

DEER POINTE PARK - CONSTRUCTION SET

PROJECT TEAM

CLIENT	LANDSCAPE ARCHITECT	CIVIL ENGINEER	UTILITY CONTACT
City of Sandy Parks & Recreation 38348 Pioneer Boulevard Sandy, OR 97055	Lango Hansen Landscape Architects 1100 NW Glisan #3A Portland, OR 97209 Contact: Brian Martin Email: brian@langohansen.com Phone: 503.553.9242	Firwood Design Group 359 E Hist. Columbia River Highway Troutdale, OR 97060 Contact: Kelli Grover Email: kg@firwooddesign.com Phone: 503-668-3737	Portland General Electric Contact: Kristi Knight Gresham Associate Design Project Manager Email: Kristine.Knight@pgn.com Phone: 971.293.9807

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VICINITY MAP

PARK LOCATION: 18200 MEADOW AVE, SANDY, OR 97055

LANDSCAPE ARCHITECTS PC

lango.hansen

1100 nw glisan #3A portland OR 97209 T 503 295.2437

REGISTERED
NO. 345
LUT. 11/11/01
LANDSCAPE ARCHITECT
OREGON

DEER POINTE PARK
CITY OF SANDY PARKS AND RECREATION
CITY OF SANDY
18200 MEADOW AVE
SANDY, OR 97055

CONSTRUCTION SET

REVISIONS

SCALE
DRAWN BY
DATE
PROJECT NO.

AS NOTED
CB/KS
07.01.2025
2345

COVER SHEET

G0.01

SITE SURVEY LEGEND

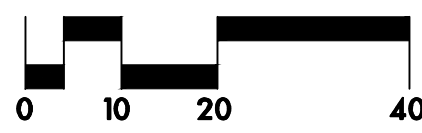
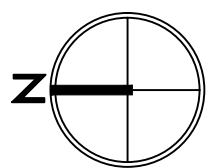
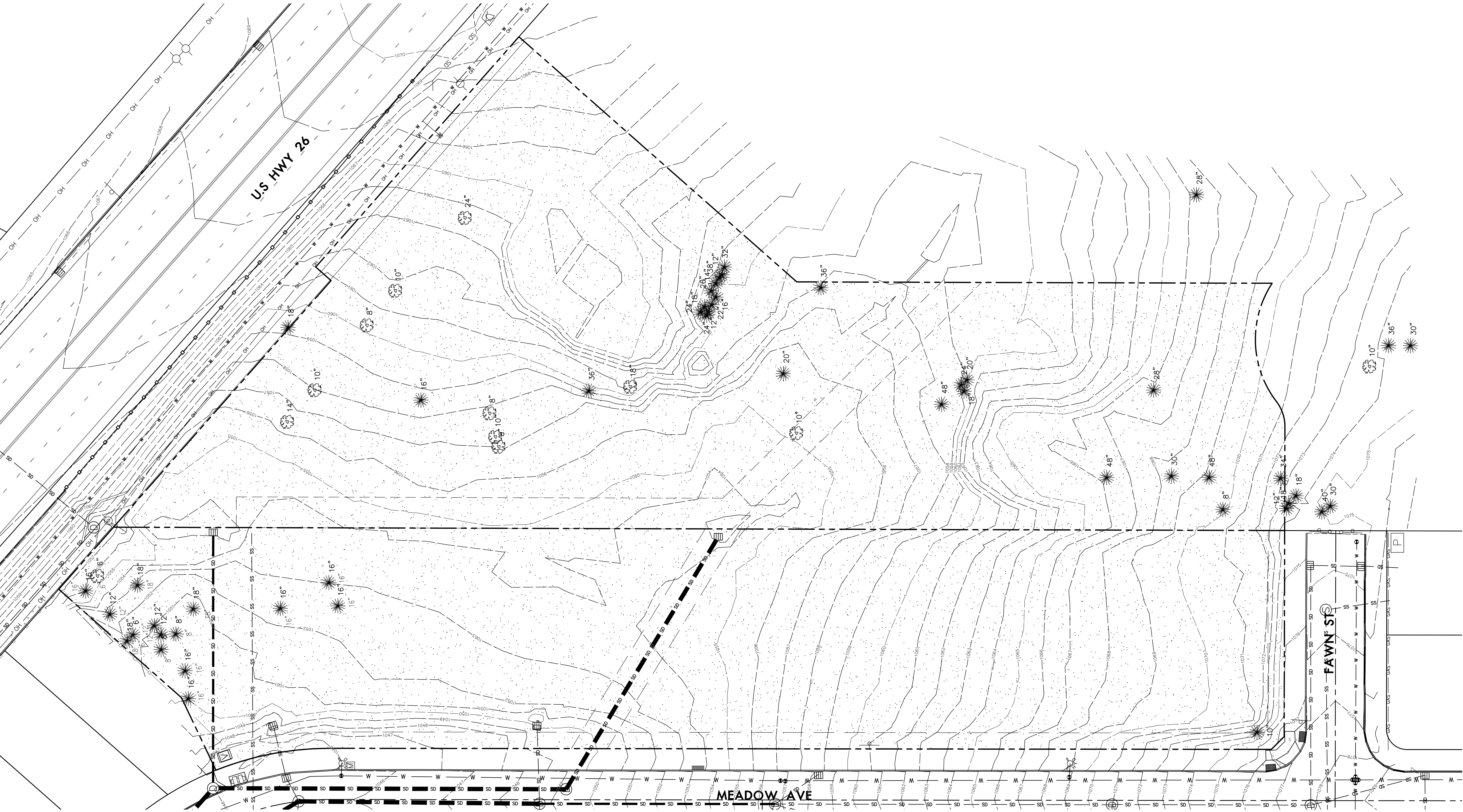
- — — — — LIMIT OF WORK
- — — — — PROPERTY LINE
- — — — — CHAINLINK FENCE
- — — — — MAJOR CONTOUR (5')
- — — — — MINOR CONTOUR (1')

CONCRETE

GRASS / HERBACEOUS VEGETATION

EXISTING CONIFEROUS TREE

EXISTING DECIDUOUS TREE



DEER POINTE PARK
CITY OF SANDY PARKS AND RECREATION
CITY OF SANDY
18200 MEADOW AVE
SANDY, OR 97055

CONSTRUCTION SET

REVISIONS

SCALE AS NOTED
DRAWN BY CB/KS
DATE 07.01.2025
PROJECT NO. 2345

SITE SURVEY

G0.02

LANDSCAPE ARCHITECTS PC

lango.hansen

1100 NW GLISAN #3A PORTLAND OR 97209 T 503.295.2437

	LIMIT OF WORK
	PROPERTY LINE/RIGHT-OF-WAY
	TREE PROTECTION FENCING
	TREE PROTECTION ZONE
	APPROXIMATE LIMIT OF GRADING
	EXISTING LAWN TO BE STRIPPED
	CLEAR AND GRUB EXISTING VEGETATION
	EXISTING DECIDUOUS TREE TO REMAIN
	EXISTING DECIDUOUS TREE TO BE REMOVED
	EXISTING EVERGREEN TREE TO REMAIN
	EXISTING EVERGREEN TREE TO BE REMOVED

1. THIS DEMOLITION PLAN IS BASED ON A SURVEY BY ALL COUNTY SURVEYORS DATED 07/26/24. EXISTING FEATURES MAY VARY FROM WHAT IS SHOWN ON PLAN. CONTRACTOR TO VERIFY ALL SURVEY, AS-BUILT INFORMATION, EXISTING UTILITIES AND LOCATION OF MATERIALS TO BE DEMOLISHED PRIOR TO BEGINNING WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BEFORE BEGINNING WORK.
2. SEE SPECIFICATIONS FOR DEMOLITION AND STAGING REQUIREMENTS.
3. SEE SPECIFICATIONS FOR PLANT PROTECTION AND PRESERVATION REQUIREMENTS.
4. PRIOR TO CONSTRUCTION CONTACT UTILITY COMPANIES TO LOCATE AND MARK IN THE FIELD ALL UTILITY LINES SUCH AS GAS, WATER, ELECTRICAL AND COMMUNICATION LINES.
5. UTILITY INFORMATION SHOWN FOR REFERENCE ONLY. SEE CIVIL FOR SPECIFIC INFORMATION REGARDING THE DEMOLITION AND PROTECTION OF EXISTING UTILITIES, INCLUDING DRAINAGE STRUCTURES.
6. WORK IS SHOWN FOR LANDSCAPE AREAS ONLY. PROJECT WORK RELATED TO OTHER TRADES (SUCH AS UNDERGROUND UTILITY WORK) MAY AFFECT LANDSCAPE AREAS NOT SHOWN ON THIS DRAWING AND SHALL NOT BE CONSIDERED ADDITIONAL WORK.

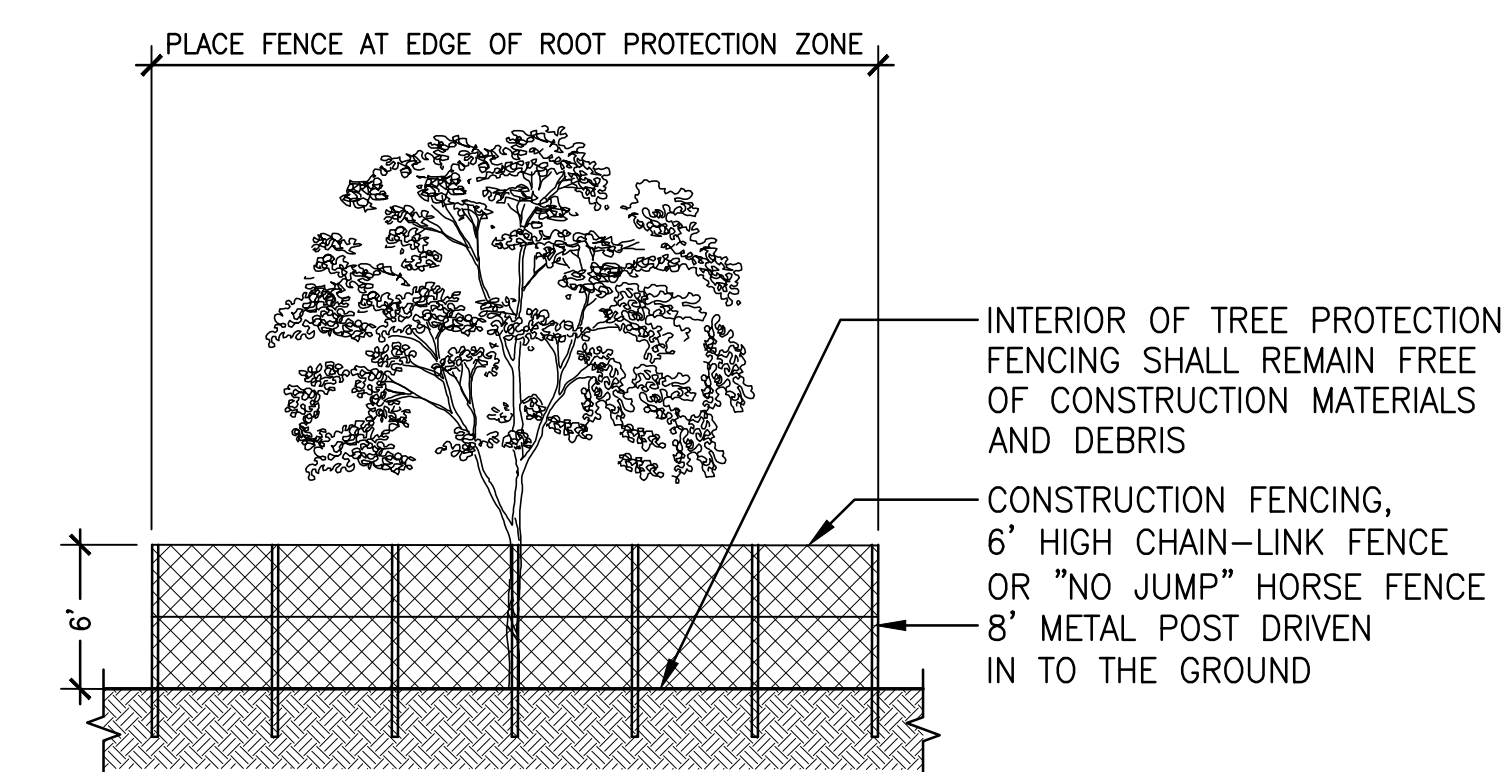
7. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF ALL SURFACE MATERIALS, SUBGRADE MATERIALS, FOOTINGS AND UTILITIES NEEDED TO CONSTRUCT PROPOSED WORK.
8. PROTECT ALL EXISTING STRUCTURES, PAVEMENT, CURBS, AND PLANTING NOT SCHEDULED FOR REMOVAL.
9. CLEAR AND GRUB ALL EXISTING GRASSES, GROUNDCOVERS, AND OTHER HERBACEOUS PLANTS, INCLUDING ALL BLACKBERRY VINES, CANES, AND ROOTS. REMOVE ALL TREES 3" OR SMALLER. NOT ALL TREES ARE SHOWN ON PLAN.
10. SEE CIVIL DRAWINGS FOR EROSION CONTROL PLANS.
11. REPAIR AND RESEED ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITY, INCLUDING SOIL PREPARATION. ALL OTHER LANDSCAPE AREAS DAMAGED BY CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.

1. PROTECT ALL TREES INDICATED TO REMAIN, INCLUDING BARK AND ROOT ZONES. INSTALL PROTECTIVE FENCING WHERE INDICATED ON THE TREE PROTECTION PLAN. PROTECTIVE BARRIERS SHALL BE PLACED BEFORE PHYSICAL DEVELOPMENT STARTS AND SHALL STAY IN PLACE UNTIL AFTER PHYSICAL OFFICIAL AUTHORIZES TREE REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST.
2. TREE PROTECTION FENCING SHALL BE 6' HIGH CHAIN-LINK FENCE OR "NO JUMP" HORSE FENCE, SECURED WITH STEEL POSTS, INSTALLED AS INDICATED ON THE DEMOLITION PLAN. TREE PROTECTION FENCING SHALL BE FLUSH WITH THE INITIAL UNDISTURBED GRADE.
3. APPROVED SIGNS SHALL BE ATTACHED TO PROTECTION FENCING VISIBLY STATING THAT INSIDE THE FENCING IS A TREE PROTECTION ZONE, NOT TO BE DISTURBED UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE.
4. EXCAVATION WITHIN TREE PROTECTION ZONES SHALL BE PERFORMED USING ONLY NON-MOTORIZED HAND TOOLS AND SHALL BE THE MINIMUM NECESSARY TO ACCOMPLISH THE PURPOSE FOR THE EXCAVATION AND TO ENSURE LONG-TERM SURVIVAL OF THE TREE.

5. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL, WASTE ITEMS, OR PARKED VEHICLES AND EQUIPMENT.
6. THE TREE PROTECTION ZONE SHALL REMAIN FREE OF CHEMICALLY INJURIOUS MATERIALS AND LIQUIDS SUCH AS PAINTS, THINNERS, CLEANING SOLUTIONS, PETROLEUM PRODUCTS, AND CONCRETE OR DRY WALL EXCESS, CONSTRUCTION DEBRIS, OR RUNOFF.
7. NO EXCAVATION, TRENCHING, GRADING, ROOT PRUNING OR OTHER ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE UNLESS DIRECTED BY AN ARBORIST PRESENT ON SITE AND APPROVED BY THE CITY MANAGER.
8. NO FILL OR COMPACTION SHALL OCCUR WITHIN THE CRITICAL ROOT ZONES OF ANY OF THE TREES. IF COMPACTION IS UNAVOIDABLE, MEASURES SHALL BE TAKEN AS RECOMMENDED BY A CERTIFIED ARBORIST TO REDUCE OR MITIGATE THE IMPACT OF THE FILL OR COMPACTION.

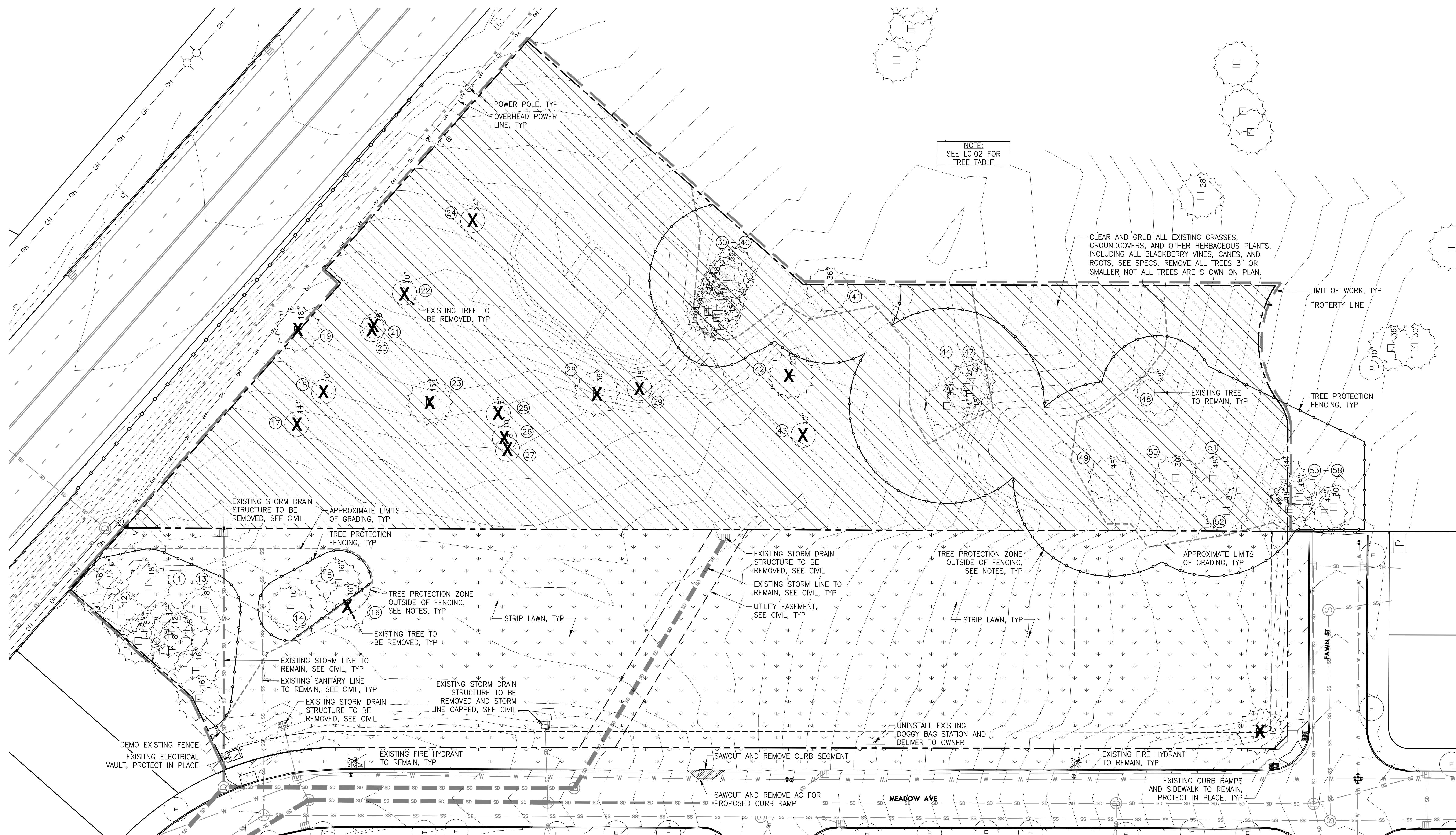
NOTES:

1. EXISTING SOIL CHEMISTRY SHALL NOT BE ALTERED BY CONSTRUCTION ACTIVITIES. CHEMICAL WASTES AT CONSTRUCTION SITE SHALL BE DISPOSED OF PROPERLY AND NOT DRAINED ONTO SOIL.
2. CONSTRUCTION FENCING SHALL BE PLACED BEFORE CONSTRUCTION STARTS AND REMAIN IN PLACE UNTIL CONSTRUCTION HAS BEEN COMPLETED.



