOOR AREA 10'x5' CONCRETE OR RAISED WOOD DECK @ SIM
6 (E) TREE - TYP	21 ACCESSIBLE CURB RAMP 1:12 MAX SLOPE
7 (E) FIRE HYDRANT	22 NEW OUTDOOR RECREATION AREA PLAY EQUIPMENT / PICNIC TABLES ETC. TO BE DETERMINED
8 (E) UTILITY POLE	23 NEW STORMWATER INLET
9 NEW ASPHALT PAVED AREA	24 NEW REFUSE AND RECYCLING - PROVIDE ONE 8' AND ONE 4' GATE FOR ACCESS
10 NEW CONCRETE CURB	25 NEW BOLLARD
11 NEW CONCRETE PAVED AREA	26 NEW CENTER MEDIAN - VERIFY
12 NEW LANDSCAPE AREA	27 NEW UTILITIES - SEE CIVIL
13 NEW PARKING LOT STRIPING	28 20' CLEAR VISION TRIANGLE
14 NEW TREE - SEE LANDSCAPE PLAN	29 NEW CONCRETE STAIR
15 NEW FENCE - BLK VINYL CHAIN LINK	

1 SITE PLAN - PROPOSED
SCALE: 1" = 10'-0"

SITE STATISTICS - PROPOSED (ON SITE)

TOTAL SITE AREA (AS SURVEYED): 25,869 SF 100% (0.59 ACRES)

IMPERVIOUS AREA:
BUILDING FOOTPRINT (NEW): 5,500 SF
10 @ 550 SF (LIVING AREA) + 38 SF (STORAGE)

HARDSCAPE ASPHALT/CONC (NEW): 11,760 SF
PROPOSED IMPERVIOUS AREA: 17,260 SF 67%

PERVIOUS LANDSCAPE AREA:
EXISTING LANDSCAPE TO REMAIN: 8,003 SF
NEW LANDSCAPE: 606 SF
PROPOSED PERVIOUS AREA: 8,609 SF 33%

NOTE: PROPOSED REQUIRED OUTDOOR RECREATION AREA IS APPROXIMATELY 2,430 SF OF THE PROPOSED LANDSCAPE AREA

PROPOSED VEHICLE PARKING COUNTS:
BASED ON 2 STALLS PER 2 BED UNIT
10 UNITS = 20 STALLS
21 STALLS PROVIDED INCLUDING ONE ACCESSIBLE

PERCENTAGE OF STREET FRONTAGE OCCUPIED BY PARKING:
TOTAL FRONTAGE DIMENSION: 235'-0"
TOTAL FRONTAGE OCCUPIED BY PARKING AND MANEUVERING MINUS DRIVE ACCESS: 58'-0" (25%)

NEW BICYCLE PARKING:
1 STALL PER DWELLING UNIT REQUIRED. TENANT BICYCLE PARKING SPACE PROVIDED VIA HANGING RACK WITHIN INDIVIDUAL ATTACHED STORAGE SPACE.
2 PUBLIC STALLS MEASURING 2.5 FEET BY 6 FEET ARE PROVIDED ADJACENT TO THE SITE DRIVEWAY ACCESS.

SITE STATISTICS - PROPOSED (OFF SITE)

IMPERVIOUS AREA:
ASPHALT ACCESS DRIVE (NEW): 1,004 SF
CONC SIDEWALK (NEW): 11,760 SF
PROPOSED NEW IMPERVIOUS AREA: 12,764 SF

PERVIOUS LANDSCAPE AREA:
EXISTING LANDSCAPE TO REMAIN: 3,671 SF
NEW LANDSCAPE: 2,238 SF
NEW STREET TREE WELLS @ 16 SF: 80 SF
PROPOSED PERVIOUS AREA: 5,989 SF

SITE PLAN LEGEND

(E) CONCRETE	(E) CONTOUR LINE - SEE CIVIL
(N) CONCRETE	(N) CONTOUR LINE - SEE CIVIL
(E) ASPHALT	(E) PROPERTY LINE
(N) ASPHALT	(E) FENCE LINE
(E) LANDSCAPE	(N) FENCE LINE
(N) LANDSCAPE	(E) BUILDING FOOTPRINT
(N) LANDSCAPE RECREATION AREA	(N) BUILDING FOOTPRINT
(E) FLOOD SLOPE HAZARD ZONE	(E) CONTOUR LINE - SEE CIVIL
(E) PROPERTY LINE	(N) CONTOUR LINE - SEE CIVIL
(E) FENCE LINE	NEW RETAINING WALL
(N) FENCE LINE	(E) OR NEW SITE LIGHTING
(E) BUILDING FOOTPRINT	(E) OR NEW SIGN
(N) BUILDING FOOTPRINT	(E) OR NEW TREE - EVERGREEN
(E) CONTOUR LINE - SEE CIVIL	(E) OR NEW TREE - DECIDUOUS
(N) CONTOUR LINE - SEE CIVIL	(E) OR NEW SHRUBBERY
NEW RETAINING WALL	(E) OR NEW STORMWATER INLET
(E) OR NEW SITE LIGHTING	(E) OR NEW FIRE HYDRANT / FDC
(E) OR NEW SIGN	(E) OR NEW GAS METER
(E) OR NEW TREE - EVERGREEN	VEHICLE CIRCULATION
(E) OR NEW TREE - DECIDUOUS	BUILDING ENTRY/EXIT
(E) OR NEW SHRUBBERY	
(E) OR NEW STORMWATER INLET	
(E) OR NEW FIRE HYDRANT / FDC	
(E) OR NEW GAS METER	