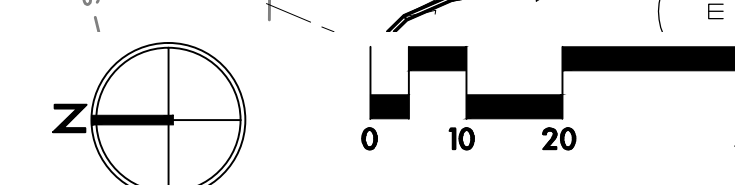
2 TREE PROTECTION FENCING

SCALE: NTS



1 PLANTING DEMOLITION

SCALE: 1" = 20'-0"



TREE TABLE				
I.D.	BOTANICAL NAME / COMMON NAME	SIZE (DBH)	STATUS	NOTES
1	Thuja plicata / Western Red Cedar	16"	TO BE PRESERVED	
2	Thuja plicata / Western Red Cedar	6"	TO BE PRESERVED	
3	Thuja plicata / Western Red Cedar	12"	TO BE PRESERVED	
4	Thuja plicata / Western Red Cedar	18"	TO BE PRESERVED	
5	Thuja plicata / Western Red Cedar	18"	TO BE PRESERVED	
6	Thuja plicata / Western Red Cedar	6"	TO BE PRESERVED	
7	Thuja plicata / Western Red Cedar	12"	TO BE PRESERVED	
8	Thuja plicata / Western Red Cedar	12"	TO BE PRESERVED	
9	Thuja plicata / Western Red Cedar	8"	TO BE PRESERVED	
10	Thuja plicata / Western Red Cedar	8"	TO BE PRESERVED	
11	Thuja plicata / Western Red Cedar	18"	TO BE PRESERVED	
12	Thuja plicata / Western Red Cedar	16"	TO BE PRESERVED	
13	Thuja plicata / Western Red Cedar	16"	TO BE PRESERVED	
14	Thuja plicata / Western Red Cedar	16"	TO BE PRESERVED	
15	Thuja plicata / Western Red Cedar	16"	TO BE PRESERVED	
16	Thuja plicata / Western Red Cedar	16"	TO BE REMOVED	
17	Malus pumila / Apple Tree	14"	TO BE REMOVED	
18	Malus pumila / Apple Tree	10"	TO BE REMOVED	
19	Pseudotsuga menziesii / Douglas Fir	18"	TO BE REMOVED	
20	Ilex aquifolium / English Holly	8"	TO BE REMOVED	
21	Ilex aquifolium / English Holly	8"	TO BE REMOVED	
22	Malus pumila / Apple Tree	10"	TO BE REMOVED	
23	Pseudotsuga menziesii / Douglas Fir	16"	TO BE REMOVED	
24	Acer platanoides 'Crimson King / Crimson King Norway Maple	24"	TO BE REMOVED	
25	Acer macrophyllum / Big Leaf Maple	8"	TO BE REMOVED	
26	Acer macrophyllum / Big Leaf Maple	10"	TO BE REMOVED	
27	Acer macrophyllum / Big Leaf Maple	8"	TO BE REMOVED	
28	Pseudotsuga menziesii / Douglas Fir	36"	TO BE REMOVED	
29	Acer platanoides 'Crimson King / Crimson King Norway Maple	18"	TO BE REMOVED	
30	Pseudotsuga menziesii / Douglas Fir	32"	TO BE PRESERVED	
31	Pseudotsuga menziesii / Douglas Fir	12"	TO BE PRESERVED	
32	Pseudotsuga menziesii / Douglas Fir	38"	TO BE PRESERVED	
33	Pseudotsuga menziesii / Douglas Fir	14"	TO BE PRESERVED	
34	Pseudotsuga menziesii / Douglas Fir	26"	TO BE PRESERVED	
35	Pseudotsuga menziesii / Douglas Fir	18"	TO BE PRESERVED	
36	Pseudotsuga menziesii / Douglas Fir	24"	TO BE PRESERVED	
37	Pseudotsuga menziesii / Douglas Fir	16"	TO BE PRESERVED	
38	Pseudotsuga menziesii / Douglas Fir	22"	TO BE PRESERVED	
39	Pseudotsuga menziesii / Douglas Fir	12"	TO BE PRESERVED	
40	Pseudotsuga menziesii / Douglas Fir	24"	TO BE PRESERVED	
41	Pseudotsuga menziesii / Douglas Fir	36"	TO BE PRESERVED	
42	Acer platanoides 'Crimson King / Crimson King Norway Maple	20"	TO BE REMOVED	
43	Malus pumila / Apple Tree	6"	TO BE REMOVED	
44	Pseudotsuga menziesii / Douglas Fir	20"	TO BE PRESERVED	
45	Pseudotsuga menziesii / Douglas Fir	24"	TO BE PRESERVED	
46	Pseudotsuga menziesii / Douglas Fir	48"	TO BE PRESERVED	
47	Pseudotsuga menziesii / Douglas Fir	18"	TO BE PRESERVED	
48	Thuja plicata / Western Red Cedar	28"	TO BE PRESERVED	
49	Thuja plicata / Western Red Cedar	48"	TO BE PRESERVED	
50	Pseudotsuga menziesii / Douglas Fir	30"	TO BE PRESERVED	
51	Pseudotsuga menziesii / Douglas Fir	48"	TO BE PRESERVED	
52	Thuja plicata / Western Red Cedar	8"	TO BE PRESERVED	
53	Pseudotsuga menziesii / Douglas Fir	34"	TO BE PRESERVED	
54	Pseudotsuga menziesii / Douglas Fir	18"	TO BE PRESERVED	
55	Pseudotsuga menziesii / Douglas Fir	18"	TO BE PRESERVED	
56	Pseudotsuga menziesii / Douglas Fir	12"	TO BE PRESERVED	
57	Pseudotsuga menziesii / Douglas Fir	40"	TO BE PRESERVED	
58	Pseudotsuga menziesii / Douglas Fir	30"	TO BE PRESERVED	

	LIMIT OF WORK - PARK IMPROVEMENTS		BIKE RACK
	PROPERTY LINE/RIGHT-OF-WAY		SITE LIGHT, SEE ELEC DWG
	PEDESTRIAN CONCRETE PAVING		BENCH WITH BACK
	ENGINEERED WOOD FIBER SAFETY SURFACING		PICNIC TABLE
	ASPHALT PAVING W/ SPORT COURT SURFACING		TRASH RECEPTACLE
	CONCRETE CURB		DRINKING FOUNTAIN
	EXISTING WOOD FENCE / GUARDRAIL		AREA DRAIN, SEE CIVIL UTILITY DWG
	CHAIN LINK FENCE		EXISTING TREE TO REMAIN

ARCH	ARCHITECTURAL
CFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
CONC	CONCRETE
DWG	DRAWINGS
ELEC	ELECTRICAL
MECH	MECHANICAL
NIC	NOT IN CONTRACT
OCFI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED, OWNER INSTALLED
PA	PLANTING AREA
SIM	SIMILAR
SL	SEEDED LAWN
SP	SEEDED PLANTING
SPECS	SPECIFICATIONS
STRUC	STRUCTURAL
TYP	TYPICAL
W/	WITH
STM PA	STORMWATER PLANTER

1. THIS PLAN IS BASED ON A SURVEY BY ALL COUNTY SURVEYORS DATED 07/26/24. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. PROTECT EXISTING VEGETATION TO REMAIN. SEE SPECIFICATION SECTION 015639 FOR FENCING AND OTHER REQUIREMENTS.
3. SEE CIVIL DRAWINGS FOR LOCATION OF UTILITIES.
4. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION REGARDING SITE LIGHTING AND ELECTRIC UTILITIES.
5. SEE SHEET L4.01 FOR LOCATIONS OF IRRIGATION SLEEVES UNDER PAVING.
6. COORDINATE WORK WITH OTHER TRADES, INCLUDING WORK IN OTHER BID PACKAGES.
7. ALL CONCRETE PAVING TO RECEIVE LIGHT BROOM FINISH UNLESS OTHERWISE NOTED. SEE DETAILS FOR CIP CONCRETE RETAINING WALL AND CHEEK WALL FINISHES. CONTRACTOR TO PROVIDE FINISH MOCKUPS FOR APPROVAL, SEE SPECIFICATIONS.
8. CONTRACTOR TO SUBMIT PAVING MOCK-UP FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
9. SEE CIVIL DRAWINGS FOR ALL VEHICULAR AREA IMPROVEMENTS, INCLUDING PAVING, CURBS, DRIVEWAY APRONS, STRIPING AND SIGNAGE, AS WELL AS ANY VEHICULAR AND PEDESTRIAN PAVING IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.
10. LIMIT OF SPECIALTY CONTRACTOR WORK IS APPROXIMATE AND SHOWN FOR REFERENCE ONLY. GENERAL CONTRACTOR TO COORDINATE WORK INCLUDING GRADING, PAVING, PLANTING AND IRRIGATION WITHIN DESIGN-BUILD CONTRACT AREA OF WORK WITH SPECIALTY CONTRACTOR.





DEER POINTE PARK
CITY OF SANDY PARKS AND RECREATION

CITY OF SANDY
18200 MEADOW AVE
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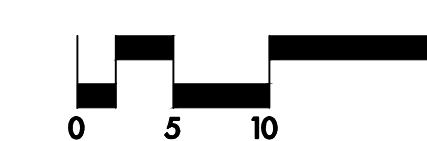
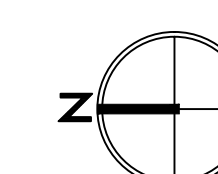
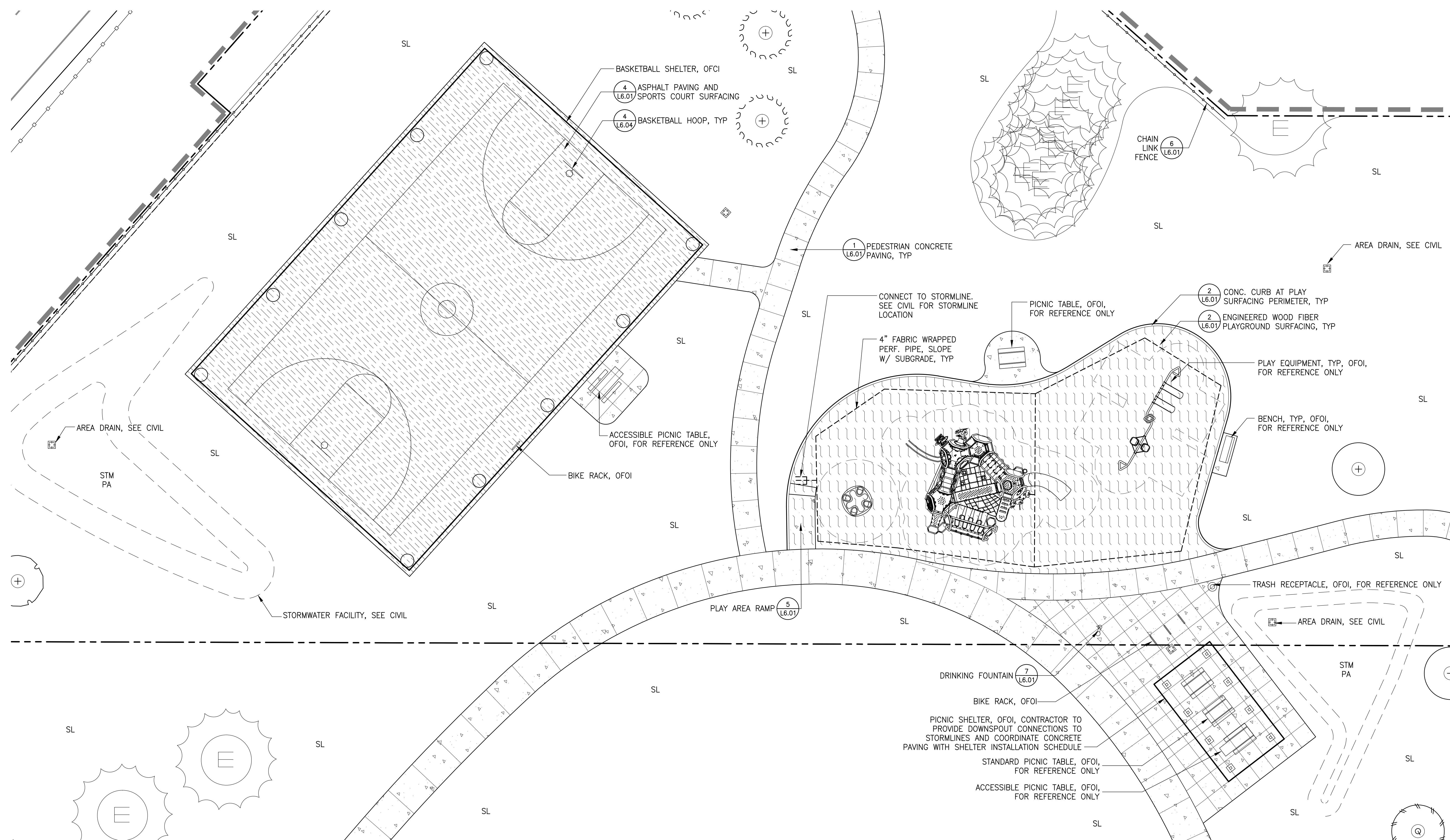
CONSTRUCTION SET

REVISIONS

SCALE	AS NOTED
DRAWN BY	CB/KS
DATE	07.01.2023
PROJECT NO.	2345

ENLARGED PLAN

L1.02



LEGEND

— LIMIT OF WORK — PARK IMPROVEMENTS

— WOOD FENCE

— CHAIN LINK FENCE

CL CENTERLINE

ALIGN

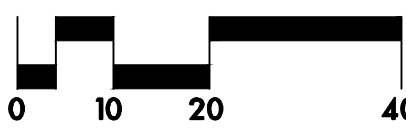
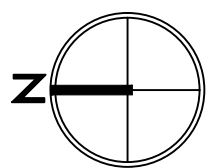
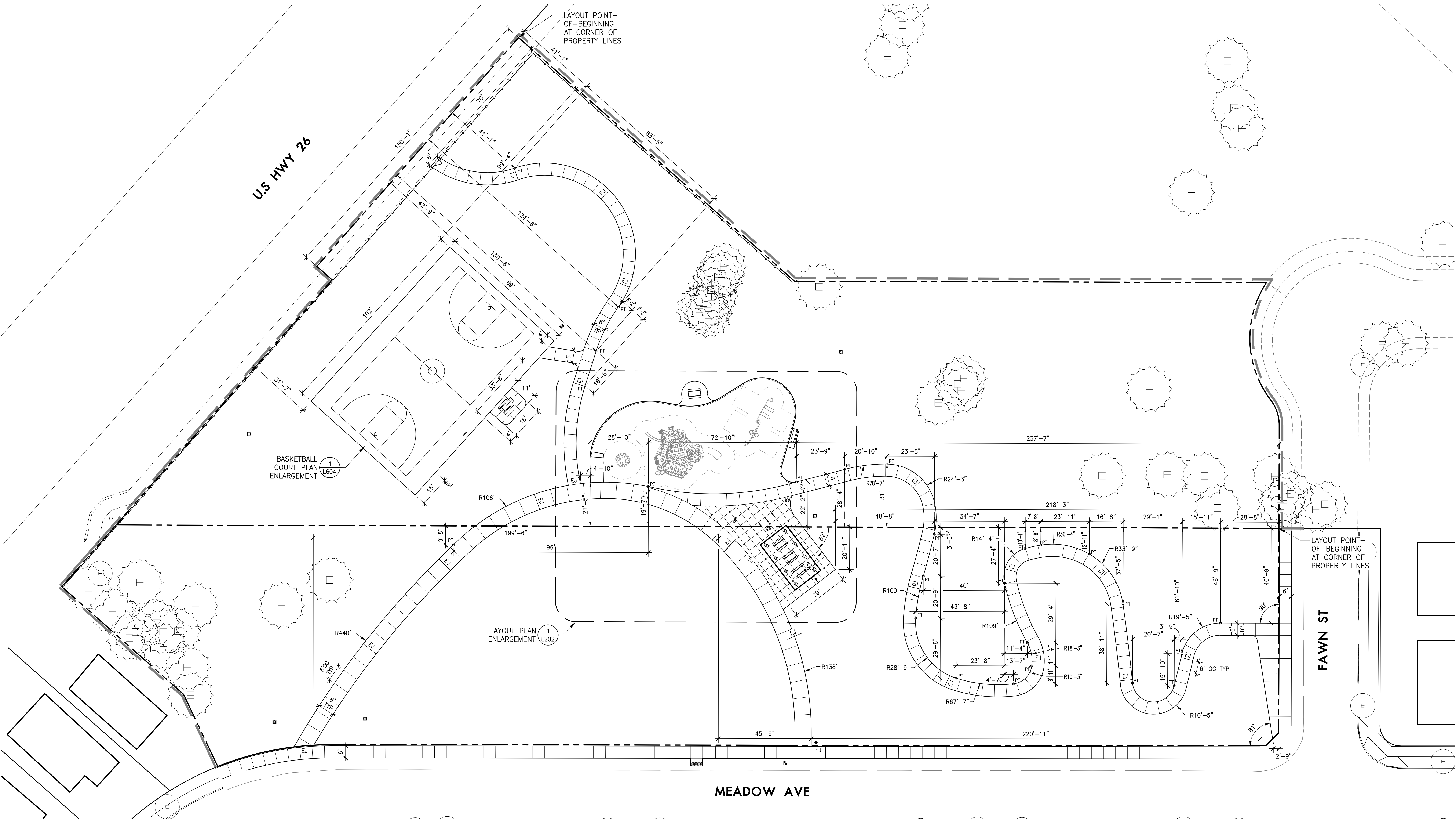
PEDESTRIAN CONCRETE PAVING

EXPANSION JOINT

TOOLED CONTROL JOINT

ABBREVIATIONS	
BOC	BACK OF CURB
CJ	CONTROL JOINT
DIA	DIAMETER
EJ	EXPANSION JOINT
EQ	EQUAL
EW	EACH WAY
FOC	FACE OF CURB
NO	NUMBER
OC	ON CENTER
POT	POINT OF TANGENCY
R	RADIUS
SP	SPACES
TYP	TYPICAL
E	EASTING
N	NORTHING

- LAYOUT NOTES**
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 - PROTECT EXISTING VEGETATION TO REMAIN; SEE SPECIFICATION SECTION 015639 FOR FENCING AND OTHER REQUIREMENTS.
 - SEE CIVIL DRAWING FOR LOCATION OF UTILITIES.
 - FOR DIMENSIONS WHERE INCHES ARE NOT GIVEN, ASSUME 0 INCHES, SUCH THAT 2' EQUALS 2'-0"
 - PAVING DIMENSIONS ARE TO FACE BUILDING, FACE OF CURB, OR FACE OF WALL, UNLESS OTHERWISE NOTED.
 - IF THERE IS A CONFLICT WITH LAYOUT IN THE FIELD, NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - INSTALL EXPANSION JOINTS AND SEALANT WHERE CONCRETE PAVING ABUTS STRUCTURES SUCH AS SITE WALLS, BUILDING EDGES, CONCRETE HEADERS, COLUMNS, FENCING STRUCTURES, AND FREE STANDING STRUCTURES, TYP.
 - SEE CIVIL DRAWINGS FOR ALL VEHICULAR AREA IMPROVEMENTS, INCLUDING PAVING, CURBS, DRIVEWAY
 - APRONS, STRIPING AND SIGNAGE, AS WELL AS ANY VEHICULAR AND PEDESTRIAN PAVING IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.
 - DIMENSIONS TO JOINT LINES ARE TO CENTERLINES, TYP.
 - DIMENSIONS TO AREA DRAINS ARE TO CENTER POINTS, TYP.
 - DIMENSIONS TO HANDRAILS ARE TO CENTERLINES, TYP.
 - DIMENSIONS TO LIGHT POSTS ARE TO CENTERLINES, TYP.
 - SEE CIVIL DRAWINGS FOR LOCATIONS OF MANHOLES.
 - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION RELATING TO LIGHTING AND TRANSFORMER.
 - NORTHING/EASTING POINTS FOR LIGHTS ARE TO CENTER OF POLE.
 - NORTHEASTING COORDINATES ARE BASED ON BENCHMARK INFORMATION AS GIVEN ON SURVEY. (OR THE INTERSECTION OF 2 BUILDING GRIDLINES, ESTABLISHED AS 0,0)



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LAYOUT PLAN

L2.01

lango.hansen
LANDSCAPE ARCHITECTS PC
1100 NW GLISAN #3A PORTLAND OR 97209 T 503.295.2437

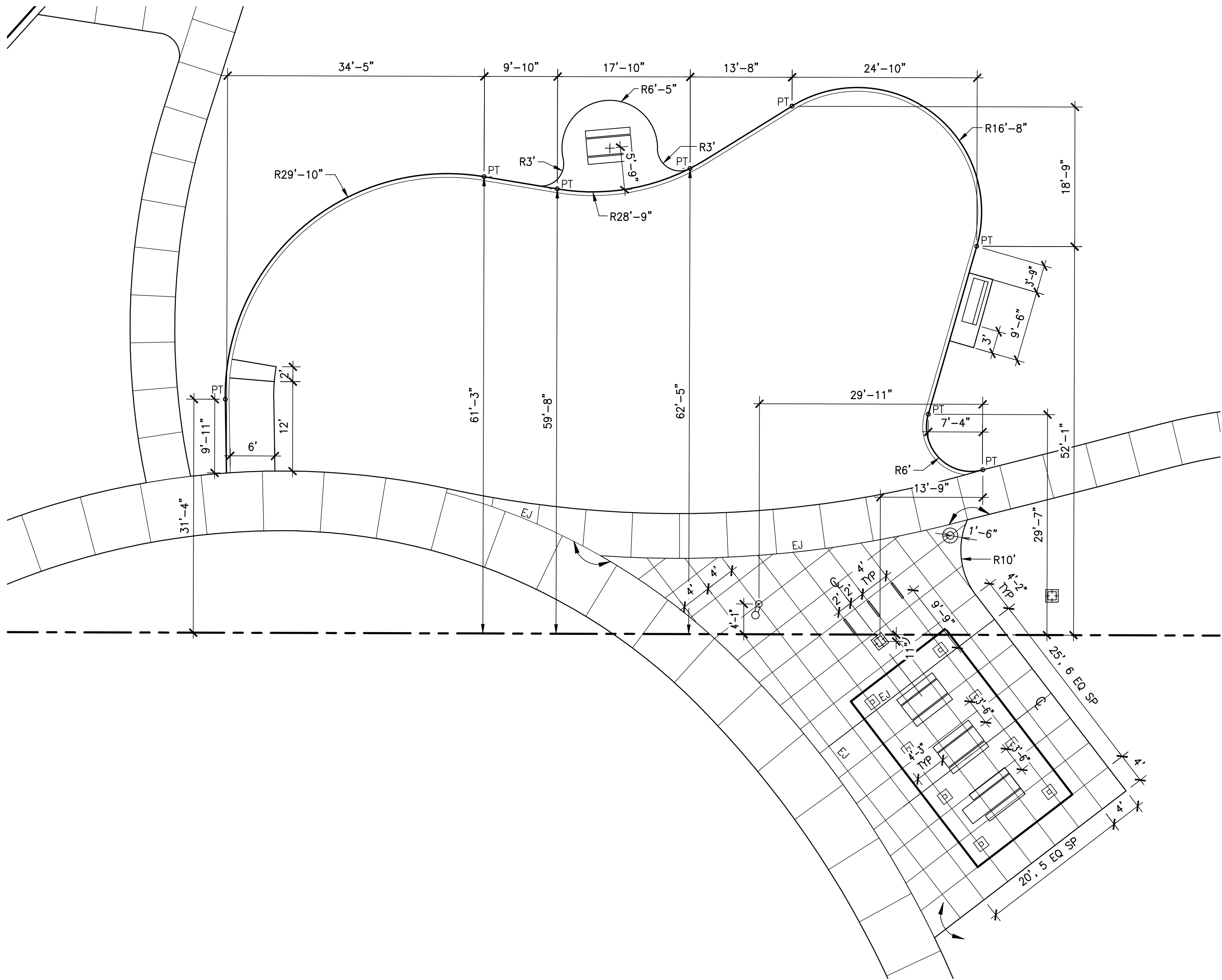


LEGEND	
	LIMIT OF WORK – PARK IMPROVEMENTS
	WOOD FENCE
	CHAIN LINK FENCE
	CENTERLINE
	ALIGN
	PEDESTRIAN CONCRETE PAVING
	EXPANSION JOINT
	TOOLED CONTROL JOINT

ABBREVIATIONS	
BOC	BACK OF CURB
CJ	CONTROL JOINT
DIA	DIAMETER
EJ	EXPANSION JOINT
EQ	EQUAL
EW	EACH WAY
FOC	FACE OF CURB
NO	NUMBER
OC	ON CENTER
POT	POINT OF TANGENCY
R	RADIUS
SP	SPACES
TYP	TYPICAL
E	EASTING
N	NORTHING

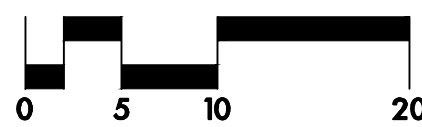
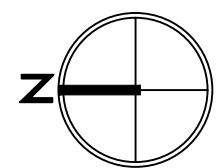
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 - FOR DIMENSIONS WHERE INCHES ARE NOT GIVEN, ASSUME 0 INCHES, SUCH THAT 2' EQUALS 2'-0"
 - PAVING DIMENSIONS ARE TO FACE BUILDING, FACE OF CURB, OR FACE OF WALL, UNLESS OTHERWISE NOTED.
 - IF THERE IS A CONFLICT WITH LAYOUT IN THE FIELD, NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
 - INSTALL EXPANSION JOINTS AND SEALANT WHERE CONCRETE PAVING ABUTS STRUCTURES SUCH AS SITE WALLS, BUILDING EDGES, CONCRETE HEADERS, COLUMNS, FENCING STRUCTURES, AND FREE STANDING STRUCTURES, TYP.
 - SEE CIVIL DRAWINGS FOR ALL VEHICULAR AREA IMPROVEMENTS, INCLUDING PAVING, CURBS, DRIVEWAY

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 - SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION RELATING TO LIGHTING AND TRANSFORMER.
 - NORTHING/EASTING POINTS FOR LIGHTS ARE TO CENTER OF POLE.
 - NORTHEASTING COORDINATES ARE BASED ON BENCHMARK INFORMATION AS GIVEN ON SURVEY. (OR THE INTERSECTION OF 2 BUILDING GRIDLINES, ESTABLISHED AS 0,0)



1 LAYOUT PLAN ENLARGEMENT

SCALE: 1" = 10'-0"



DEER POINTE PARK
CITY OF SANDY PARKS AND RECREATION
CITY OF SANDY
18200 MEADOW AVE
SANDY, OR 97055

CONSTRUCTION SET

REVISIONS

SCALE AS NOTED
DRAWN BY CB/KS
DATE 07.01.2025
PROJECT NO. 2345

LAYOUT PLAN
ENLARGEMENT

L2.02

LANDSCAPE ARCHITECTS PC

lango.hansen

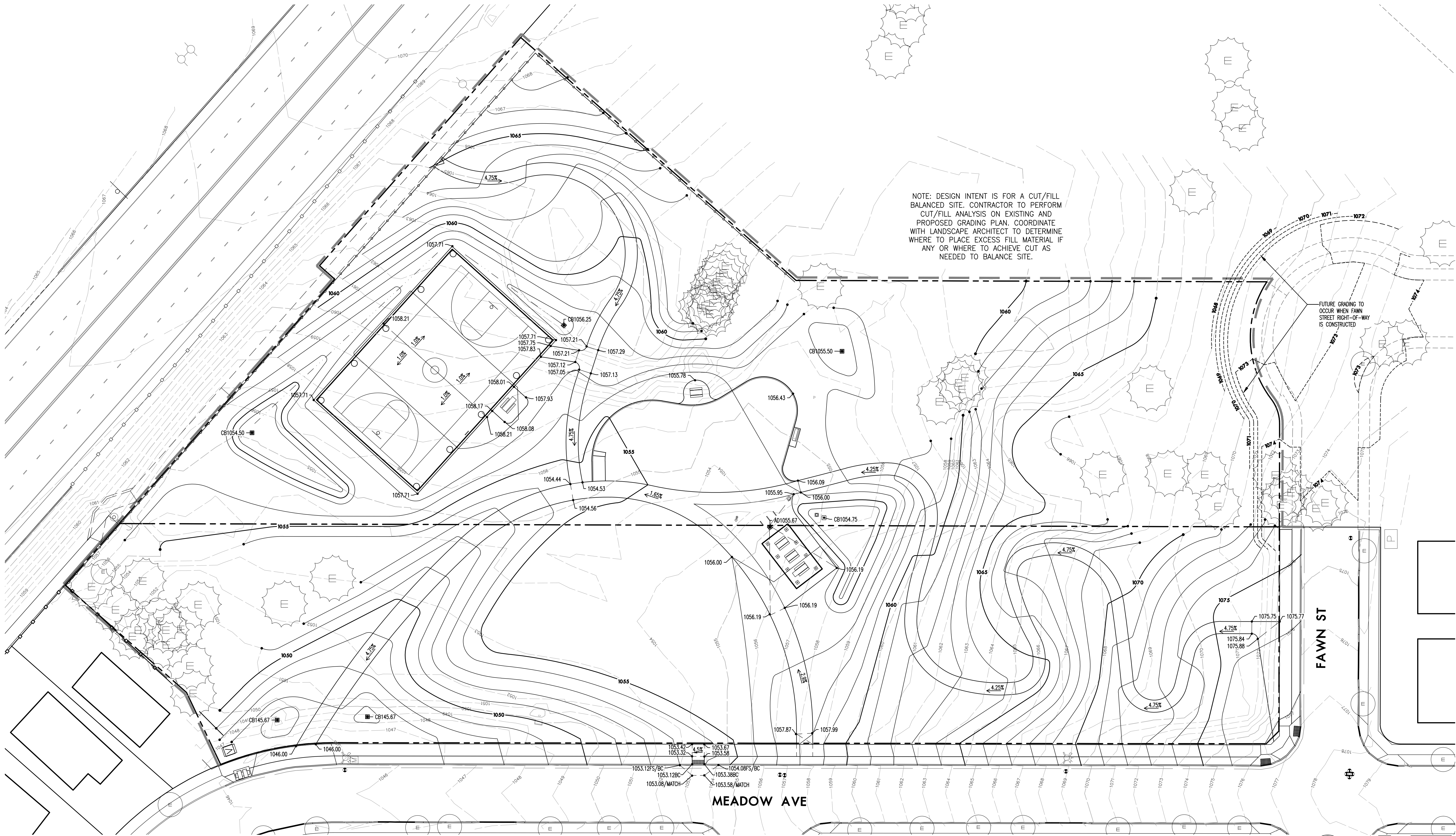


- LEGEND**
- LIMIT OF WORK — PARK IMPROVEMENTS
 - 1062— EXISTING CONTOUR
 - 1065— PROPOSED CONTOUR
 - 1065---- FUTURE GRADING BY OTHERS, NIC
 - BOTTOM OF SWALE LINE
 - GRADE BREAK LINE
 - 1062.00 SPOT ELEVATION
 - 4.8% PERCENTAGE OF SLOPE
 - DIRECTION OF SLOPE

- ABBREVIATIONS**
- AD AREA DRAIN (RIM ELEVATION)
 - BC BOTTOM OF CURB
 - BF BOTTOM OF FOOTING
 - BW BOTTOM OF WALL (FINISHED GRADE)
 - CB CATCH BASIN (RIM ELEVATION)
 - CTV CONTRACTOR TO VERIFY ELEVATION
 - EL EQUAL
 - EX EXISTING
 - FFE FINISH FLOOR ELEVATION
 - FS FINISH SURFACE
 - HP HIGH POINT
 - IE INVERT ELEVATION
 - LP LOW POINT
 - MATCH MATCH EXISTING GRADE
 - MAX MAXIMUM
 - MIN MINIMUM
 - RIM RIM ELEVATION
 - SIM SIMILAR
 - TC TOP OF CURB
 - TF TOP OF FOOTING
 - TW TOP OF WALL (FINISHED)
 - TYP TYPICAL

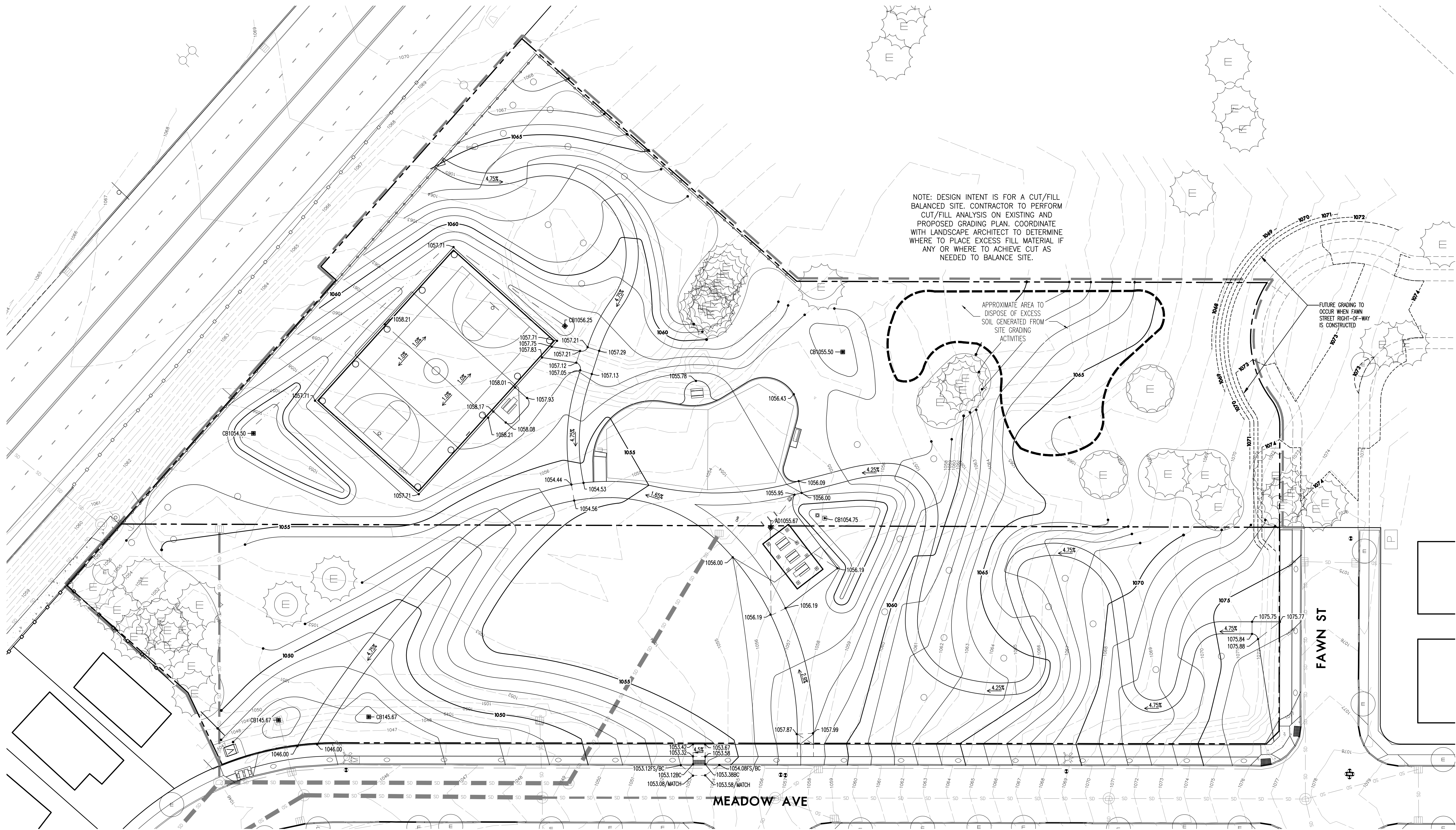
- GRADING NOTES**
1. THIS PLAN IS BASED ON A SURVEY BY ALL COUNTY SURVEYORS DATED 07/26/24. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
 2. PROTECT EXISTING VEGETATION TO REMAIN; SEE SPECIFICATION SECTION 015639 FOR FENCING AND OTHER REQUIREMENTS.
 3. SET STRAIGHT GRADES BETWEEN GIVEN ELEVATIONS UNLESS OTHERWISE INDICATED.
 4. GRADE BREAK LINES ARE SHOWN GRAPHICALLY TO ILLUSTRATE DRAINAGE PATTERNS, AND ARE NOT INTENDED TO BE ACTUAL JOINT LINES, UNLESS THEY FALL ON EXPANSION JOINT LOCATIONS.
 5. SEE CIVIL DRAWINGS FOR UNDERGROUND UTILITIES AND DRAINAGE FEATURES.
 6. ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AT 1% MIN.
 7. SPOT ELEVATIONS TAKE PRECEDENCE OVER LANDSCAPE CONTOURS.
 8. PROVIDE 1.5% CROSS SLOPE ON ALL PAVED WALKS, TYP, EXCEPT AS SHOWN. DO NOT EXCEED 1.8% CROSS SLOPE, EXCEPT AS SHOWN.
 9. DO NOT DISTURB AREAS NOT TO BE GRADED.
 10. ALL GIVEN SPOT ELEVATIONS BETWEEN .00' AND .00' IN ELEVATION HAVE BEEN ABBREVIATED FOR CLARITY (EG., 60.50 EQUALS 1060.50).
 11. THIS GRADING PLAN IS TO BE COORDINATED WITH THE CIVIL

- PLANS. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCIES.
12. SEE CIVIL DRAWINGS FOR ALL VEHICULAR AREA IMPROVEMENTS, INCLUDING PAVING, CURBS, CURB RAMPS, DRIVEWAY APRONS, WHEEL STOPS, STRIPING AND SIGNAGE, AS WELL AS VEHICULAR AND PEDESTRIAN PAVING IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.
 13. BOTTOM OF WALL (BW) ELEVATIONS EQUAL FINISH SURFACE OF PAVING OR FINISH GRADE, NOT TOP OF FOOTING ELEVATION.
 14. CONTRACTOR TO VERIFY EXISTING GRADES AT ALL LOCATIONS WHERE NEW PAVING IS MATCHING EXISTING PAVING AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
 15. CONCRETE PAVING ELEVATIONS AT BACK OF CURB TO MATCH TOP OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED, SEE CIVIL DRAWINGS FOR CURB ELEVATIONS.
 16. ALL ADA PARKING STALL AND WALKWAYS TO MEET LOCAL, STATE AND FEDERAL ADA REQUIREMENTS. PRIOR TO FORMING HARD SURFACE MATERIALS, CONTRACTOR TO VERIFY GRADES FOR CURB RAMPS AND PARKING LOT SPACES MEET ADA REQUIREMENTS.
 17. CONTRACTOR TO PERFORM A CUT AND FILL ANALYSIS FOR EARTHWORK OPERATIONS. THE DESIGN INTENT IS FOR ALL CUT AND FILL MATERIAL TO BE BALANCED ON-SITE. IF ADDITIONAL CUT OR FILL IS REQUIRED, THE LANDSCAPE ARCHITECT WILL ADJUST THE GRADES WITHIN THE OPEN LAWN AREA TO REDUCE CUT/FILL REQUIREMENTS TO ACHIEVE A BALANCED SITE. WORK TO ACHIEVE A BALANCED SITE SHALL BE COMPLETED AT NO COST TO THE OWNER.



1 GRADING PLAN

SCALE: 1" = 20'-0"



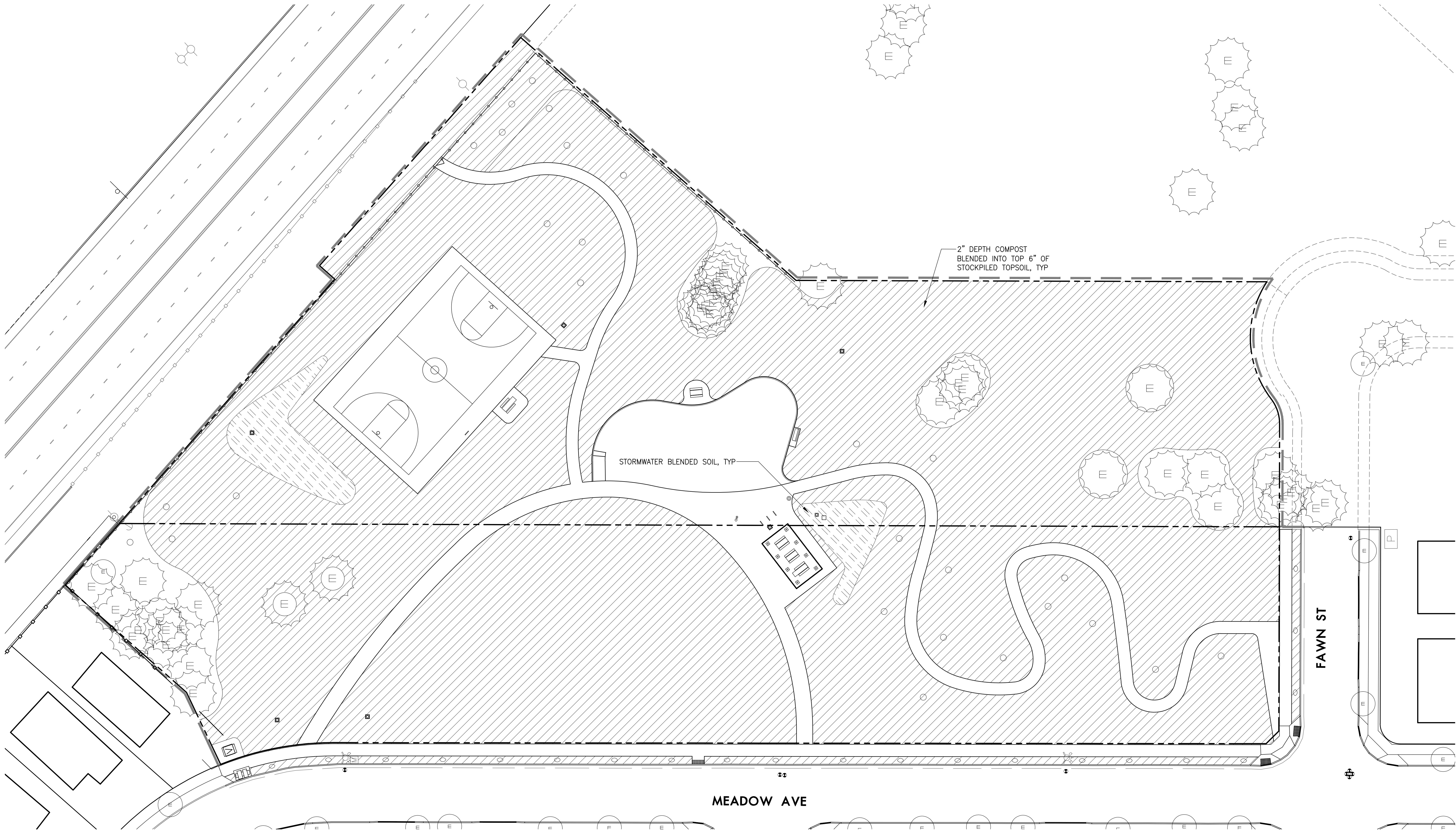
LEGEND

LIMIT OF WORK

PROPERTY LINE/RIGHT-OF-WAY

2" DEPTH COMPOST BLENDED INTO TOP 6" OF STOCKPILED TOPSOIL

STORMWATER BLENDED SOIL



1 GRADING PLAN

LANDSCAPE ARCHITECTS P.C.