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REVISIONS

No.	Description	Date

DRAWN BY: SJM
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SHEET TITLE
SITE PLAN - PROPOSED

SHEET NO.
A-102



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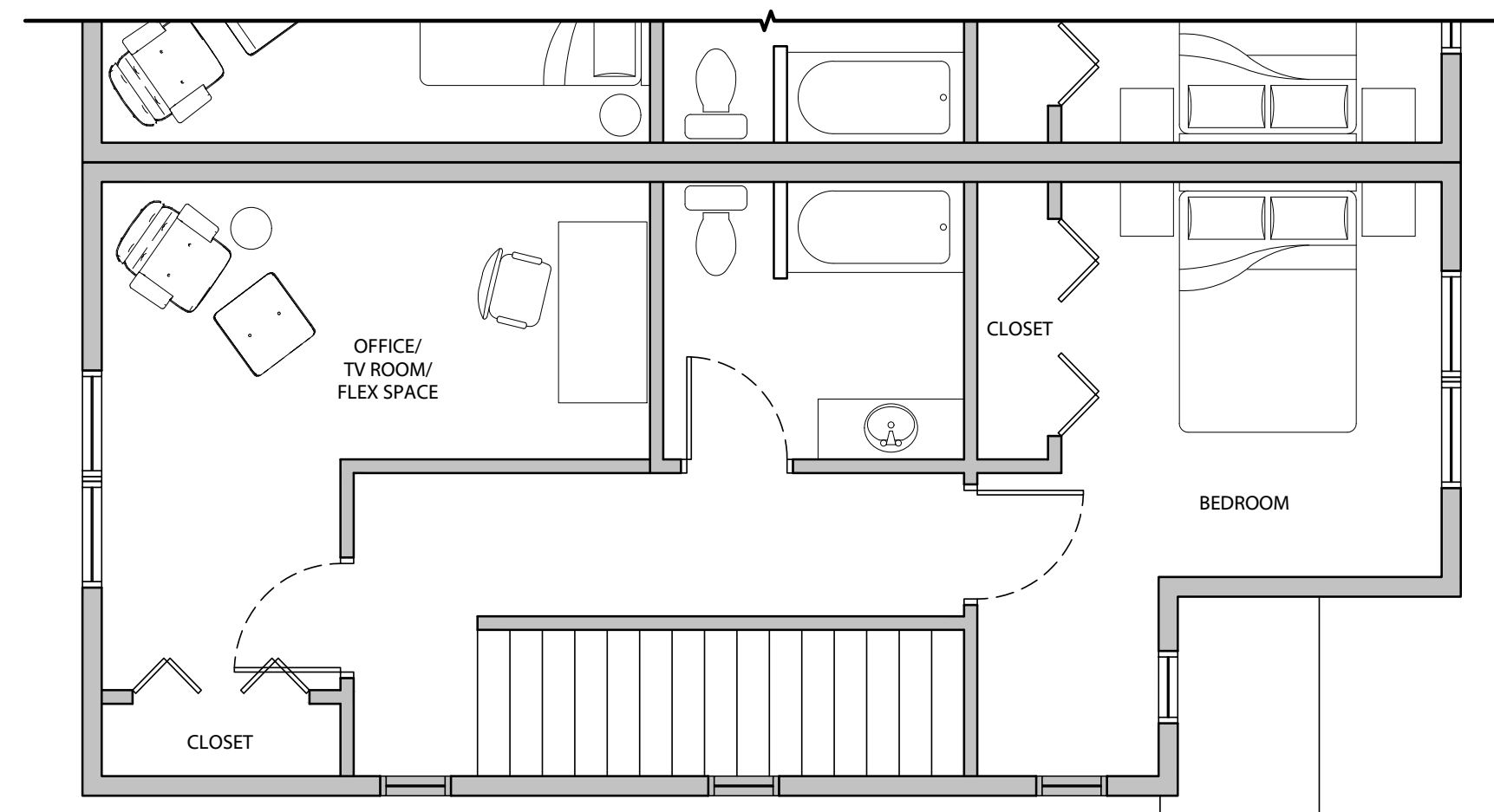
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FIRST AND SECOND FLOOR PLANS