lango.hansen

1100 NW Gilman #3A, Portland, OR 97209 T 503.295.2437



DEER POINTE PARK
CITY OF SANDY PARKS AND RECREATION
18200 MEADOW AVE
SANDY, OR 97055

CONSTRUCTION SET

REVISIONS	

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DRAWN BY	CB/KS
DATE	07.01.2025
PROJECT NO.	2345

SOIL PLAN

L3.03

LEGEND

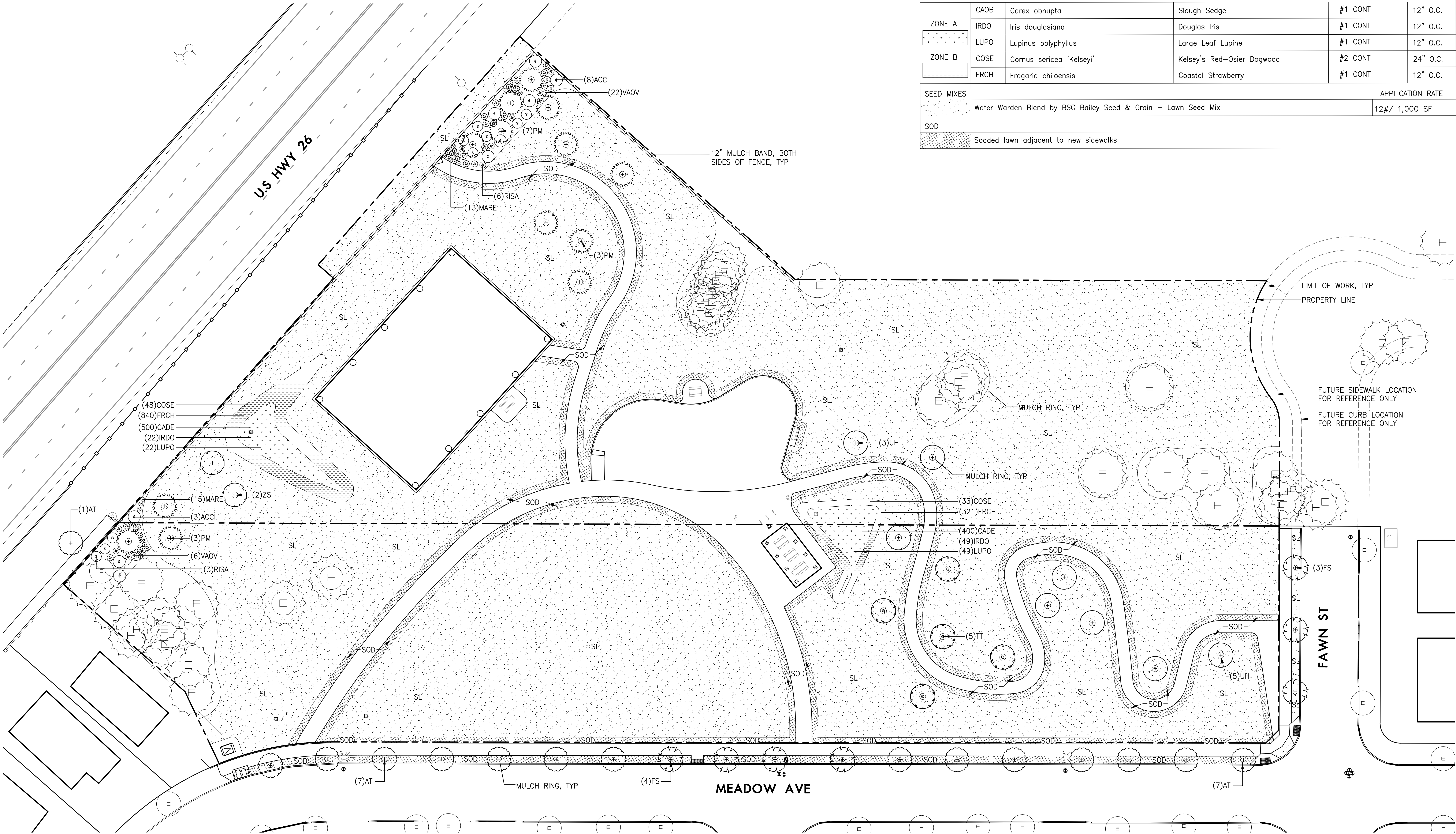
- PROPERTY LINE/RIGHT-OF-WAY
- CHAIN LINK FENCE
- CONCRETE CURB
- BIKE RACK
- SITE LIGHT, SEE ELEC DWG
- BENCH WITH BACK
- PICNIC TABLE
- TRASH RECEPTACLE
- DRINKING FOUNTAIN
- AREA DRAIN, SEE CIVIL UTILITY DWG
- EXISTING TREE TO REMAIN

ABBREVIATIONS

B&B	BALLED & BURLAPPED
CAL	CALIPER
CONT	CONTAINER
DIA	DIAMETER
DBH	DIAMETER AT BREAST HEIGHT
EQ	EQUAL
HT	HEIGHT
MIN	MINIMUM
MAX	MAXIMUM
NO	NUMBER
O.C.	ON CENTER
SIM	SIMILAR
SL	SEEDED LAWN
SPECS	SPECIFICATIONS
TYP	TYPICAL
#	CONTAINER SIZE

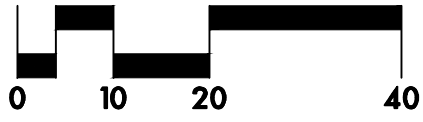
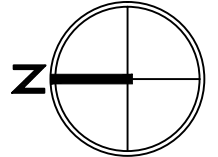
- PLANTING NOTES
- THIS PLAN IS BASED ON A SURVEY BY ALL COUNTY SURVEYORS DATED 07/26/24. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
 - PROTECT EXISTING VEGETATION TO REMAIN; SEE SPECIFICATION SECTION 015639 FOR FENCING AND OTHER REQUIREMENTS.
 - ALL PLANT MATERIAL SHALL BE NURSERY GROWN, WELL ROOTED, AND WELL BRANCHED. ALL TREES MUST BE FREE OF INSECTS, DISEASES, MECHANICAL INJURY, AND OTHER OBJECTIONABLE FEATURES WHEN PLANTED. ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STOCK STANDARDS" LATEST EDITION.
 - ALL PLANT MATERIAL TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. SEE SPECIFICATIONS.
 - PLANT SPACING SHALL TAKE PRECEDENCE OVER VALVE BOX LOCATIONS. INSTALLED VALVE BOXES THAT CONFLICT WITH ACCEPTED PLANT LAYOUT SHALL BE MOVED TO POSITION BETWEEN PLANTS.
 - PLANT COUNTS FOR TREES AND SHRUBS ARE SUPPLIED FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR RESPONSIBLE FOR INSTALLING ALL PLANTS IN LOCATIONS AND QUANTITIES SHOWN. FOR GROUND COVER PLANTING, SEE DETAIL 4/L6.03.
 - CLEAR PLANT BEDS OF ALL GRAVEL AND DEBRIS PRIOR TO SOIL PREPARATION AND PLANTING, FOR APPROVAL BY OWNER'S REPRESENTATIVE.
 - REPAIR AND RESEED ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITY, INCLUDING SOIL PREPARATION. SEE 329100 AND 329300.
 - ALL LANDSCAPE AREAS THAT HAVE A SLOPE GREATER THAN 1 VERTICAL FOOT IN 3 HORIZONTAL FEET SHALL RECEIVE JUTE MATTING, SEE SPECIFICATIONS.
 - ALL PARKING LOT AND STREET TREES MUST HAVE 6' CLEAR HEIGHT TO LOWEST BRANCHES.
 - ALL PLANTING AREAS TO BE IRRIGATED WITH A PERMANENT IRRIGATION SYSTEM EXCEPT FOR AREAS TO BE SEEDED WITH RESTORATION SEED MIX. THESE AREAS TO BE MANUALLY WATERED TO ENSURE ESTABLISHMENT.

SYMBOL	ABBR	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
TREES					
	AT	Acer truncatum x A. platanoides 'Warrenred'	Pacific Sunset Maple	3" CAL., B&B	as shown
	FS	Fagus sylvatica	European Beech	2" CAL., B&B	as shown
	PM	Pseudotsuga menziesii	Douglas Fir	8' HT., B&B	as shown
	TT	Tilia tomentosa 'Sterling'	Sterling Silver Linden	3" CAL., B&B	as shown
	UH	Ulmus 'Homestead'	Homestead Elm	3" CAL., B&B	as shown
	ZS	Zelkova serrata 'Village Green'	Village Green Zelkova	3" CAL., B&B	as shown
ORNAMENTAL SHRUBS AND GROUNDCOVERS					
	ACCI	Achillea x 'Moonshine'	Moonshine Yarrow	#1 CONT	as shown
	MARE	Mahonia repens	Low Oregon Grape	#1 CONT	as shown
	RISA	Ribes sanguineum	Red Flowering Currant	#1 CONT	as shown
	VAOV	Vaccinium ovatum	Evergreen Huckleberry	#5 CONT	as shown
STORMWATER PLANTING					
ZONE A	CAOB	Carex obnupta	Slough Sedge	#1 CONT	12" O.C.
	IRDO	Iris douglasiana	Douglas Iris	#1 CONT	12" O.C.
	LUPO	Lupinus polyphyllus	Large Leaf Lupine	#1 CONT	12" O.C.
ZONE B	COSE	Cornus sericea 'Kelsey'	Kelsey's Red-Osier Dogwood	#2 CONT	24" O.C.
	FRCH	Fragaria chiloensis	Coastal Strawberry	#1 CONT	12" O.C.
SEED MIXES				APPLICATION RATE	
				Water Warden Blend by BSG Bailey Seed & Grain - Lawn Seed Mix	12#/ 1,000 SF
SOD					



1 PLANTING PLAN

SCALE: 1" = 20'-0"



DEER POINTE PARK
CITY OF SANDY
18200 MEADOW AVE
SANDY, OR 97055

CONSTRUCTION SET

REVISIONS

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PROJECT NO. 2345

PLANTING PLAN

L4.01

LANDSCAPE ARCHITECTS PC

lango.hansen



IRRIGATION NOTES

1. THIS PLAN IS BASED ON A SURVEY BY ALL COUNTY SURVEYORS DATED 07/26/24 NOTIFY ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.

2. INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.

3. PRIOR TO COMMENCEMENT OF ANY IRRIGATION WORK, VERIFY MINIMUM FLOW RATE OF 60 GPM AND MINIMUM DYNAMIC (WORKING) PRESSURE OF 75 PSI WHEN FLOWING AT THE POINT OF CONNECTION.

4. ALL TRENCHING WITHIN ROOT PROTECTION ZONES SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED IN THE TREE PROTECTION PLANS AND SECTION 015639.

5. COORDINATE ALL IRRIGATION WORK WITH OTHER TRADES AS REQUIRED, INCLUDING POINT(S)-OF-CONNECTION AND CONTROLLER INSTALLATION.

6. IRRIGATION PLANS ARE DIAGRAMMATIC. ALL VALVES AND IRRIGATION HEADS SHALL BE LOCATED IN PLANTED AREAS. FIELD ADJUST LINES TO AVOID CONFLICTS WITH STRUCTURES AND UTILITIES.

7. ALL PIPES AND EQUIPMENT SHOWN IN PAVED AREAS IS FOR GRAPHIC CLARITY ONLY. ALL PIPES AND EQUIPMENT SHALL BE IN PLANTING AREAS UNLESS OTHERWISE NOTED.

8. PROVIDE SLEEVES UNDER ALL PAVED AREAS FOR IRRIGATION MAINLINE AND LATERALS.
9. ALL VALVES AND THE MAINLINE MUST BE LOCATED WITHIN PROPERTY LINE.

10. COORDINATE IRRIGATION POINTS OF CONNECTION AND LOCATION OF REMOTE CONTROL VALVE ASSEMBLIES AND SLEEVES.

11. PLACE ALL VALVES IN VALVE BOXES AND IN A MANNER THAT FACILITATES ACCESS FOR MAINTENANCE. SIZE BOXES TO ACCOMMODATE COMPLETE VALVE ASSEMBLY. MAINTAIN MIN. 12" BETWEEN VALVE BOXES AND PAVEMENT.

12. IRRIGATION LATERALS ARE SIZED STARTING AT VALVE AND CONTINUING IN DIRECTION OF FLOW. REDUCTIONS IN PIPE SIZE ARE LABELED BEGINNING DOWNSTREAM OF NEAREST FITTING. ALL LATERALS NOT SIZED ARE MINIMUM 3/4" OR SAME SIZE AS NEAREST ADJACENT PIPE.

13. CONTRACTOR TO MARK LAYOUT OF TRENCHES AND VALVE LOCATIONS FOR PREVIEW BY OWNER IN FIELD PRIOR TO CONSTRUCTION.

14. INSTALL AND ADJUST ALL COMPONENTS OF IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF ALL PLANTING AREAS AND MINIMIZE OVERSPRAY ONTO STRUCTURES AND PAVING AREAS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE WORKING SYSTEM.

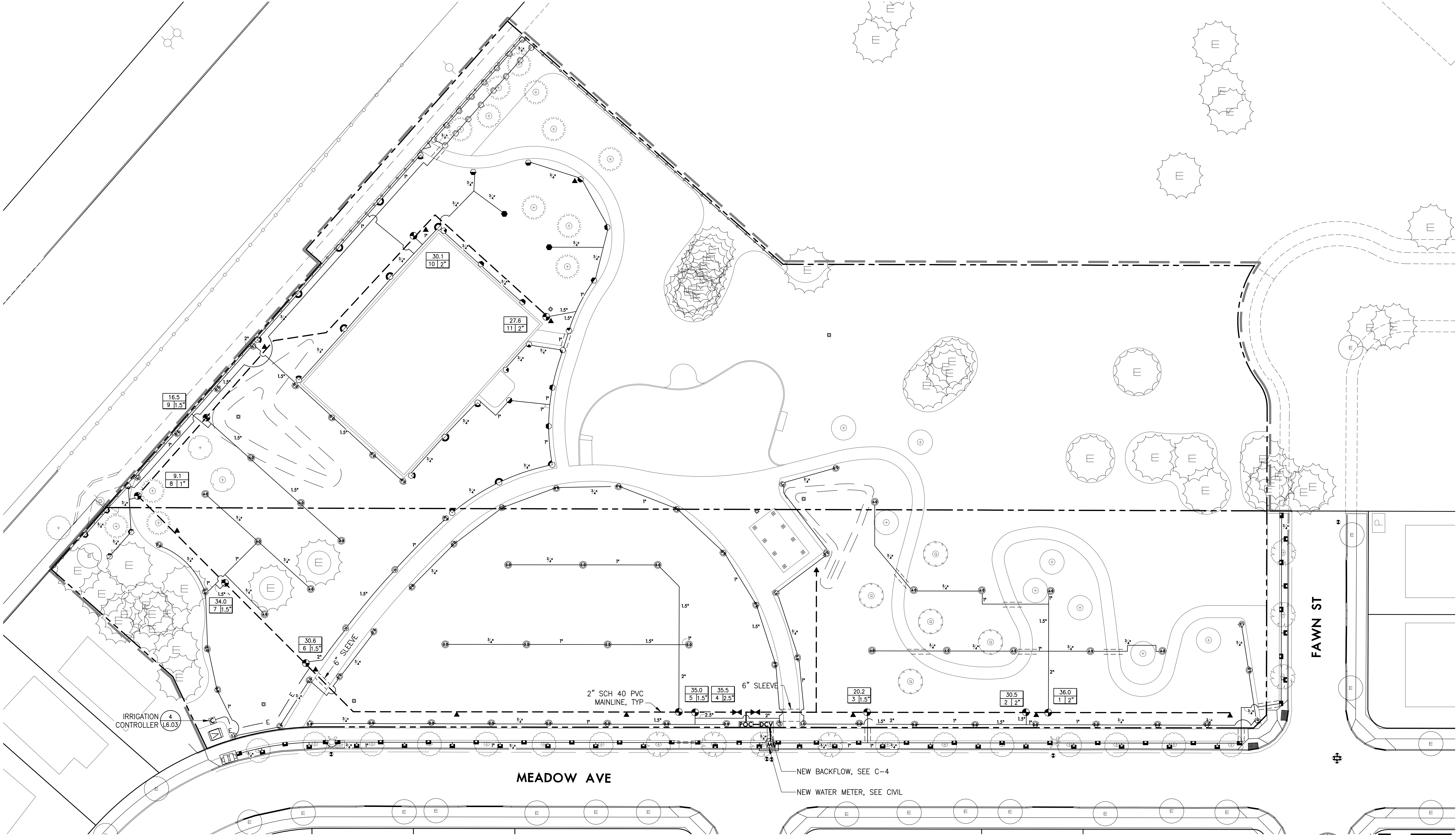
15. PROVIDE 12" POP-UP SPRINKLER BODIES FOR ALL SHRUB AND GROUNDCOVER BEDS, AND 6" SPRINKLER BODIES FOR LAWN AREAS.

IRRIGATION LEGEND

EQUIPMENT	
Symbol	Description
	HUNTER ICV REMOTE CONTROL VALVE
	ISOLATION VALVE
	SWING CHECK VALVE
	HUNTER QUICK COUPLER
	PEDESTAL-MOUNTED CONTROLLER
	POINT-OF-CONNECTION
	WATER METER
	IRRIGATION DOUBLE-CHECK VALVE
	MAINLINE, SCH. 40 PVC, 3" OR AS NOTED
	IRRIGATION SLEEVE, SCH. 40 PVC, 4" OR AS NOTED
	LATERAL LINE, CLASS 200 PVC, SIZE AS NOTED
	ELECTRICAL CONDUIT
	GALLONS PER MINUTE VALVE SIZE ZONE NUMBER
	LIMIT OF WORK - PARK IMPROVEMENTS
	PROPERTY LINE/RIGHT-OF-WAY
	EXISTING TREE TO REMAIN

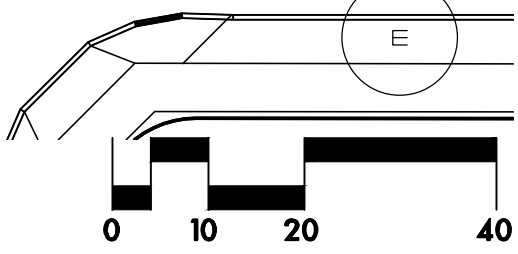
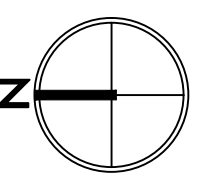
SPRAY HEADS — MP ROTATOR NOZZLES					
Sym	Spray Head	Nozzle	Arc	GPM	Radius
	HUNTER PRO-SPRAY PPS40	MP CORNER	45°-105°	.19-.45	11'-14'
	HUNTER PRO-SPRAY PPS40	MP1000 90-210	90°-210°	.21-.49	11'-14'
	HUNTER PRO-SPRAY PPS40	MP1000 210-270	210°-270°	.49-.63	11'-14'
	HUNTER PRO-SPRAY PPS40	MP1000 360	360°	.75	11'-14'
	HUNTER PRO-SPRAY PPS40	MP2000 90-210	90°-210°	.43-.86	15'-20'
	HUNTER PRO-SPRAY PPS40	MP2000 210-270	210°-270°	.86-1.10	15'-20'
	HUNTER PRO-SPRAY PPS40	MP2000 360	360°	1.48	15'-20'
	HUNTER PRO-SPRAY PPS40	MP3000 90-210	90°-210°	.86-2.12	23'-30'
	HUNTER PRO-SPRAY PPS40	MP3000 210-270	210°-270°	2.12-2.73	23'-30'
	HUNTER PRO-SPRAY PPS40	MP3000 360	360°	3.64	23'-30'
	HUNTER PRO-SPRAY PPS40	MP3500 90-210	210°	2.12	31'-35'
	HUNTER PRO-SPRAY PPS40	MPSS530		.44	5'x30'
	HUNTER PRO-SPRAY PPS40	MPLCS515		.22	5'x15'
	HUNTER PRO-SPRAY PPS40	MPRCS515		.22	5'x15'

ROTORS					
Sym	Rotor	Nozzle	Arc	GPM	PSI Radius
	HUNTER I-20	1.5	50-360°	1.5	45 31'
	HUNTER I-20	2.0	50-360°	2.0	45 34'
	HUNTER I-20	2.5	50-360°	2.5	45 35'
	HUNTER I-20	3.0	50-360°	3.0	45 38'
	HUNTER I-20	4.0	50-360°	4.0	45 40'
	HUNTER I-20	5.0	50-360°	5.0	45 42'
	HUNTER I-20	6.0	50-360°	6.0	45 43'
	HUNTER I-20	8.0	50-360°	8.0	45 44'
	HUNTER I-20	10	50-360°	9.5	50 43'
	HUNTER I-20	13	50-360°	12.3	50 44'



1 IRRIGATION PLAN

SCALE: 1" = 20'-0"



DEER POINTE PARK
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IRRIGATION PLAN

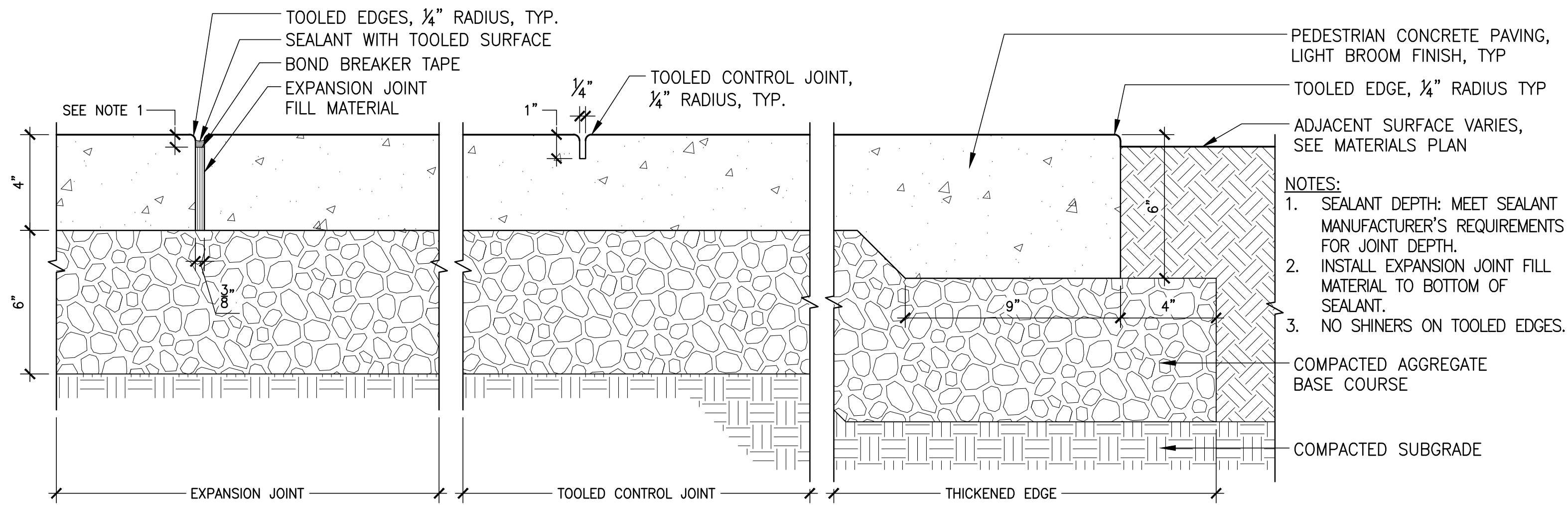
L5.01



lango.hansen

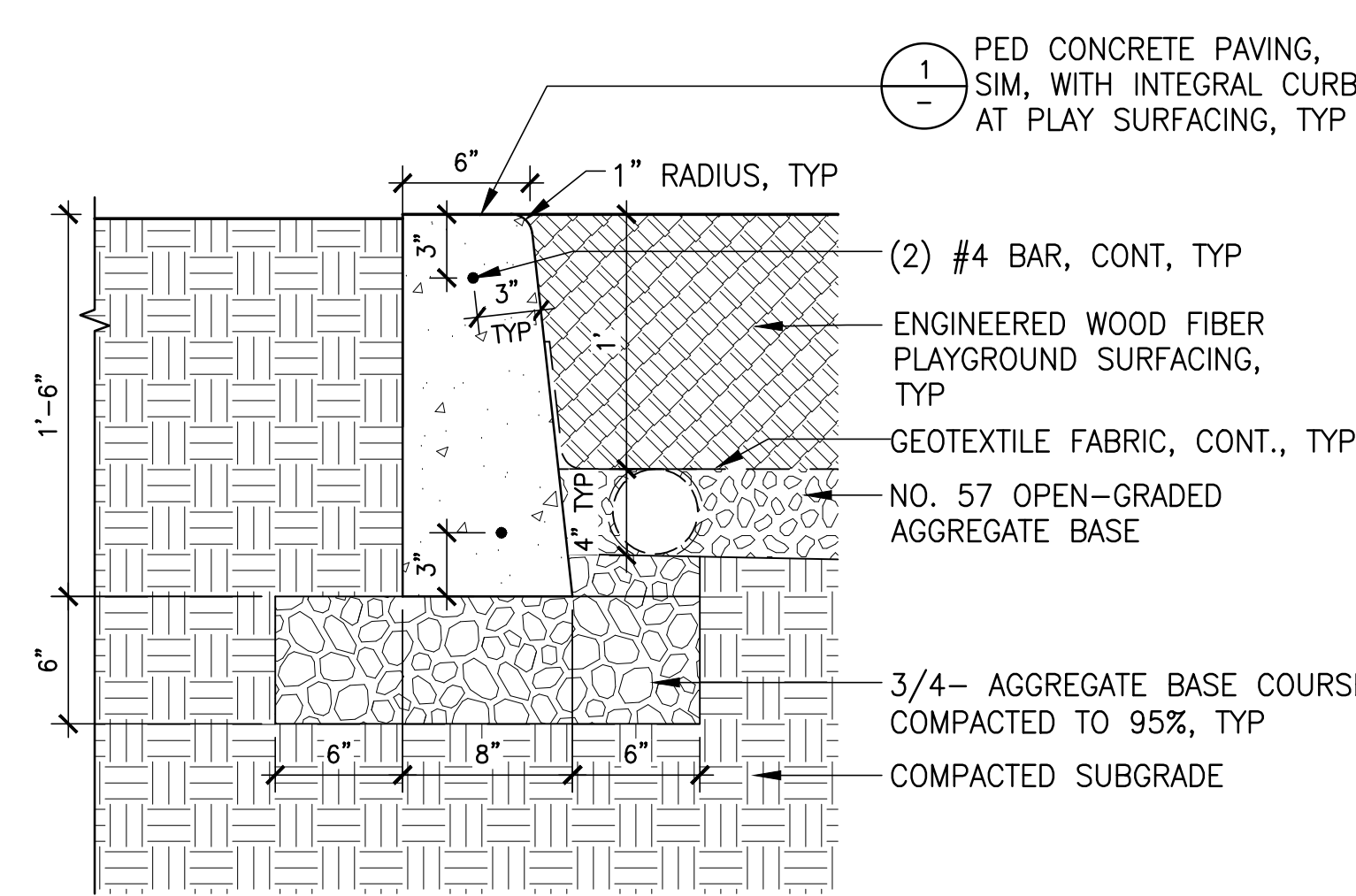
LANDSCAPE ARCHITECTS PC

1100 NW GLISAN #3A PORTLAND OR 97209 T 503.295.2437



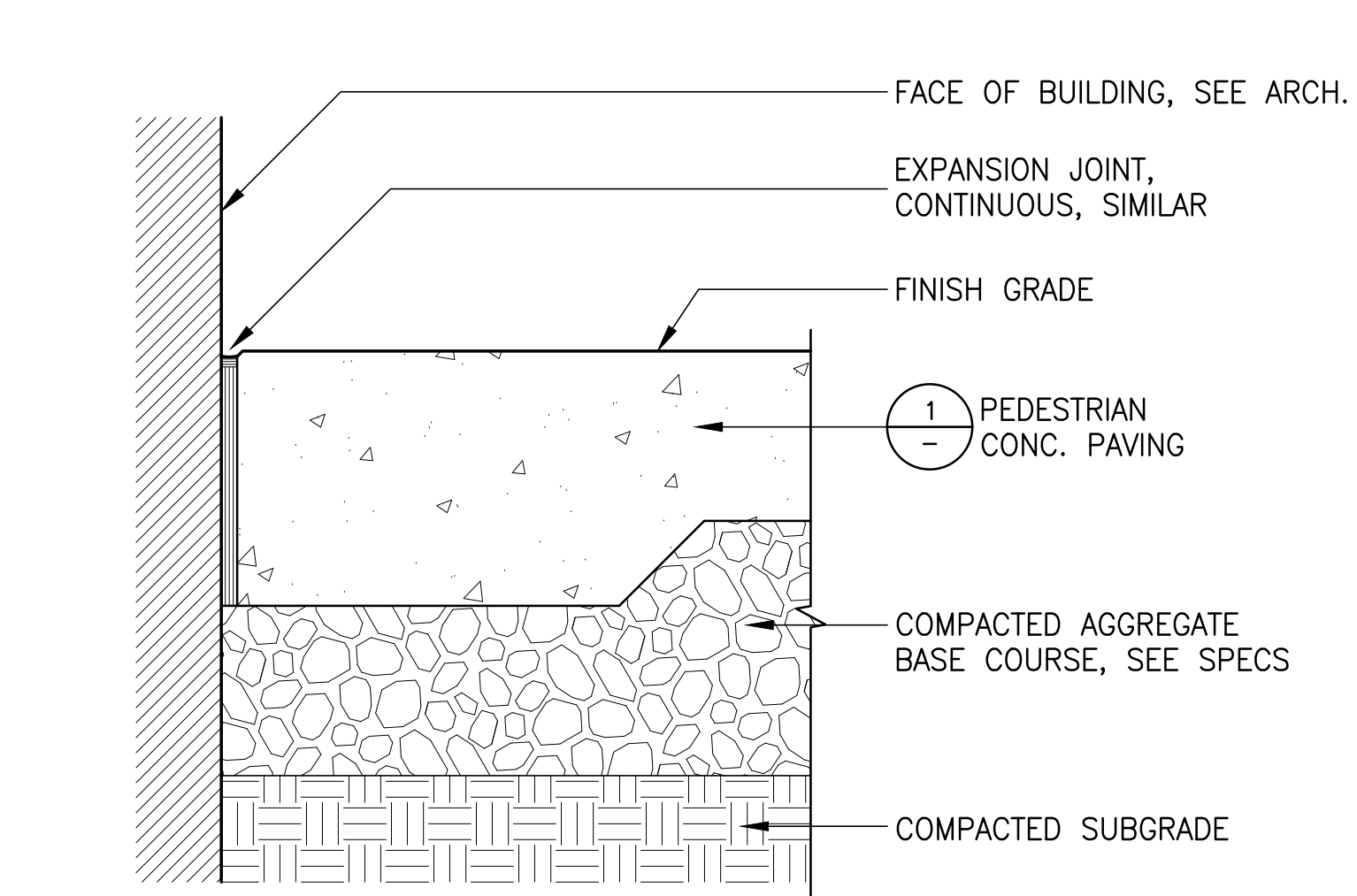
1 PEDESTRIAN CONCRETE PAVING

Section
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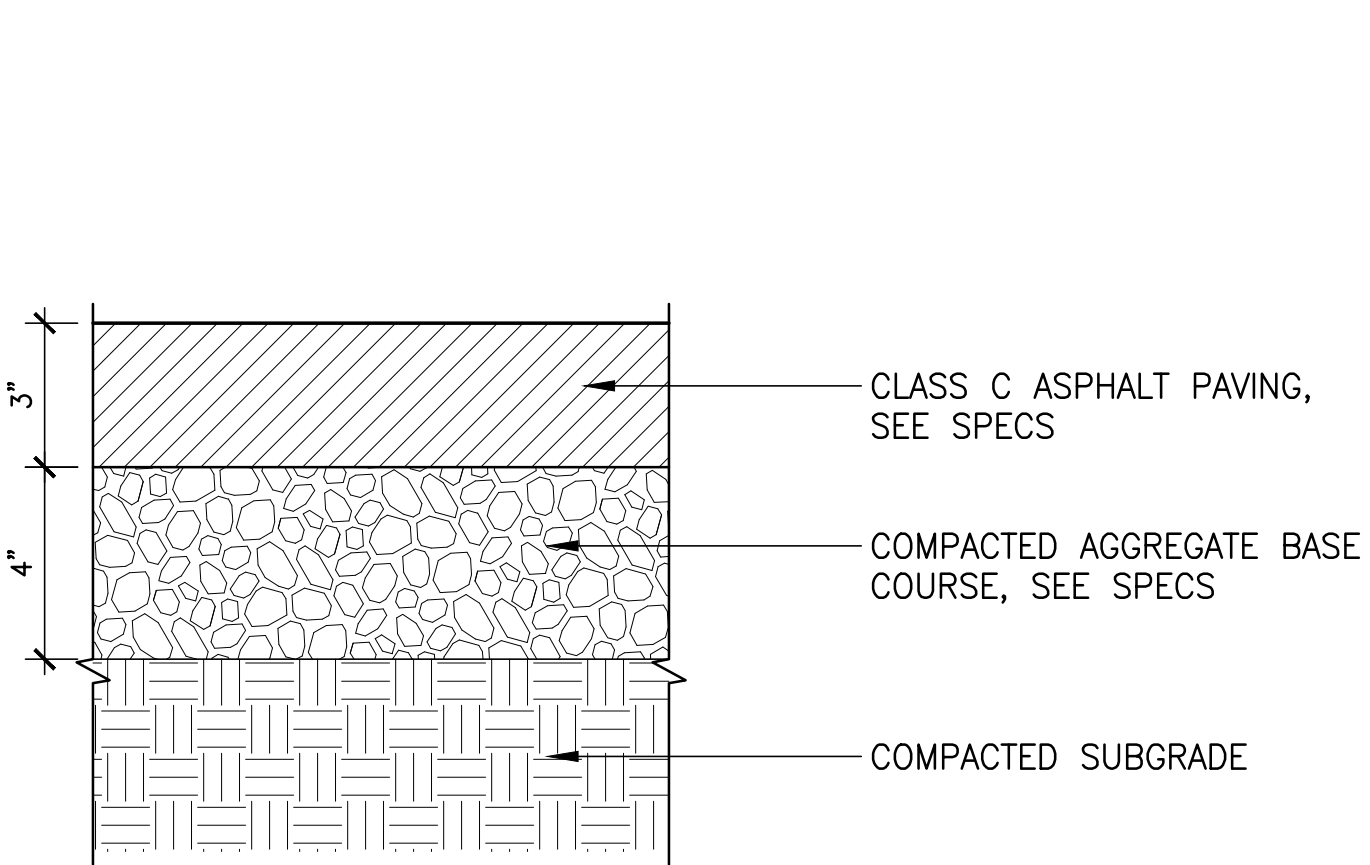
2 CURB AT PLAYGROUND