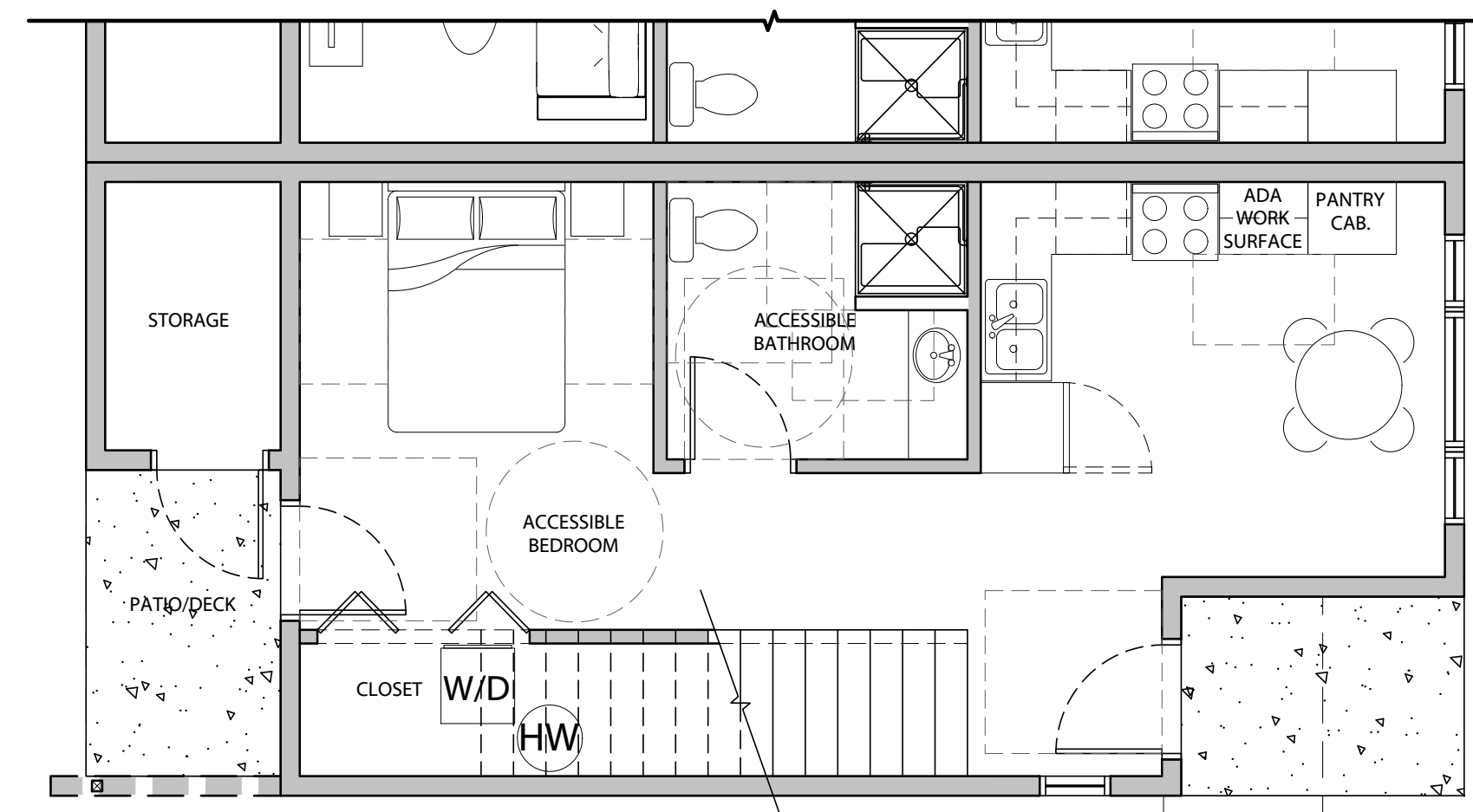
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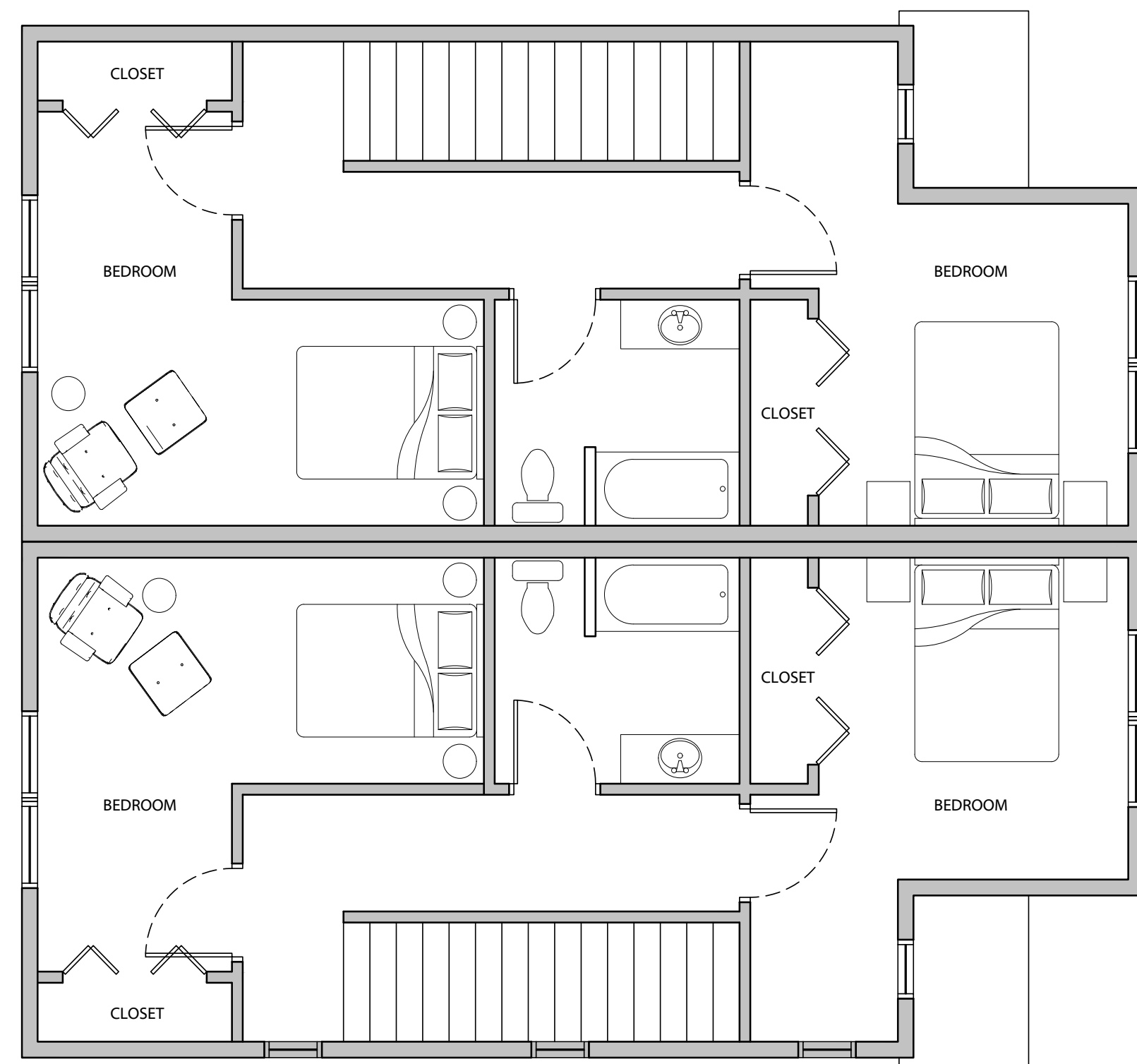
A-201