Section
1 1/2\"/>



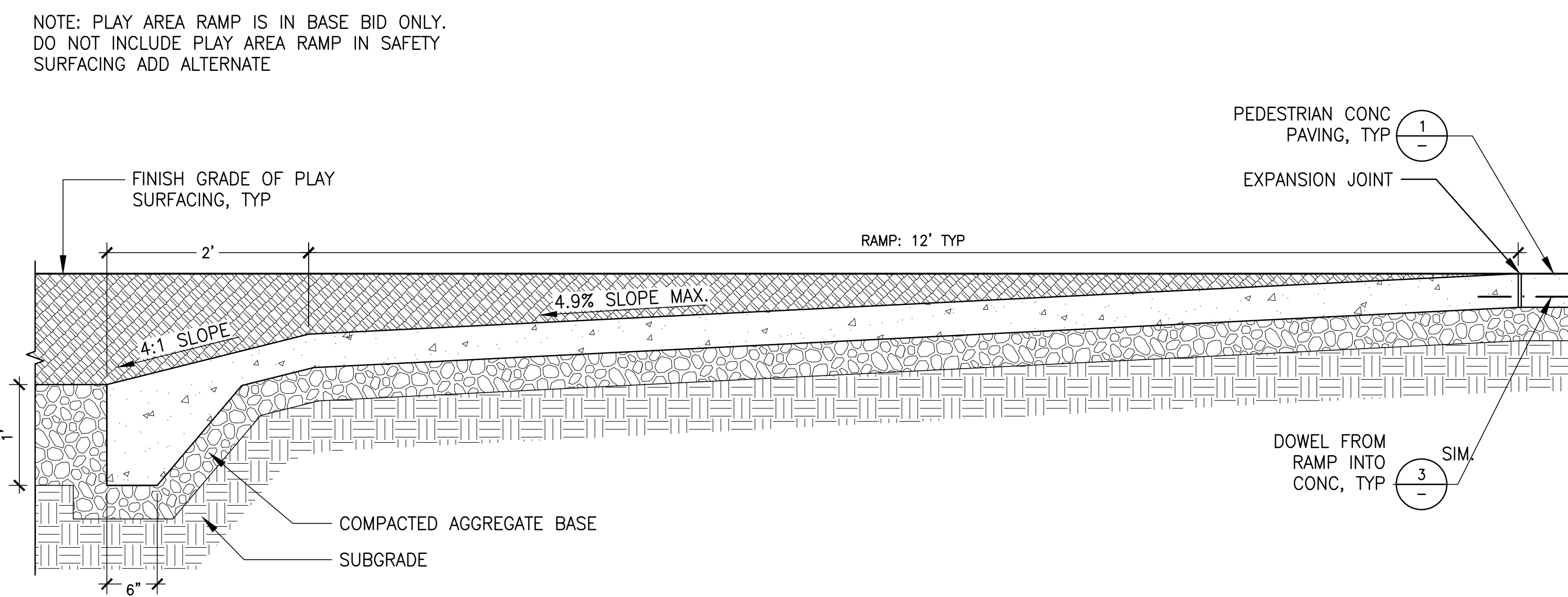
3 EXPANSION JOINT AT BLDG

Section
3\"/>



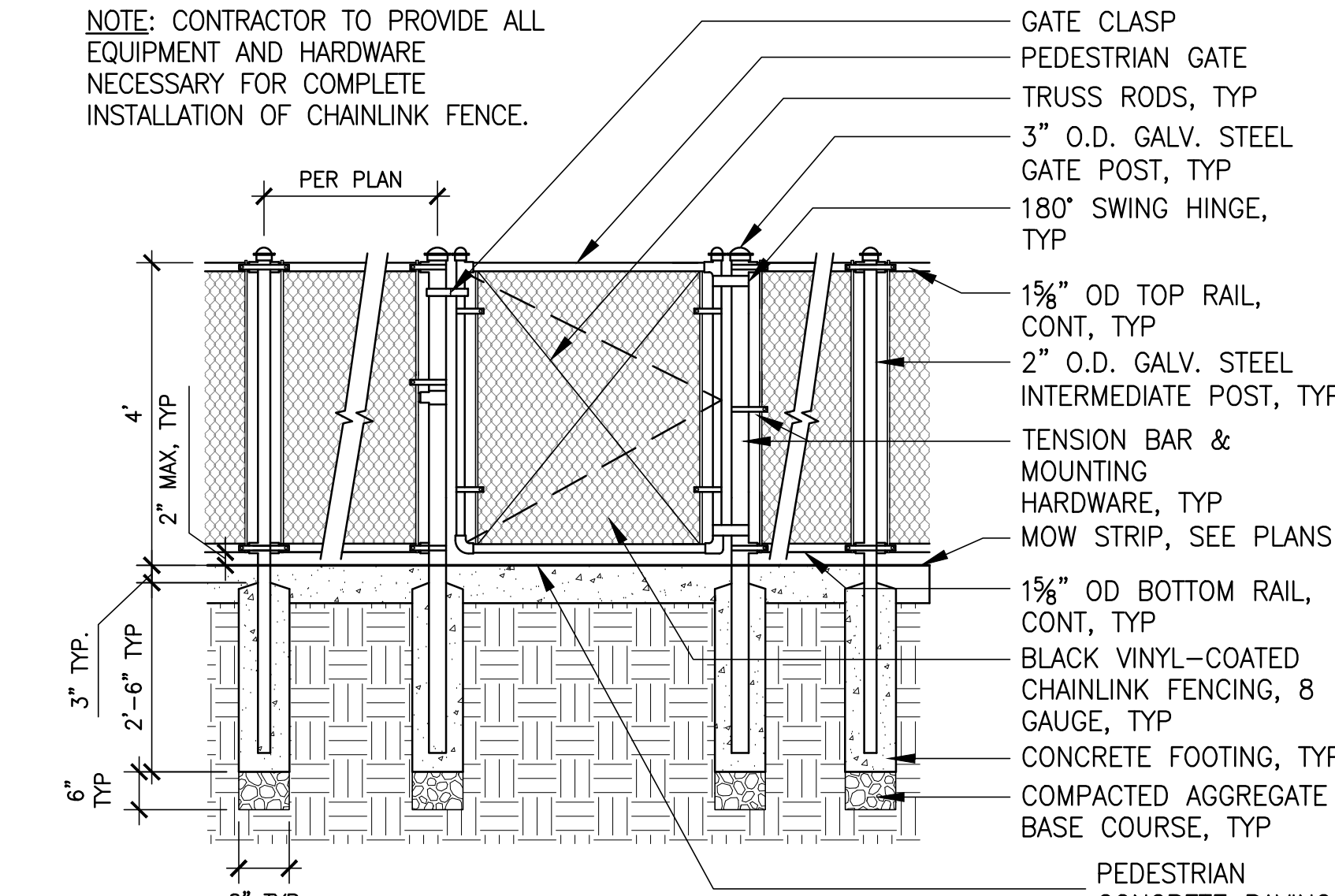
4 ASPHALT PAVING

Section
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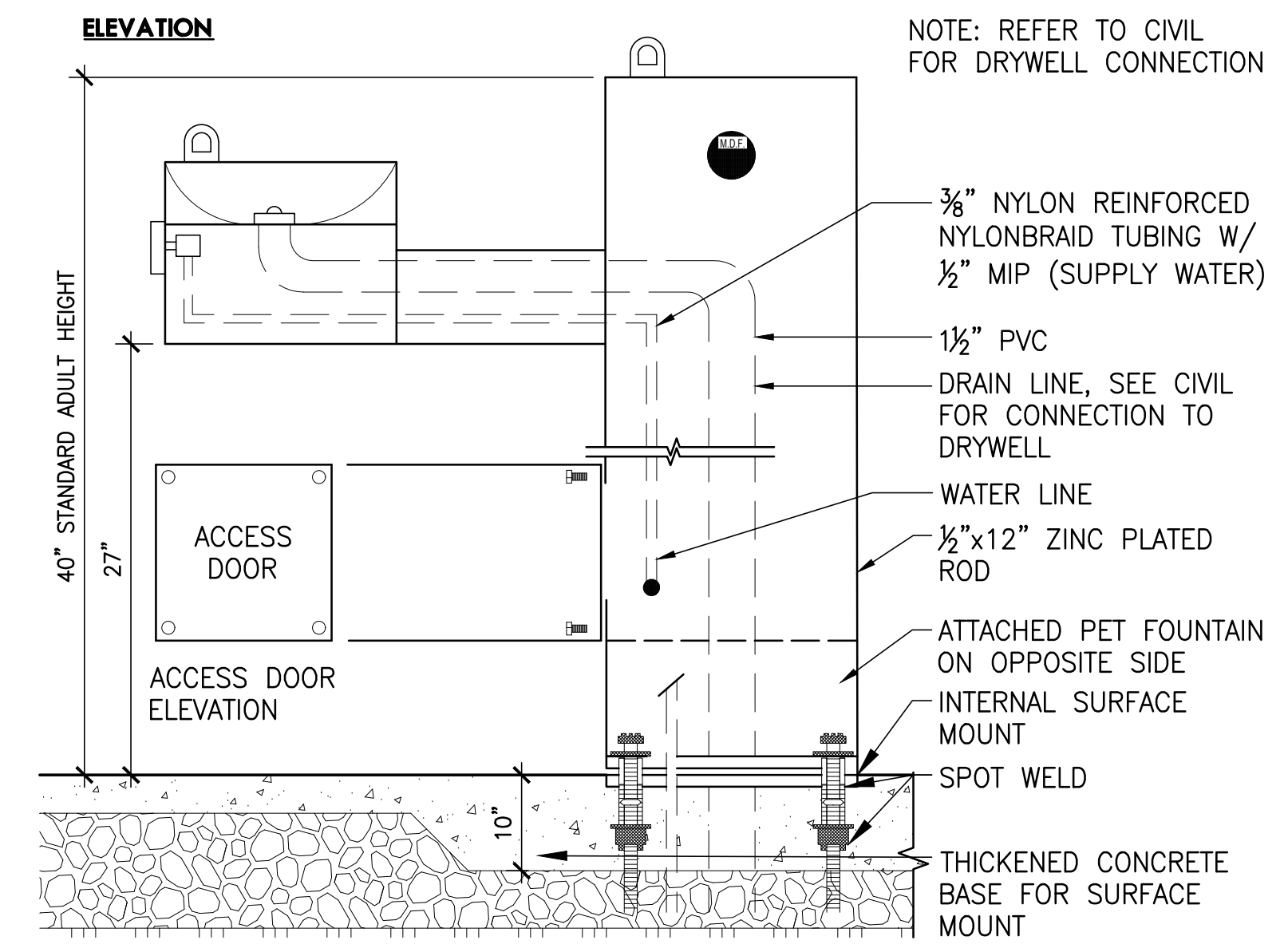
5 PLAY AREA RAMP

Section
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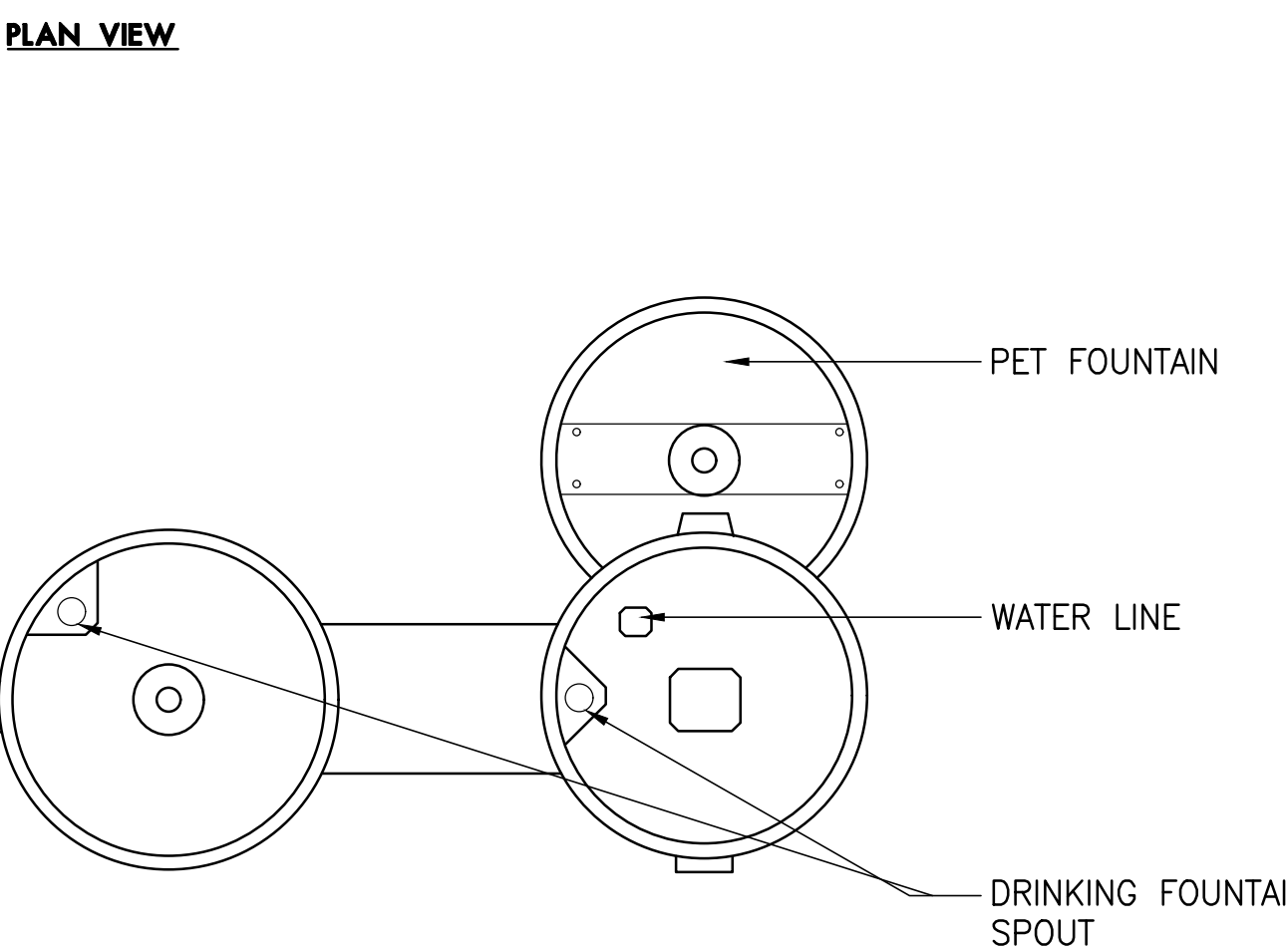
6 4' TALL CHAINLINK FENCE AND GATE