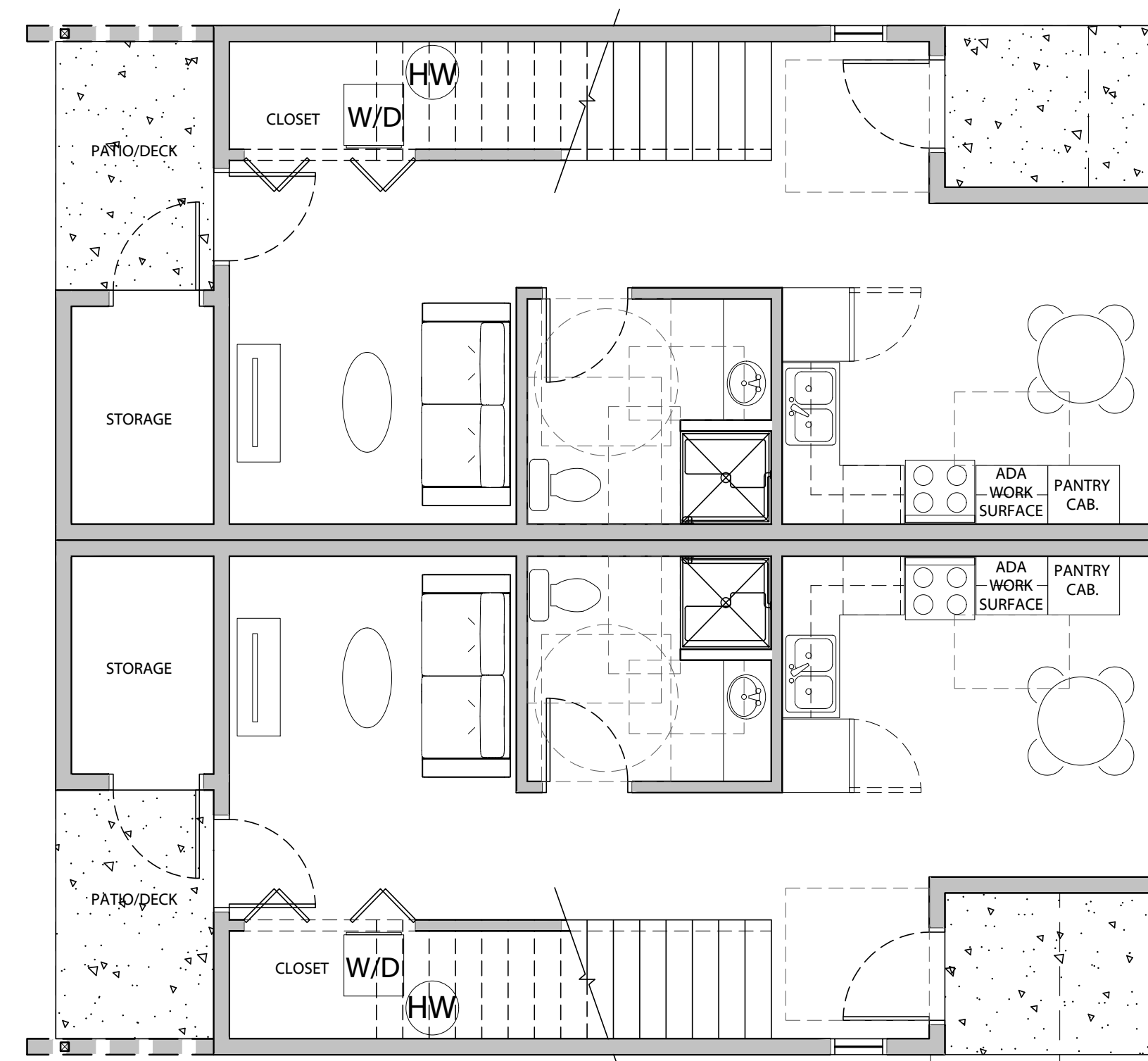
4 SECOND FLOOR PLAN - ACCESSIBLE UNIT
SCALE: 1/4" = 1'-0"



3 FIRST FLOOR PLAN - ACCESSIBLE UNIT
SCALE: 1/4" = 1'-0"



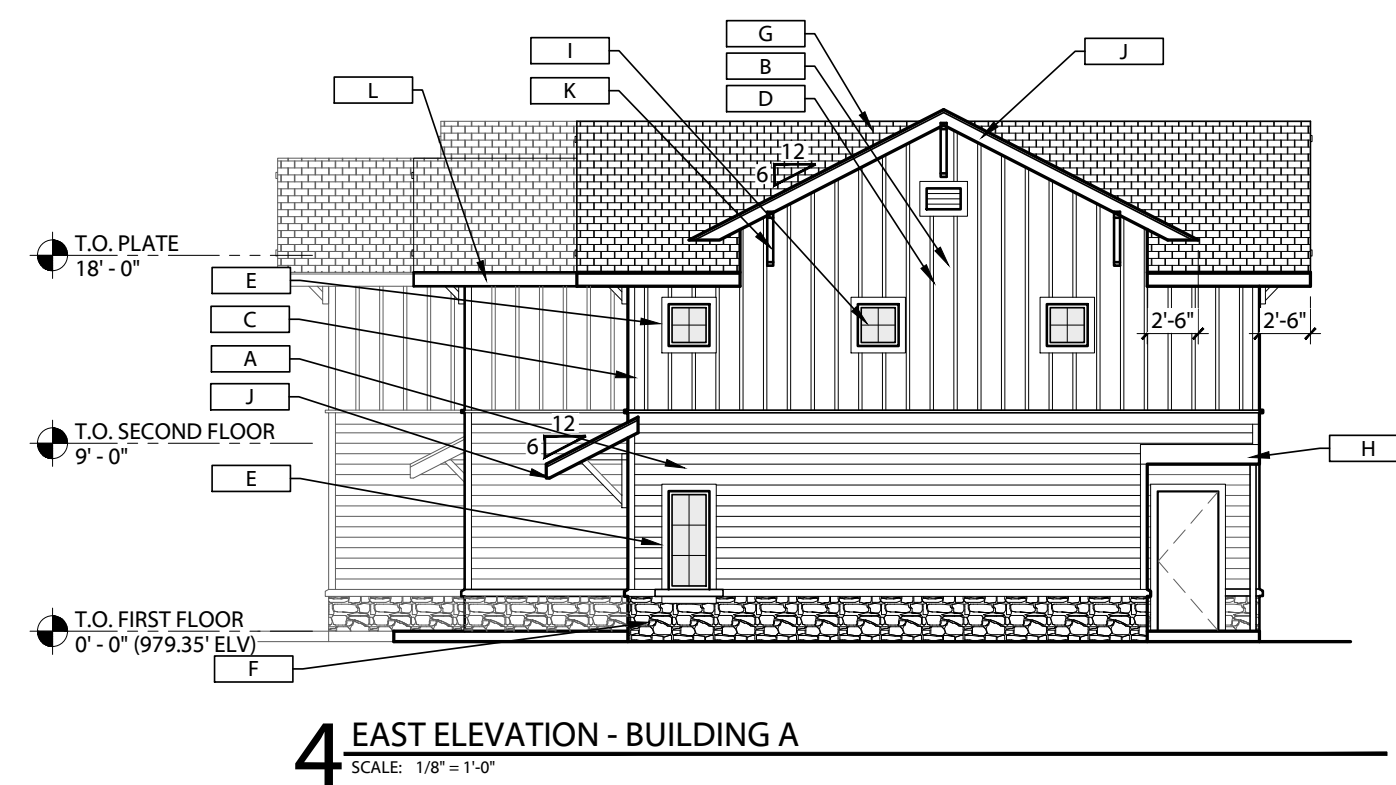
2 SECOND FLOOR PLAN - STANDARD UNIT
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN - STANDARD UNIT
SCALE: 1/4" = 1'-0"



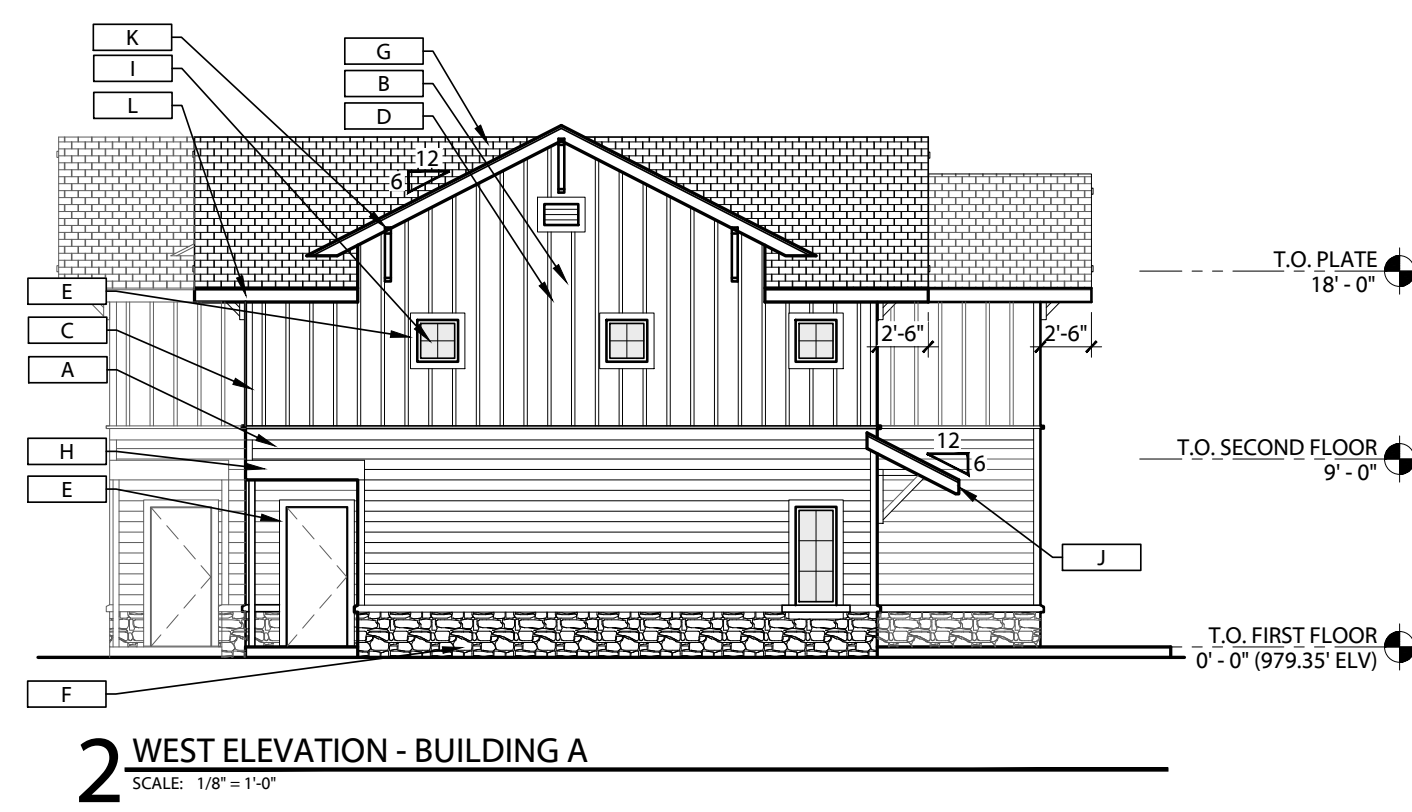
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4 EAST ELEVATION - BUILDING A
 SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION - BUILDING A
 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION - BUILDING A
 SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION - BUILDING A
 SCALE: 1/8" = 1'-0"

THE PAD
 TOWNHOME APARTMENTS
 17650 MEINING AVENUE
 SANDY, OR 97055

REVISIONS

No.	Description	Date

DRAWN BY: SJM

CHECKED BY: DH

JOB NO: 20-004

DATE: 07/16/2021

ISSUED FOR: DESIGN REVIEW

SHEET TITLE

EXTERIOR ELEVATIONS

PROPOSED NORTH BUILDING "A"

SHEET NO.

A-221

EXTERIOR FINISH MATERIAL LEGEND						
CODE	MATERIAL	MFG	DESCRIPTION			ADDITIONAL INFO
			PRODUCT	COLOR	DIM.	
A	LAP SIDING	JAMES HARDIE	SELECT CEDAR MILL	WARM WHISKY	8 1/2" (7" EXPOSURE)	
B	HARDIE PANEL	JAMES HARDIE	SELECT CEDAR MILL	COBBLE STONE	PANEL	
C	HARDIE TRIM	JAMES HARDIE	3/4" ROUGH SAWN	ARCTIC WHITE	5.5"	
D	HARDIE TRIM	JAMES HARDIE	1/2" RUSTIC GRAIN BATTEN BOARDS	COBBLE STONE	2.5"	
E	HARDIE TRIM	JAMES HARDIE	3/4" ROUGH SAWN	ARCTIC WHITE	3.5"	
F	CULTURED STONE	MUTUAL MATERIALS	COUNTRY LEDGE STONE	SKYLINE	VARIES	
G	ASPHALT SHINGLES	OWENS CORNING	OAKRIDGE	BROWNWOOD		
H	HARDIE TRIM	JAMES HARDIE	3/4" ROUGH SAWN	ARCTIC WHITE	11.25"	
I	VINYL WINDOWS	TBD	TBD	WHITE	VARIES	LOW-E, INSULATED GLASS