Section
1/2\"/>

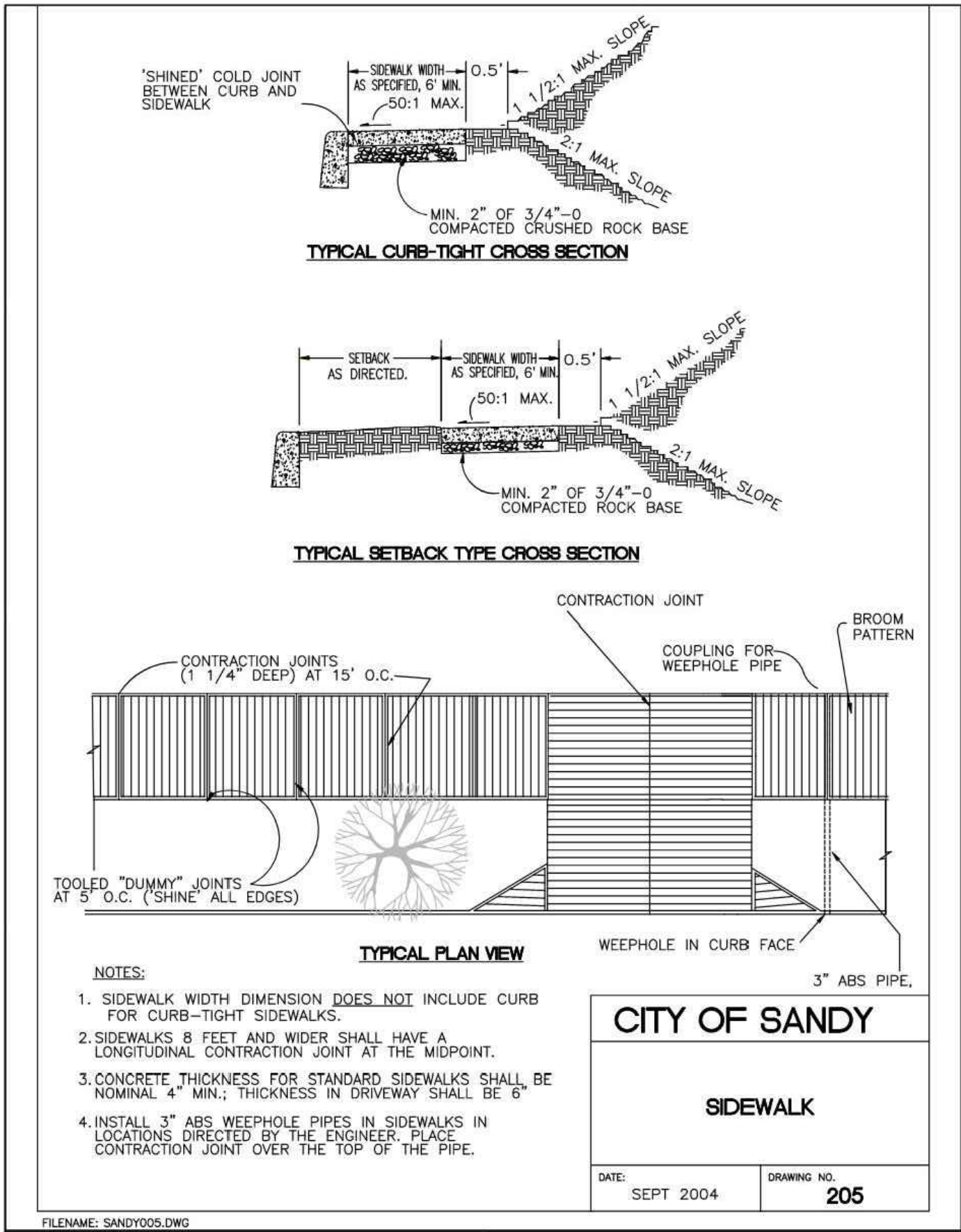


7 DRINKING FOUNTAIN, TYP

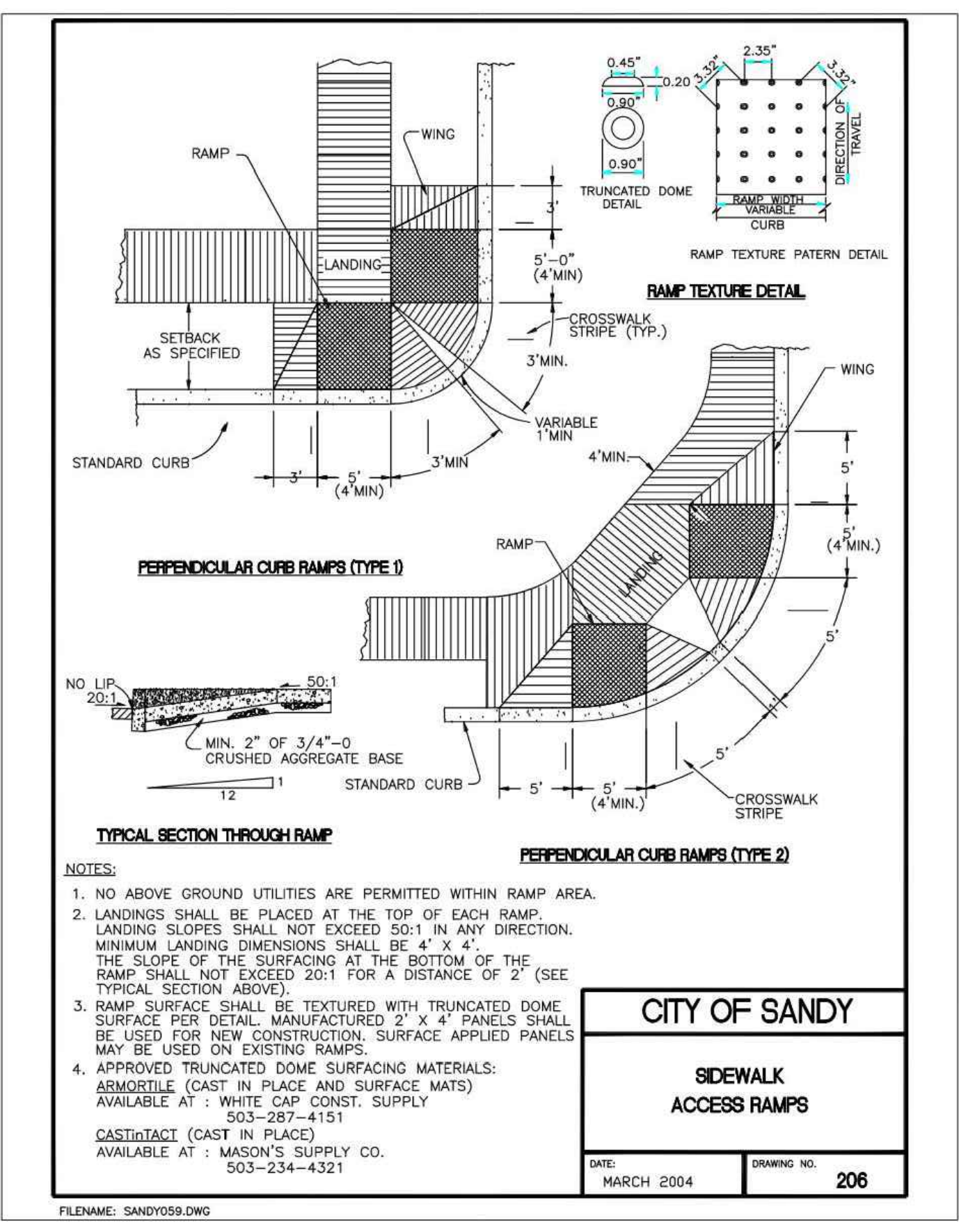
Section
3/4\"/>



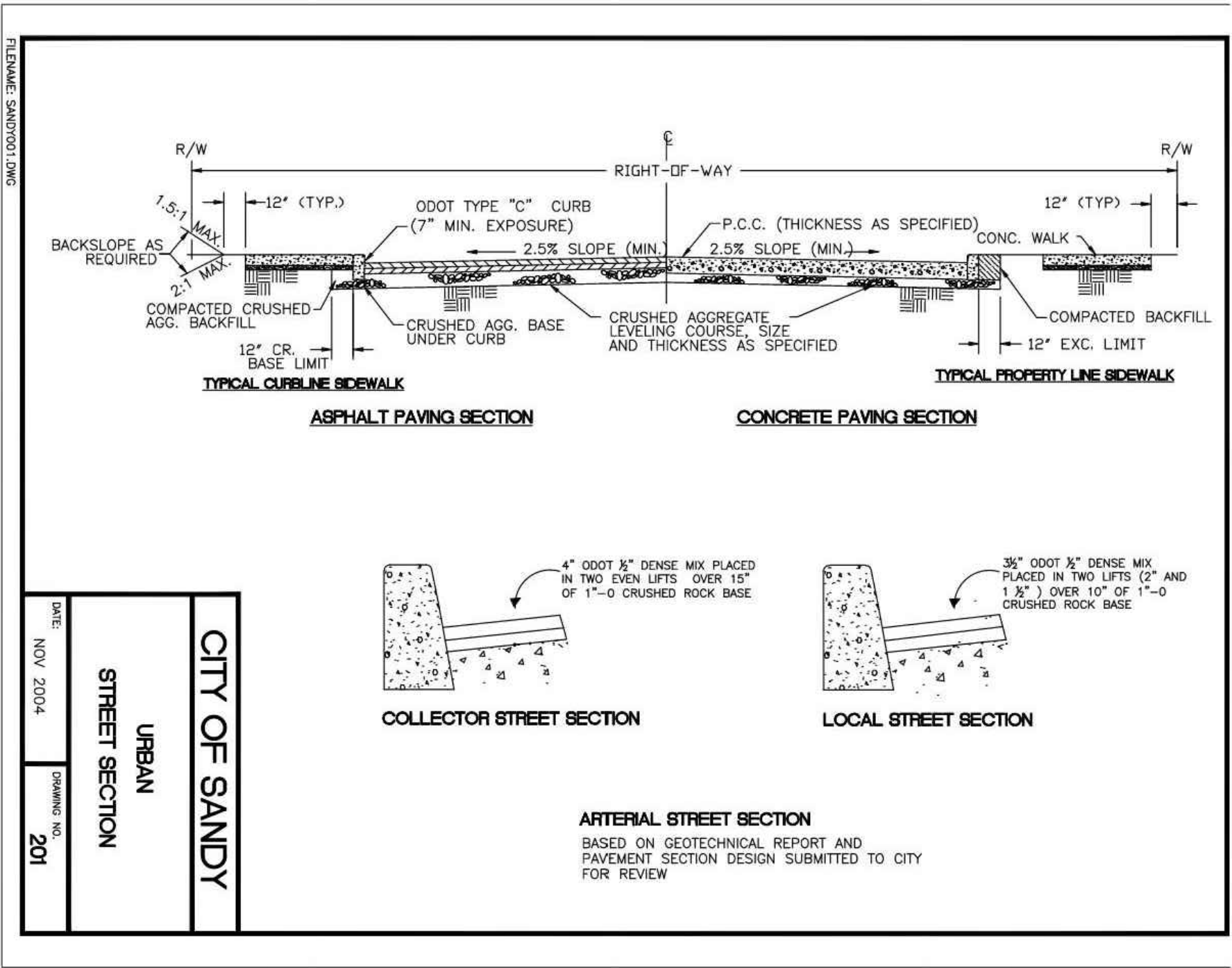
PLAN VIEW



1 PUBLIC SIDEWALK - STD DETAIL # 205 Plan / Section NTS



2 SIDEWALK ACCESS RAMP - STD DETAIL # 206 Plan / Section NTS



3 STREET PAVING DETAIL - STD DETAIL # 201 Section NTS

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DETAILS

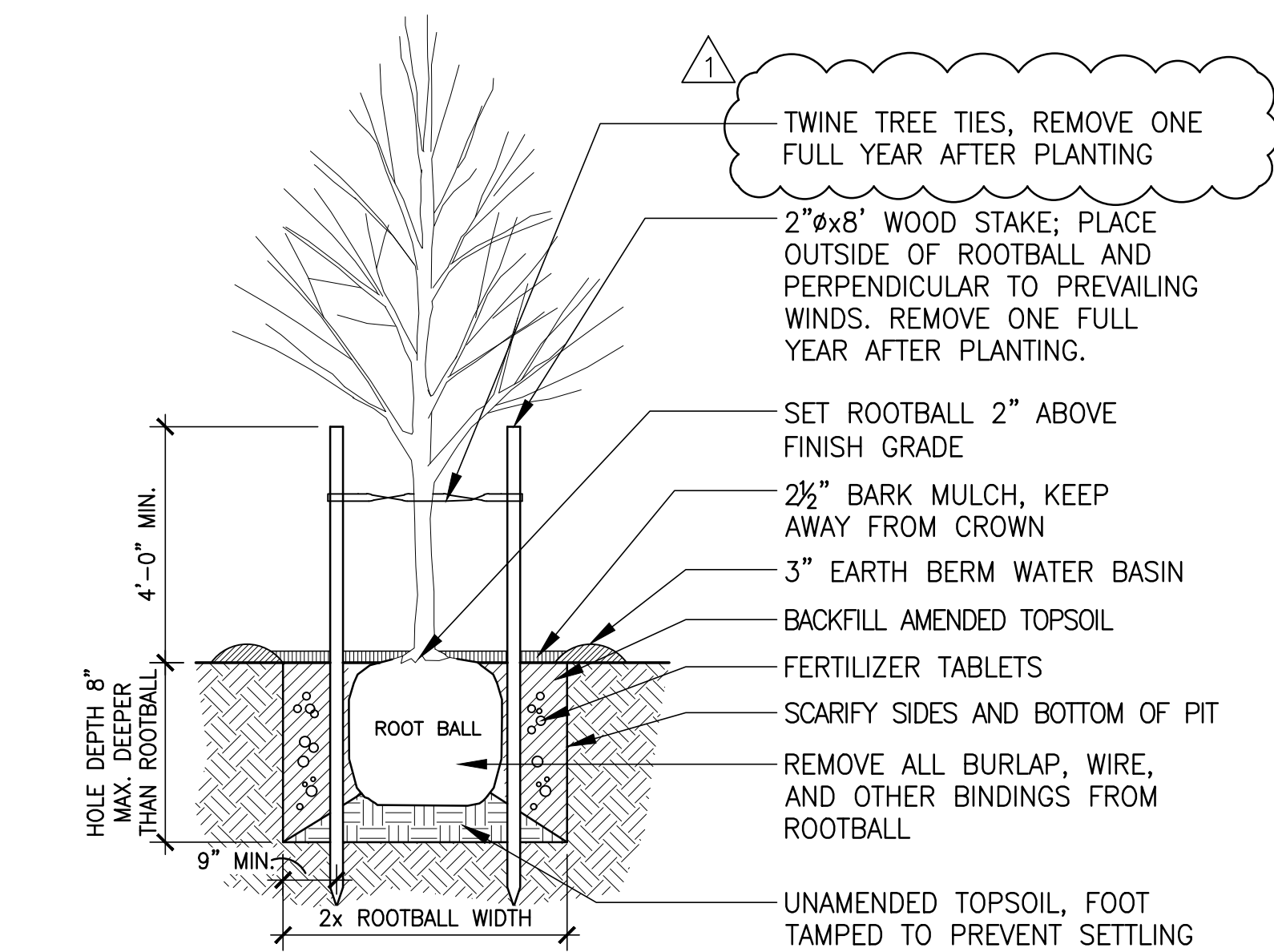
L6.02



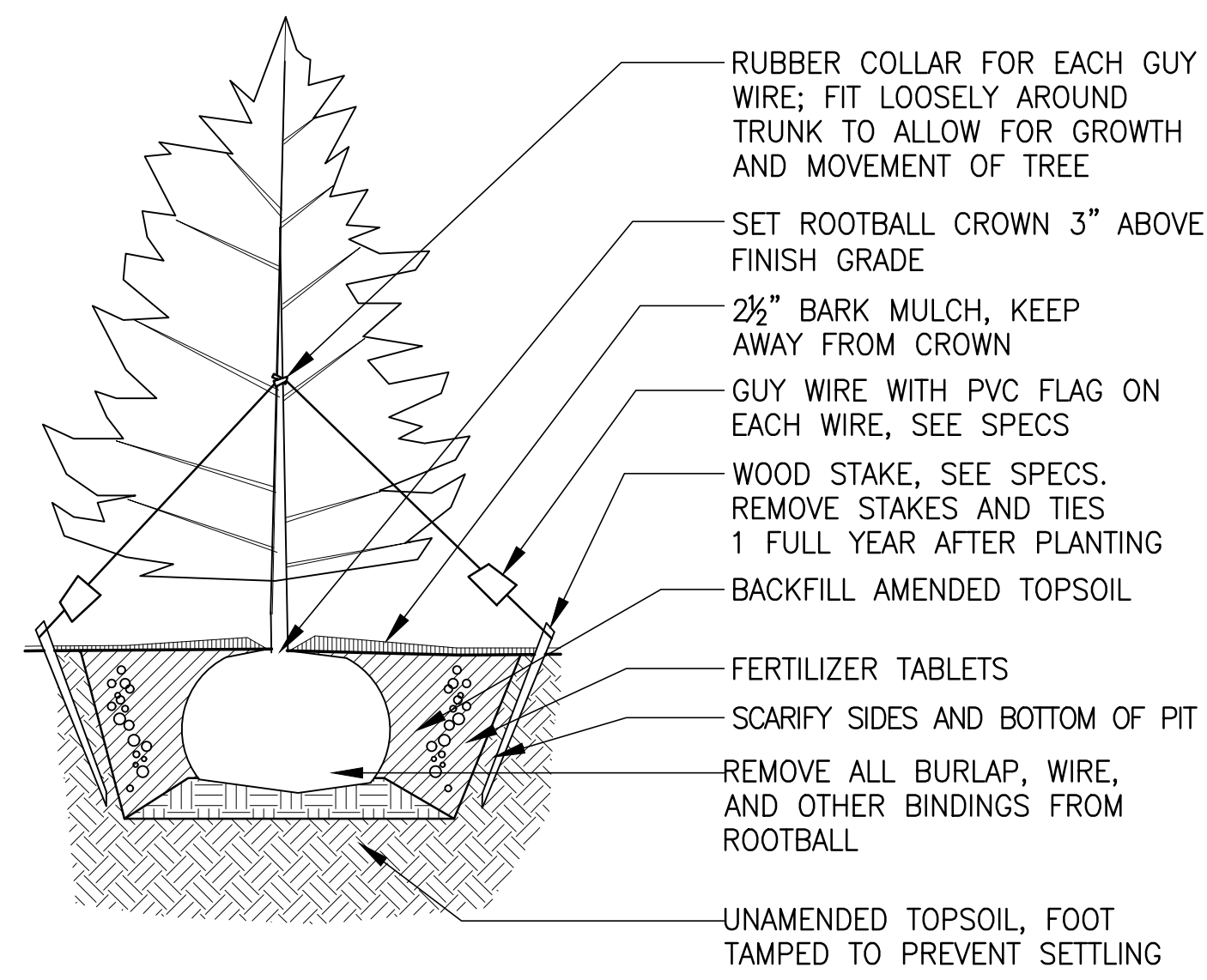
LANDSCAPE ARCHITECTS PC

lango . hansen

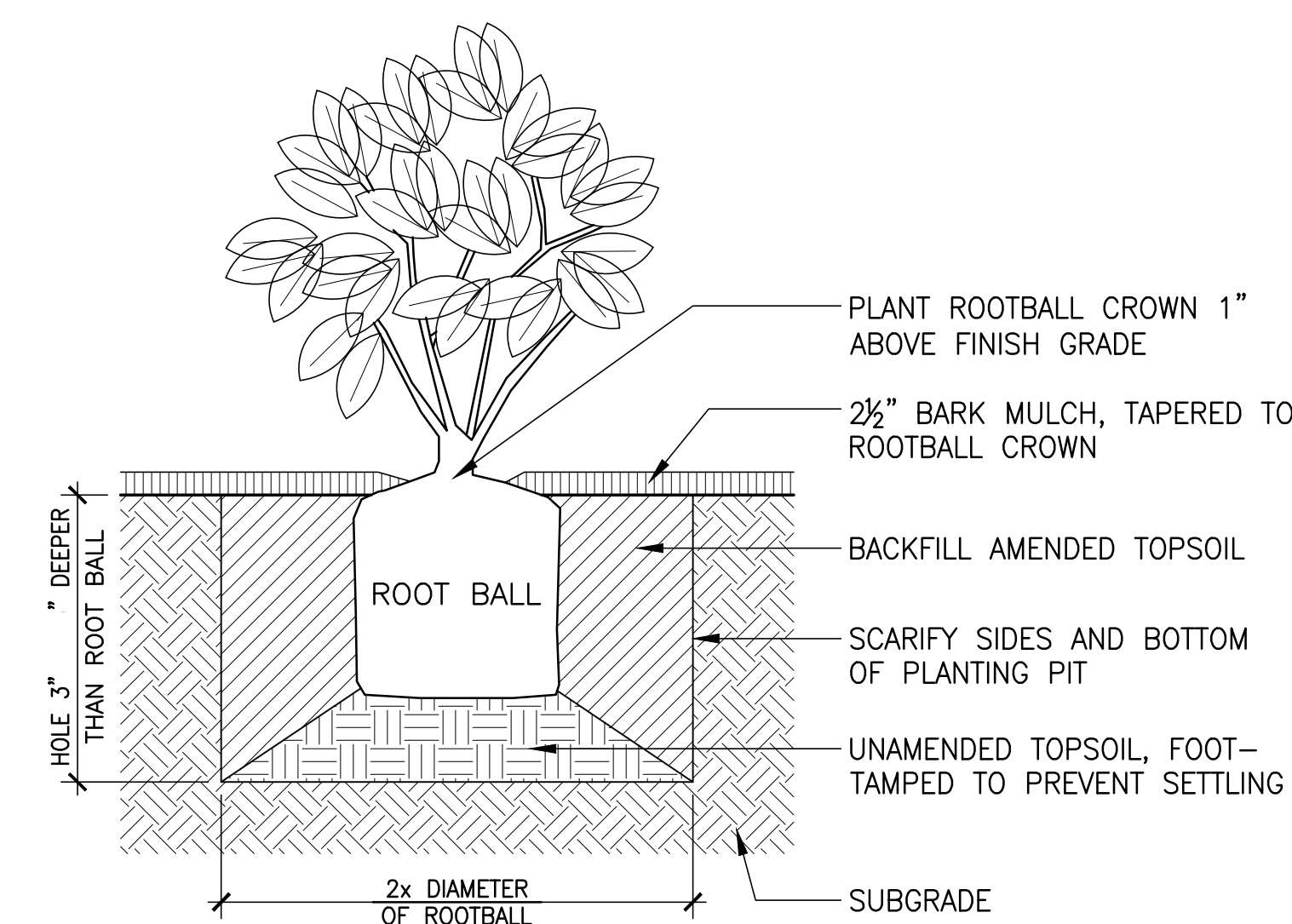
1100 nw glisan #3A portland OR 97209 T 503 295,2437



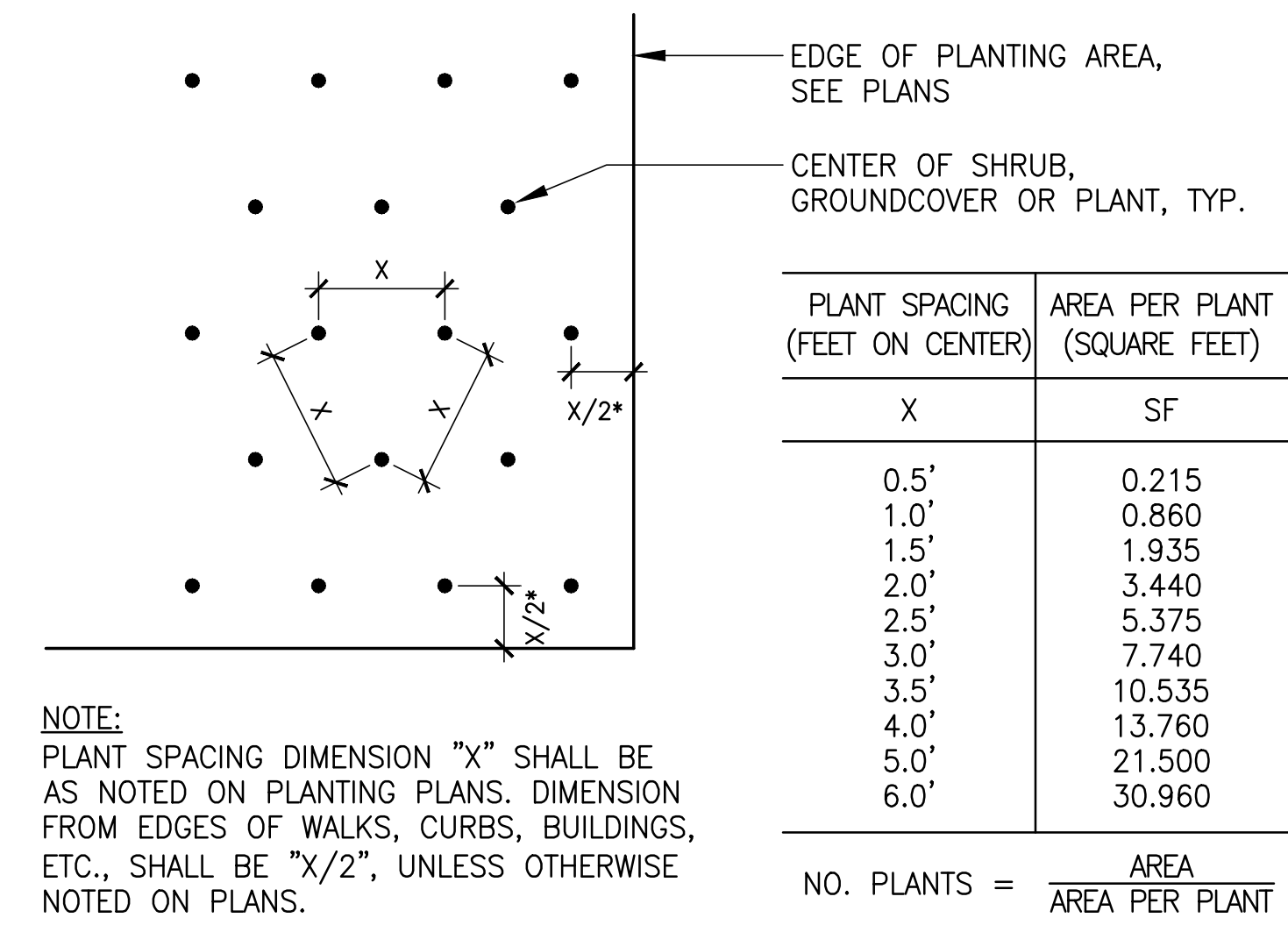
1 DEC. TREE PLANTING WITH STAKES Section 1/2"=1'-0"



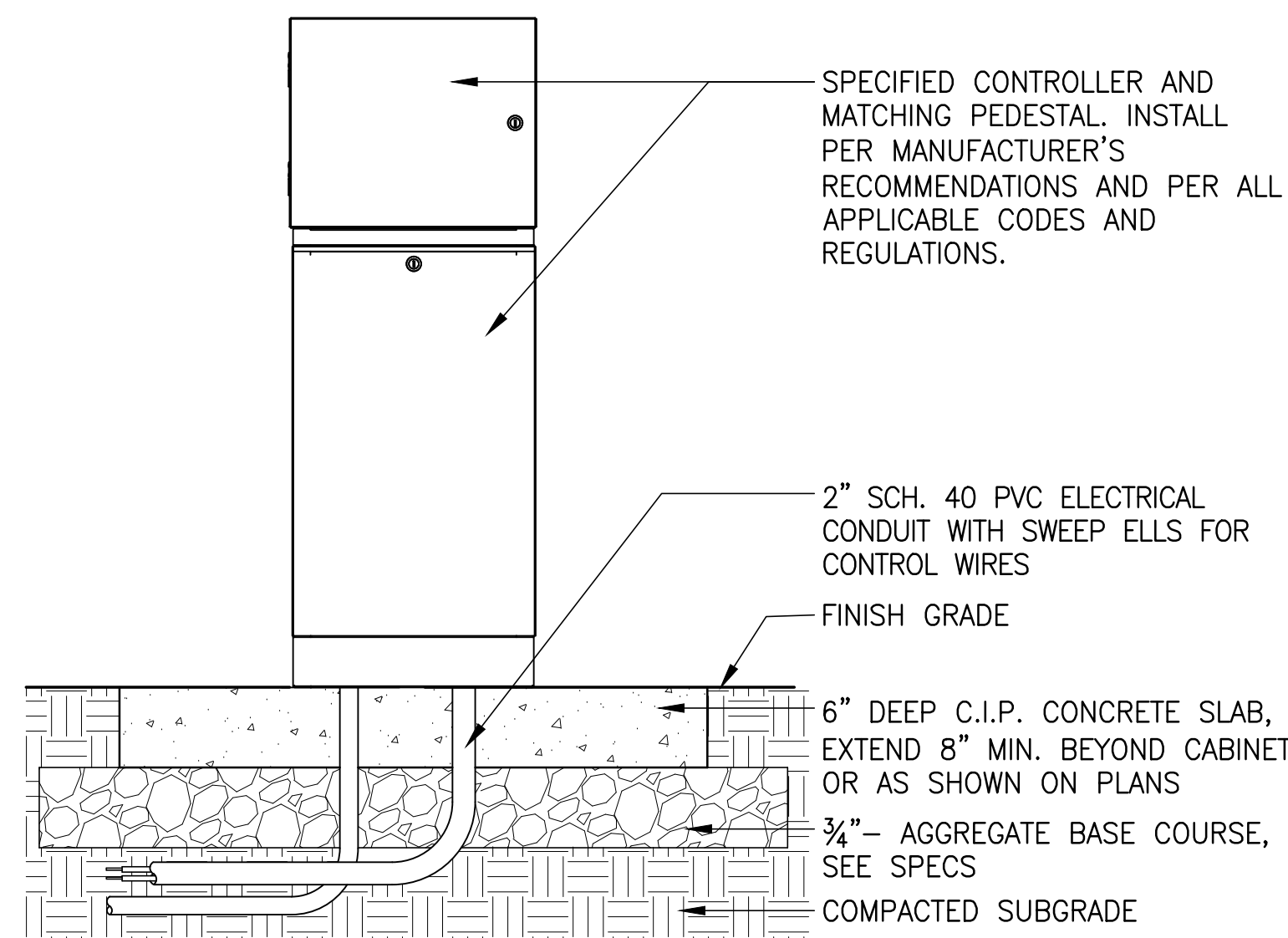
2 CONIFEROUS TREE PLANTING Section 1/2"=1'-0"



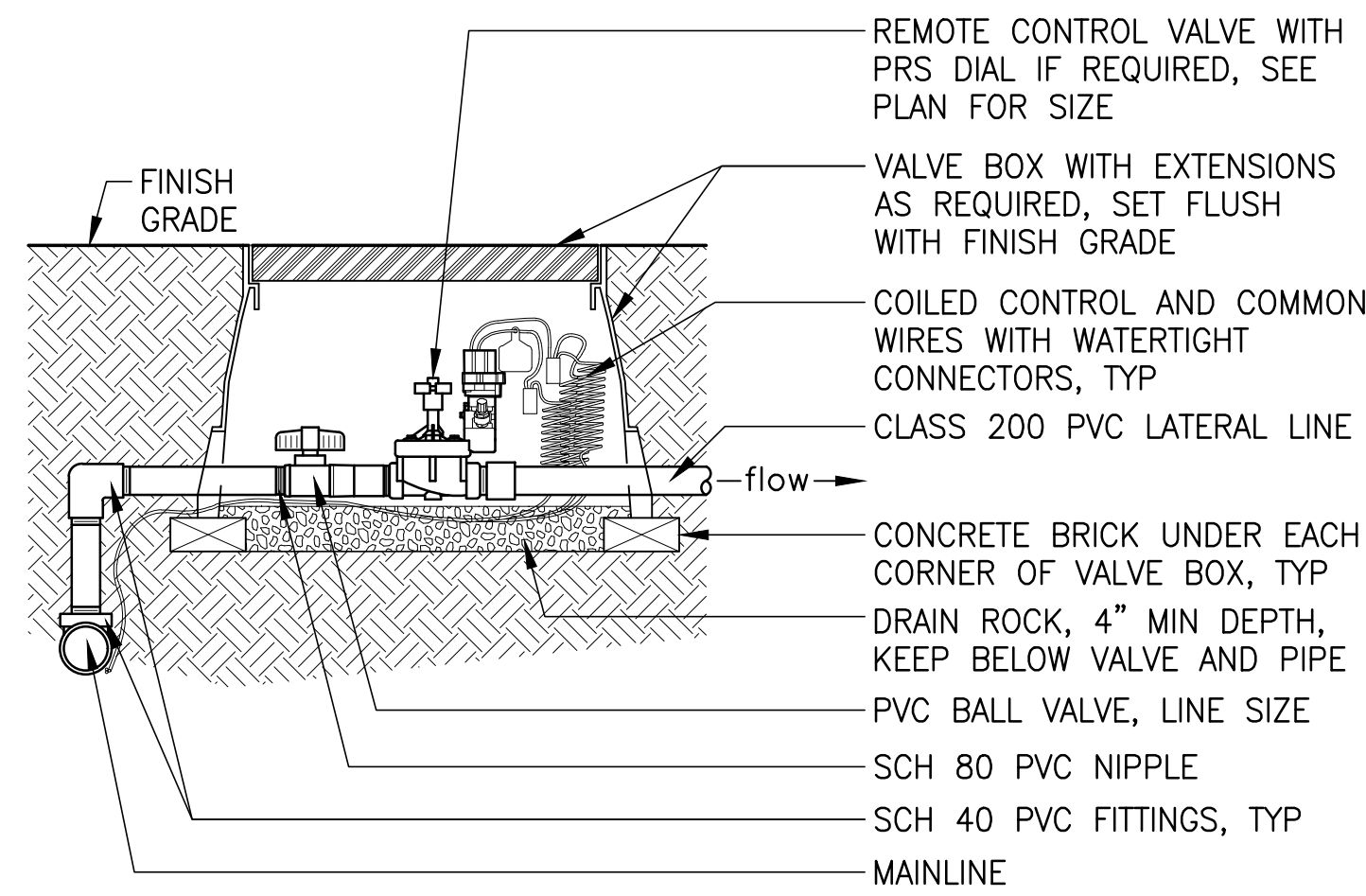
3 SHRUB PLANTING Section 3/4"=1'-0"