EXTERIOR FINISH MATERIAL LEGEND						
CODE	MATERIAL	MFG	DESCRIPTION			ADDITIONAL INFO
			PRODUCT	COLOR	DIM.	
J	WOOD RAKE	N/A	RAKE BOARD	ARCTIC WHITE	2 X 8	DIMENSIONAL LUMBER
K	WOOD BRACKET	EKENA MILLWORK	WOOD BRACKET	ARCTIC WHITE	32" X 32"	4"X4" ROUGH SAWN LUMBER - WRC OR DF
L	WOOD FASCIA	N/A	WOOD FASCIA	ARCTIC WHITE	2 X 8	DIMENSIONAL LUMBER

ELEVATIONS GENERAL NOTES

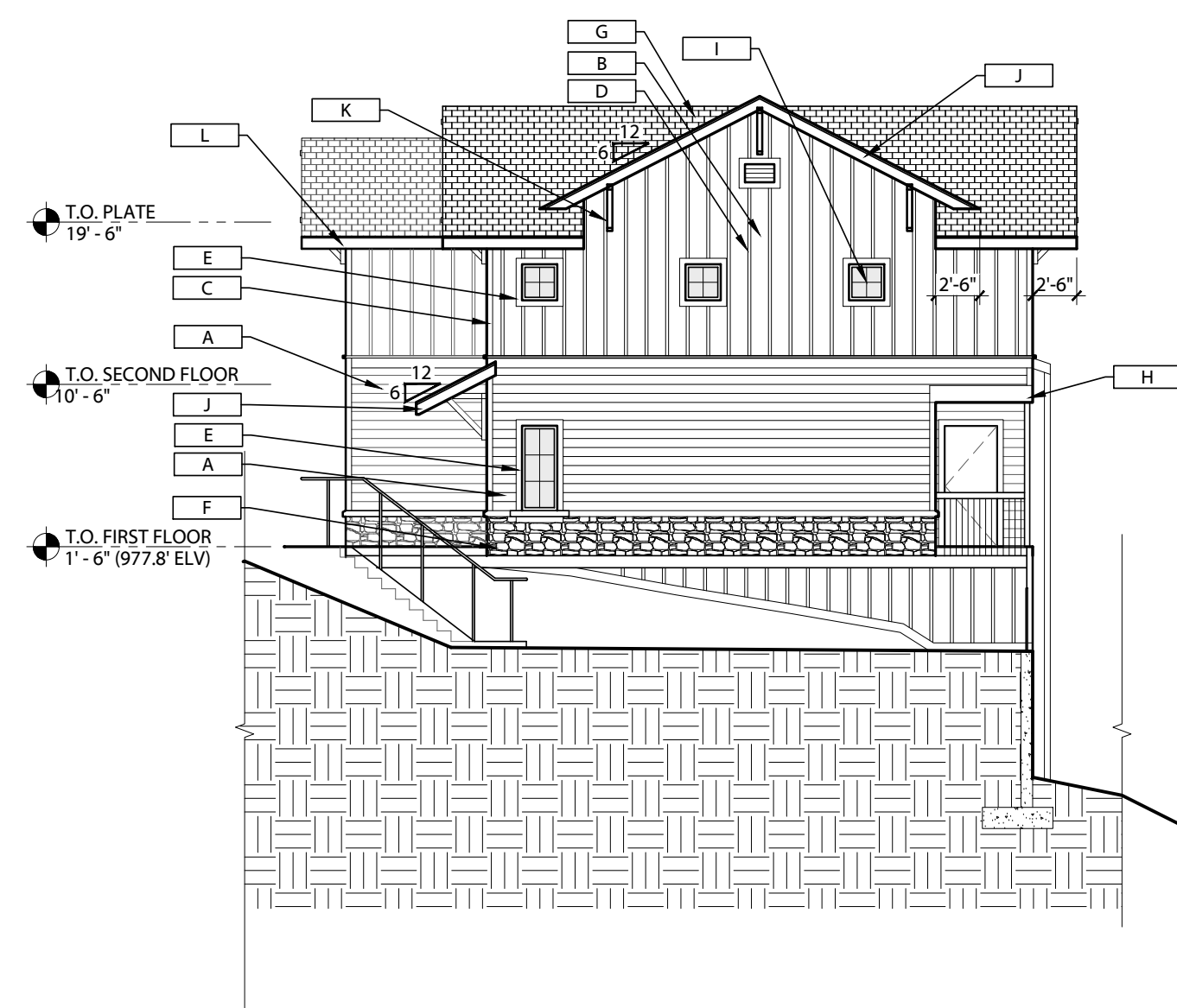
- MATERIAL MANUFACTURERS AND FINISH TO BE DETERMINED.
- COLORS SHALL BE IN MUTED EARTH TONE PALETTE AS SUGGESTED BY SANDY STYLE DEVELOPMENT CODE - SEE COLOR RENDERERS INCLUDED WITH THIS SUBMISSION



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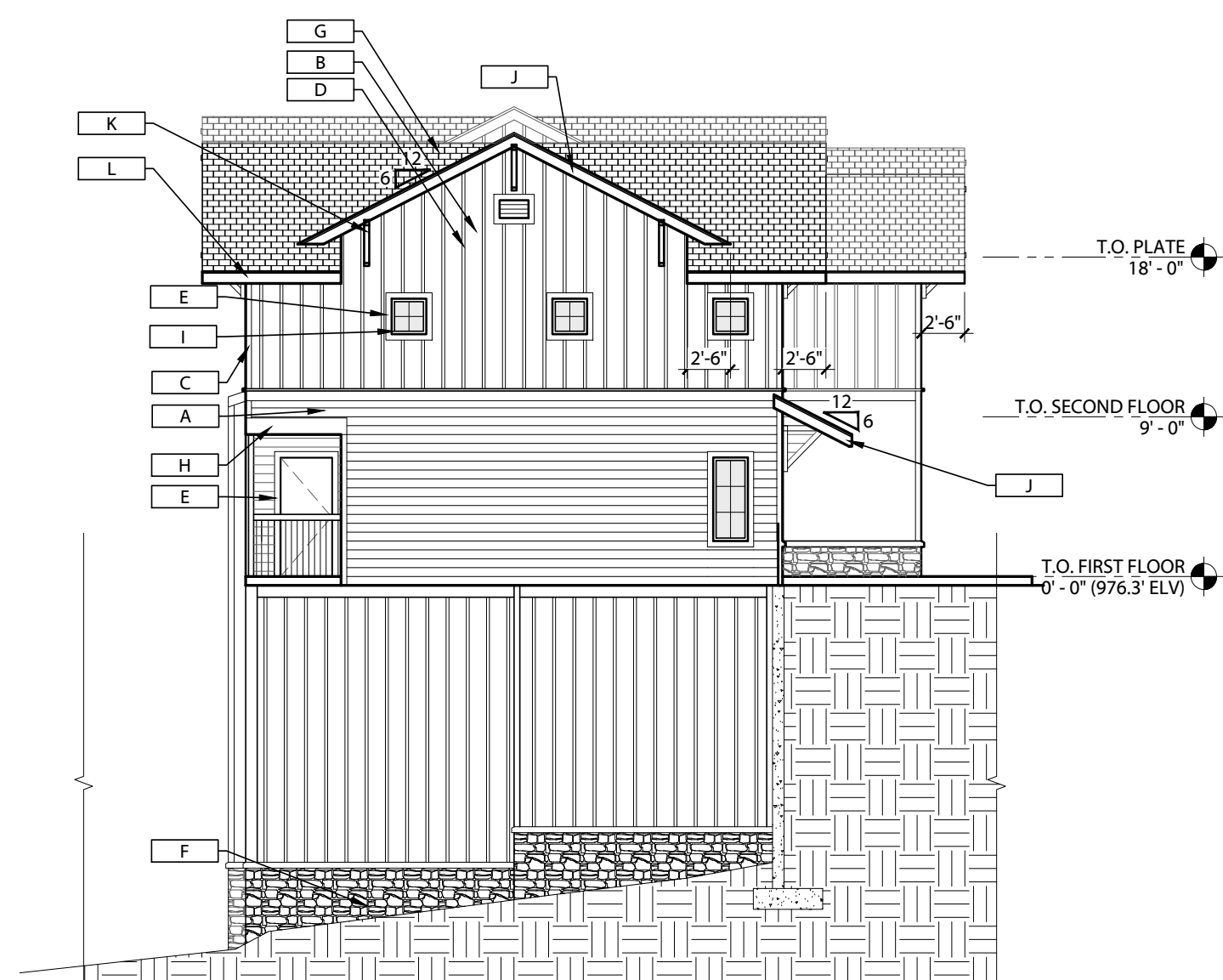
THE PAD
 TOWNHOME APARTMENTS
 17650 MEINING AVENUE
 SANDY, OR 97055



4 WEST ELEVATION - BUILDING B
 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION - BUILDING B
 SCALE: 1/8" = 1'-0"



2 EAST ELEVATION - BUILDING B
 SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION - BUILDING B
 SCALE: 1/8" = 1'-0"

EXTERIOR FINISH MATERIAL LEGEND						
CODE	MATERIAL	MFG	DESCRIPTION		ADDITIONAL INFO	
			PRODUCT	COLOR	DIM.	
A	LAP SIDING	JAMES HARDIE	SELECT CEDAR MILL	WARM WHISKY	8 1/2" (7" EXPOSURE)	
B	HARDIE PANEL	JAMES HARDIE	SELECT CEDAR MILL	COBBLE STONE	PANEL	
C	HARDIE TRIM	JAMES HARDIE	3/4" ROUGH SAWN	ARCTIC WHITE	5.5"	
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F	CULTURED STONE	MUTUAL MATERIALS	COUNTRY LEDGE STONE	SKYLINE	VARIES	
G	ASPHALT SHINGLES	OWENS CORNING	OAKRIDGE	BROWNWOOD		
H	HARDIE TRIM	JAMES HARDIE	3/4" ROUGH SAWN	ARCTIC WHITE	11.25"	
I	VINYL WINDOWS	TBD	TBD	WHITE	VARIES LOW-E, INSULATED GLASS	

EXTERIOR FINISH MATERIAL LEGEND						
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J	WOOD RAKE	N/A	RAKE BOARD	ARCTIC WHITE	2 X 8 DIMENSIONAL LUMBER	
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L	WOOD FASCIA	N/A	WOOD FASCIA	ARCTIC WHITE	2 X 8 DIMENSIONAL LUMBER	

ELEVATIONS GENERAL NOTES

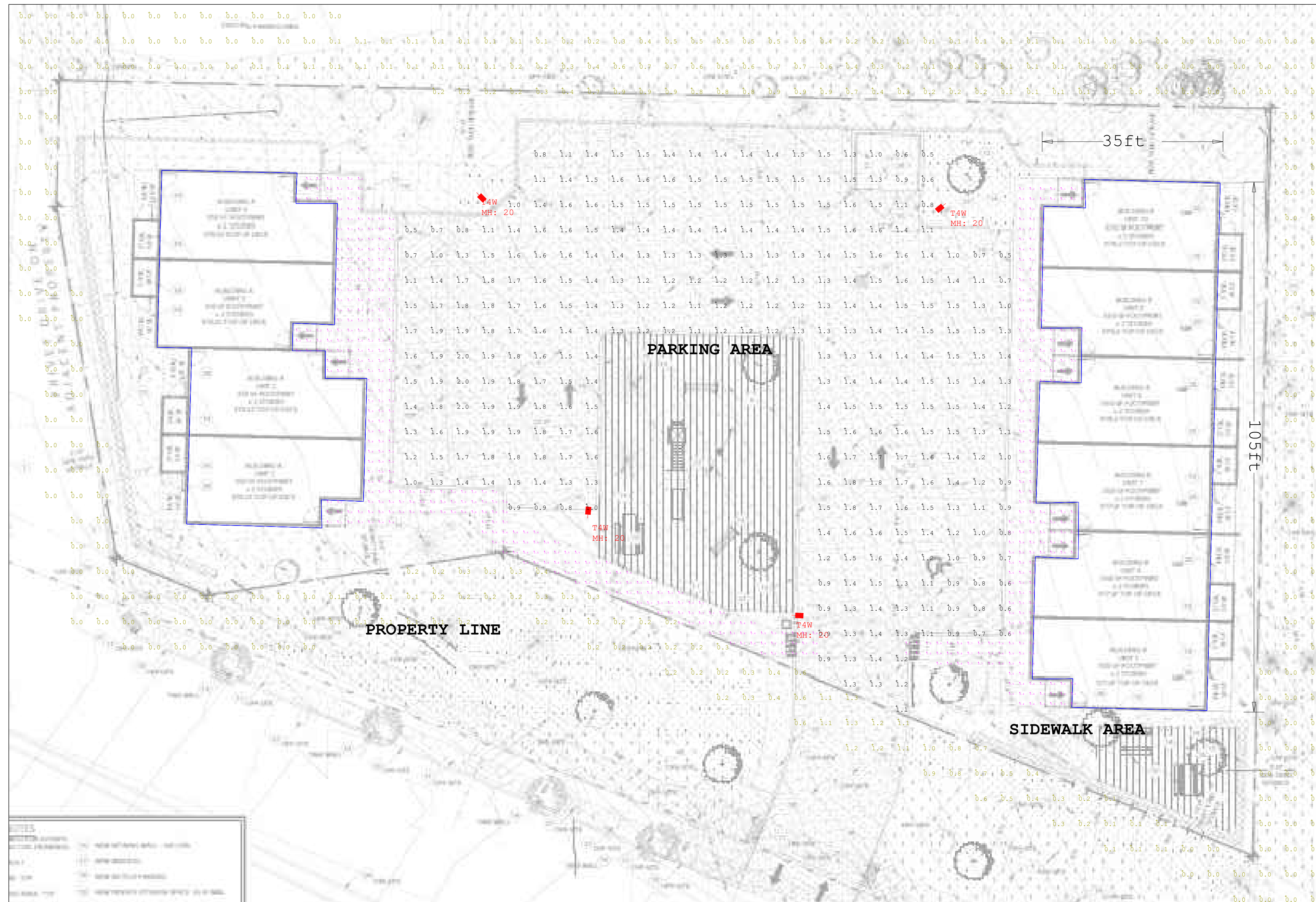
- MATERIAL MANUFACTURERS AND FINISH TO BE DETERMINED.
 - COLORS SHALL BE IN MUTED EARTH TONE PALETTE AS SUGGESTED BY SANDY STYLE DEVELOPMENT CODE - SEE COLOR RENDERS INCLUDED WITH THIS SUBMISSION

REVISIONS

No.	Description	Date

DRAWN BY: SJM
 CHECKED BY: DH
 JOB NO: 20-004
 DATE: 07/16/2021
 ISSUED FOR: DESIGN REVIEW
 SHEET TITLE
 EXTERIOR ELEVATIONS
 PROPOSED SOUTH BUILDING "B"
 SHEET NO.

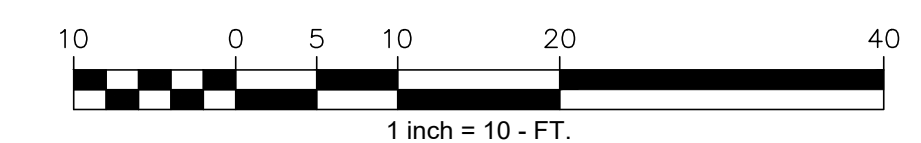
A-222



Luminaire Schedule						
Symbol	Label	Qty	Lum. Watts	Lum. Lumens	LLF	Description
	T4W	4	49.8	6245	0.850	SINGLE RAR1-80L-50-4K7-4W

Note:
 Calculation Grid (5ft x 5ft) @ Ground Level.
 SidewalkGrid (2ft x 2ft) @ Ground Level.
 Luminaire mounting heights are noted on each Luminaire Label.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking area	Illuminance	Fc	1.37	2.0	0.5	2.74	4.00
Property line	Illuminance	Fc	0.16	1.3	0.0	N.A.	N.A.
Sidewalk area	Illuminance	Fc	0.58	1.5	0.0	N.A.	N.A.



LT-1

THIS LIGHTING DESIGN IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO HUBBELL LIGHTING. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
 2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
 3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

TITLE:	PHOTOMETRIC PLAN The Pad Townhouses Sandy OR	REVISED FROM DRAWING NUMBER(S): 20-26577 20-26577R1	 <small>HUBBELL LIGHTING, INC. 701 MILLIKUM BLVD. GREENVILLE, SC 29615</small>	CDR BY: Harish REV BY: DATE: QUOTE: N/A	DATE: 05-27-2021 SCALE: AS NOTED DRAWING DESIGN NO.: 20-26577R2
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City of Sandy
39250 Pioneer Blvd.,
Sandy, OR 97055

Agenda Date: September 8th, 2021
To: Parks and Trails Advisory Board
From: Shelley Denison, Associate Planner
Subject: Bang the Table – Public Engagement Platform
Attachments: None

Parks and Trails Photo Contest

Sandy has contracted with Bang the Table to use their public engagement platform, EngagementHQ (EHQ). EHQ allows cities to educate and engage their communities about various city projects.

Bang the Table suggests starting with a non-controversial project for residents to participate in so that they can learn about the platform. One we would like to pursue is a Parks and Trails Photo Contest.

Participating residents can submit their Sandy parks and trails photos on Sandy's EHQ site. Ron Lesowski, owner of Tollgate Inn, has agreed to donate a gift certificate as a prize for the winner.

We are asking for the Parks and Trails Advisory Board's participation in two ways: help us advertise the photo contest (and, by extension, the EHQ site), and judge the photo contest in November.

We are hoping to launch the EHQ website in mid-September, with the contest running from launch to the end of October. This should allow for some great early fall photos of our parks and trails.

For more information: <https://www.bangthetable.com/>

Staff Contact:

Sarah Richardson
503-489-2150
srichardson@cityofsandy.com