4 PLANT SPACING Section 1/2"=1'-0"

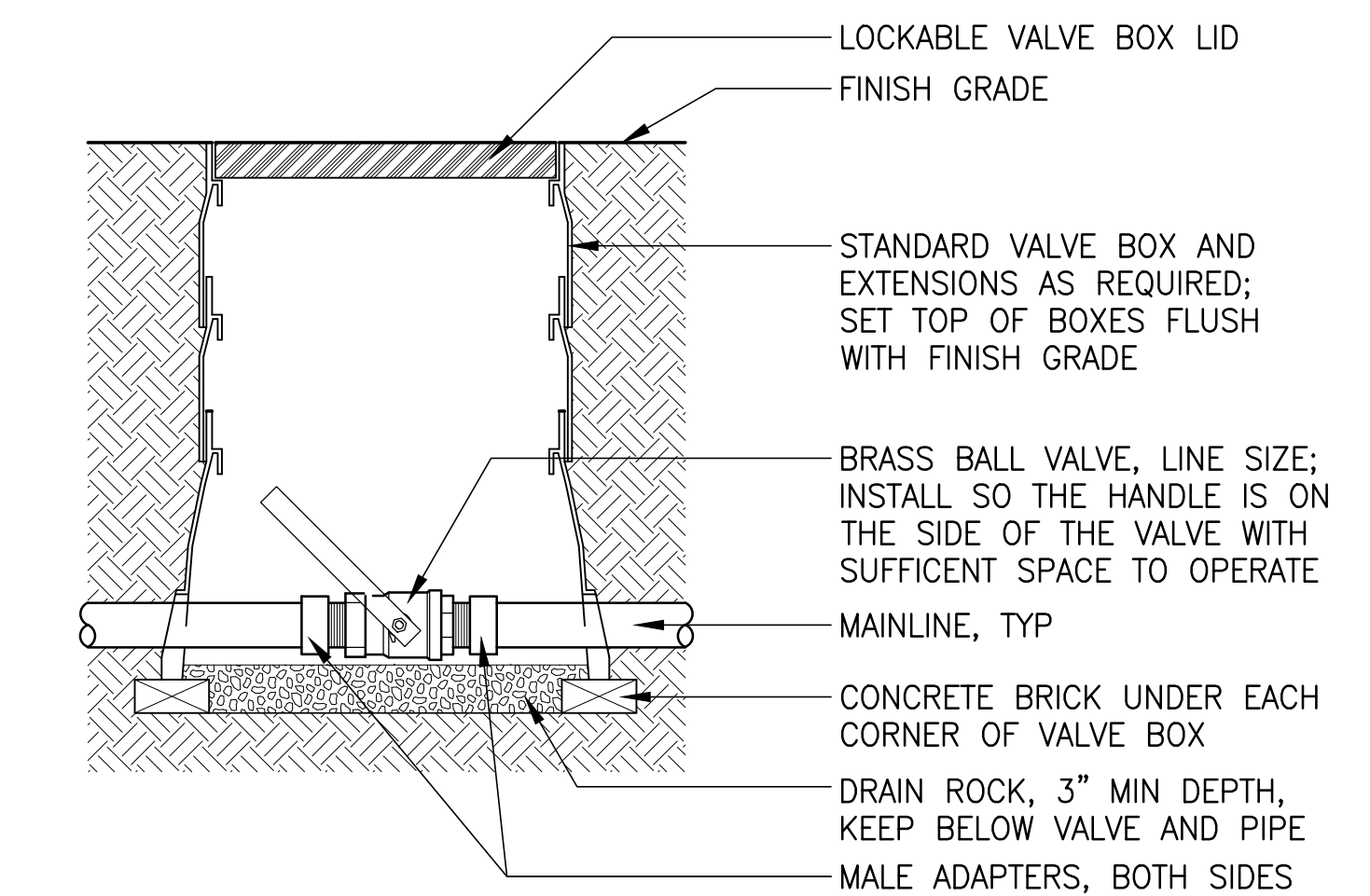


4 IRRIGATED CONTROLLER, PEDESTAL MOUNT Section NTS

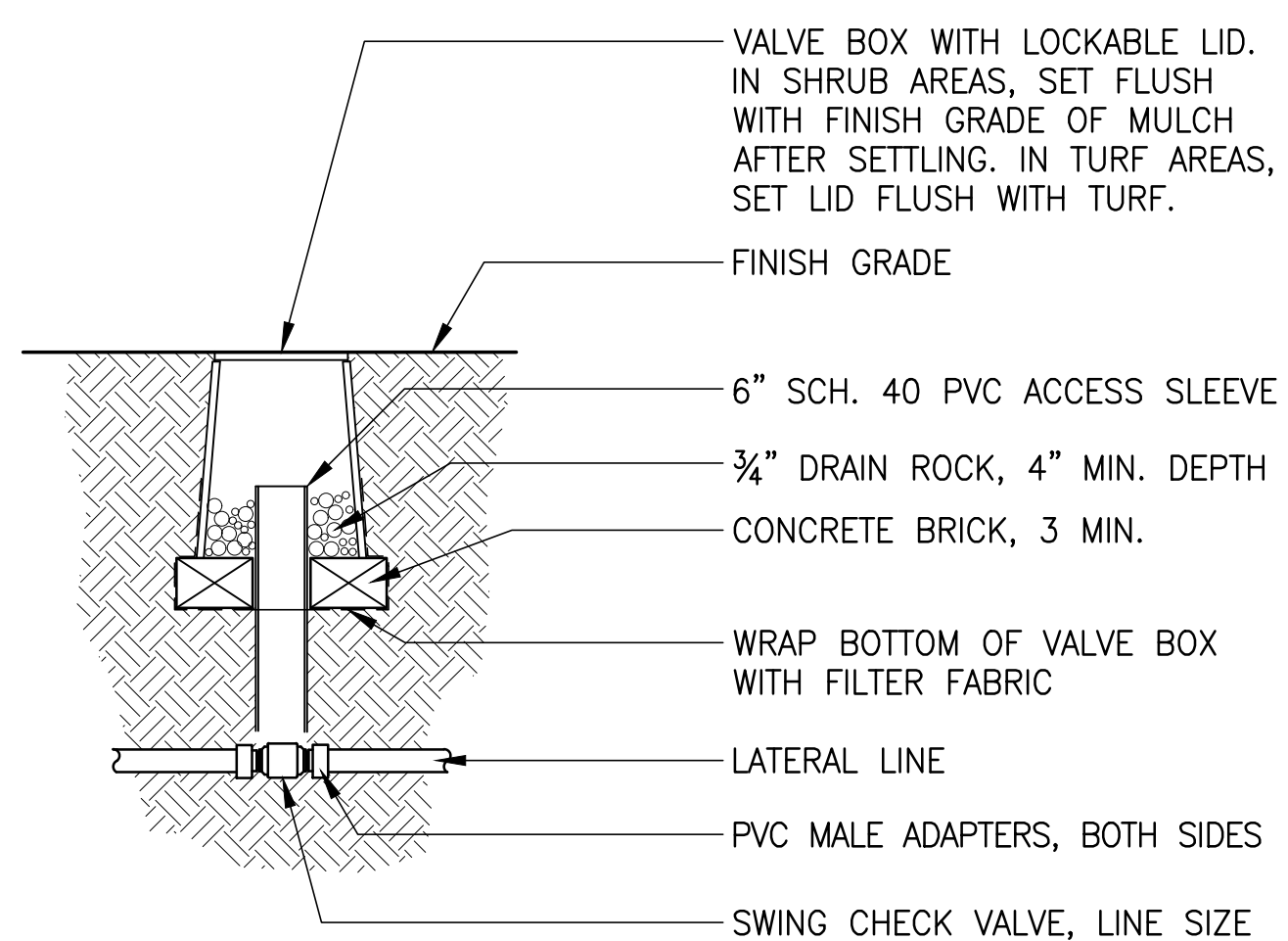


5 REMOTE CONTROL ZONE w/ BALL VALVE Section NTS

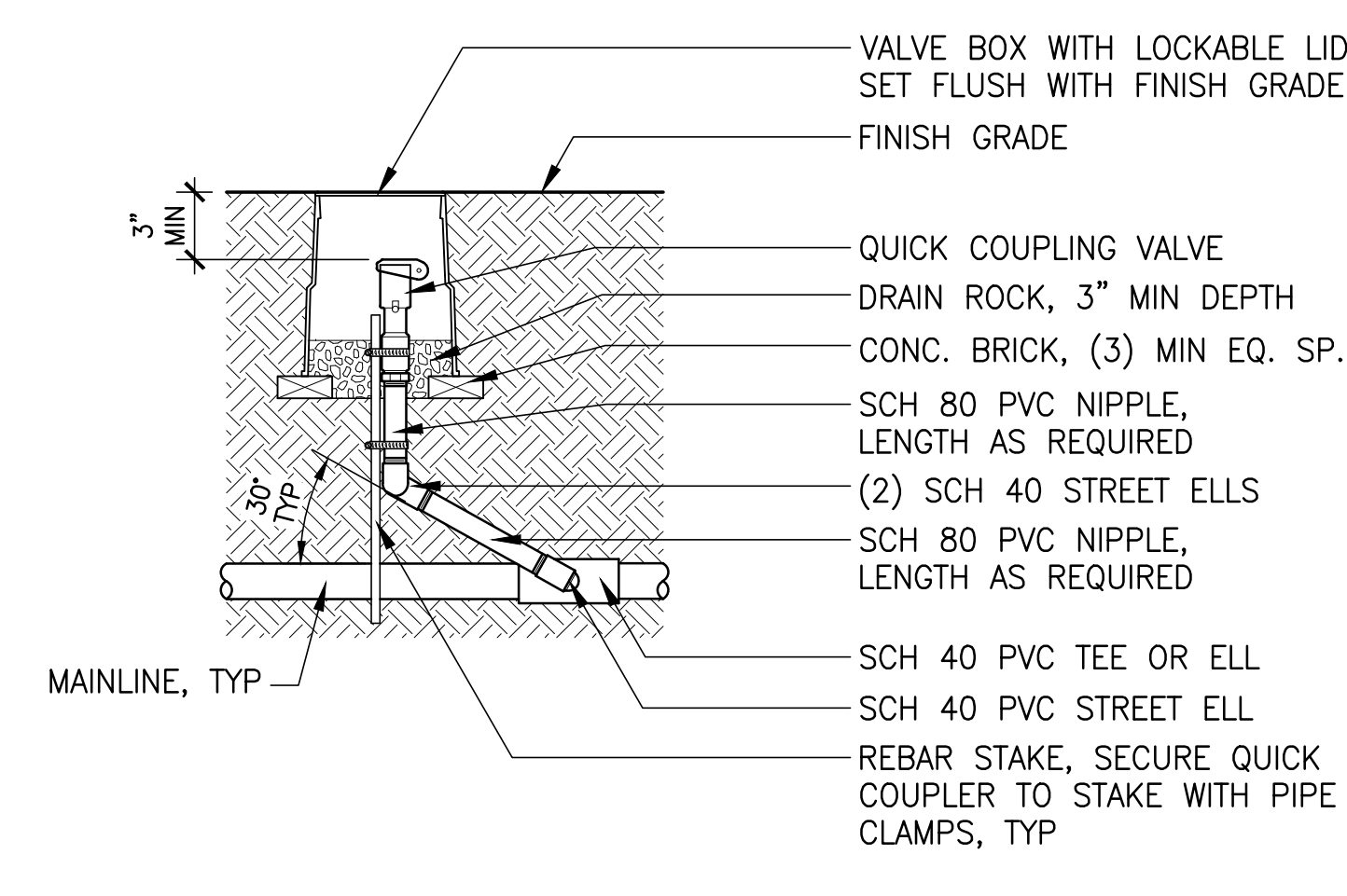
6 NOT USED Section NTS



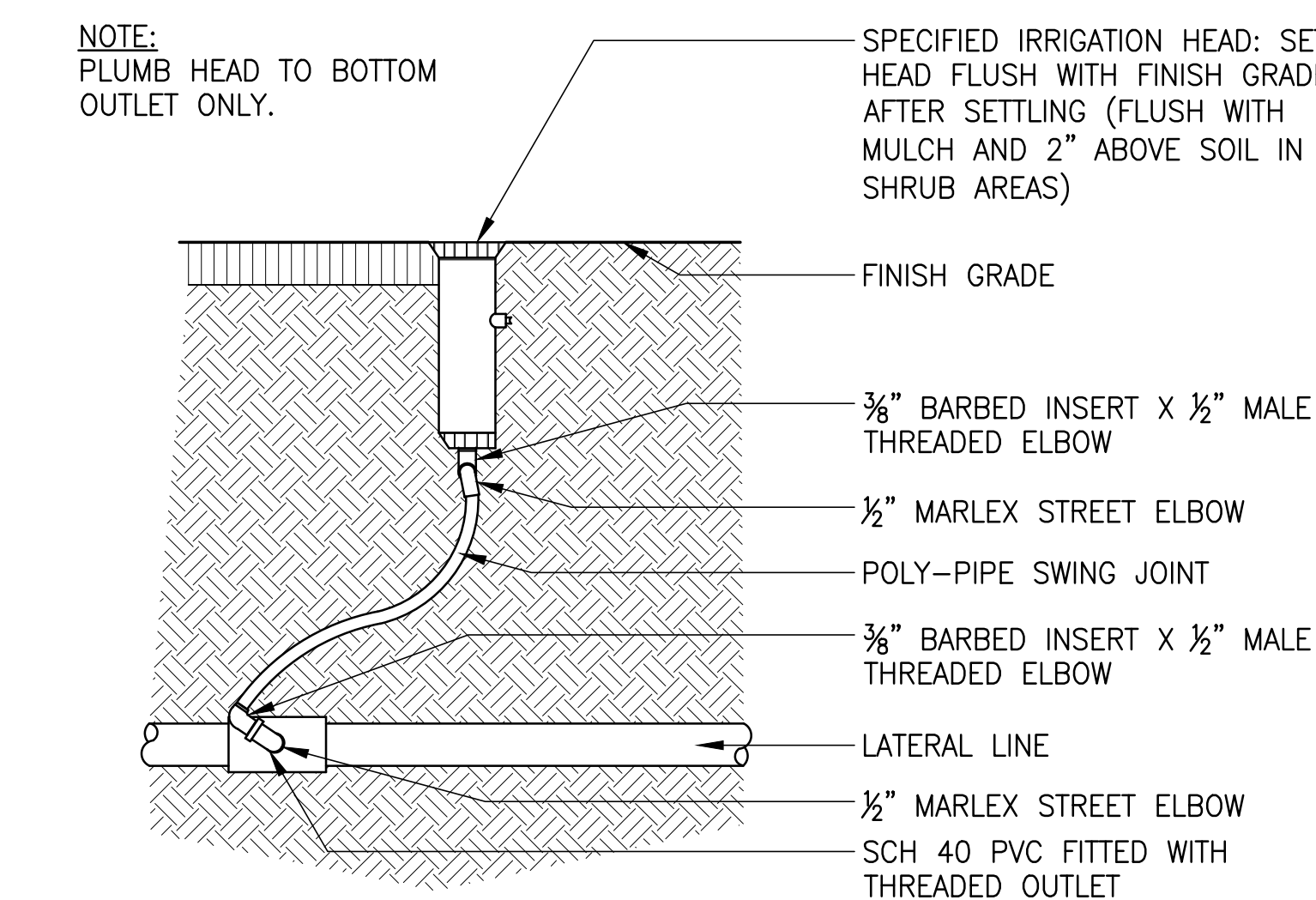
7 BALL VALVE Section NTS



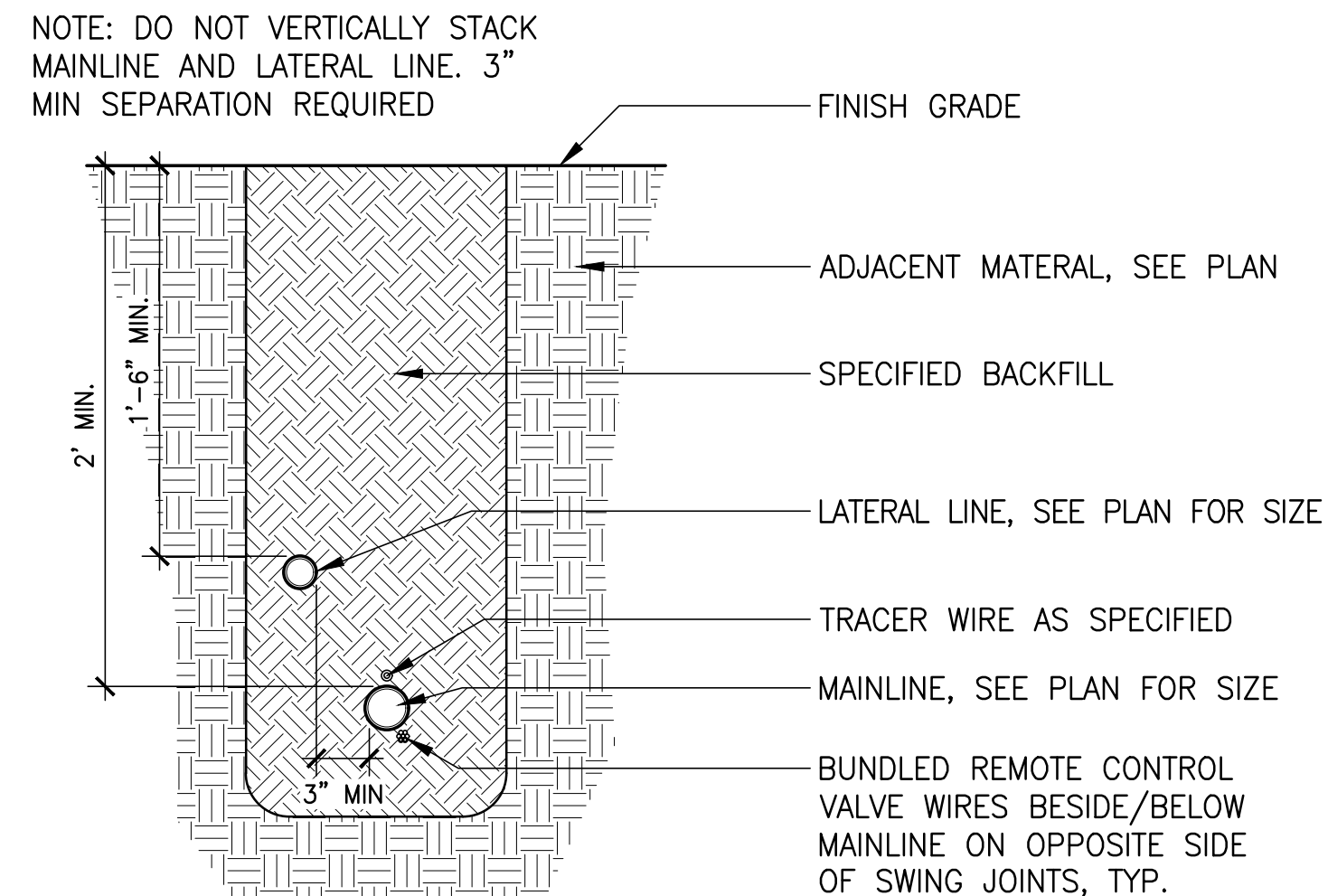
8 SWING CHECK VALVE Section NTS



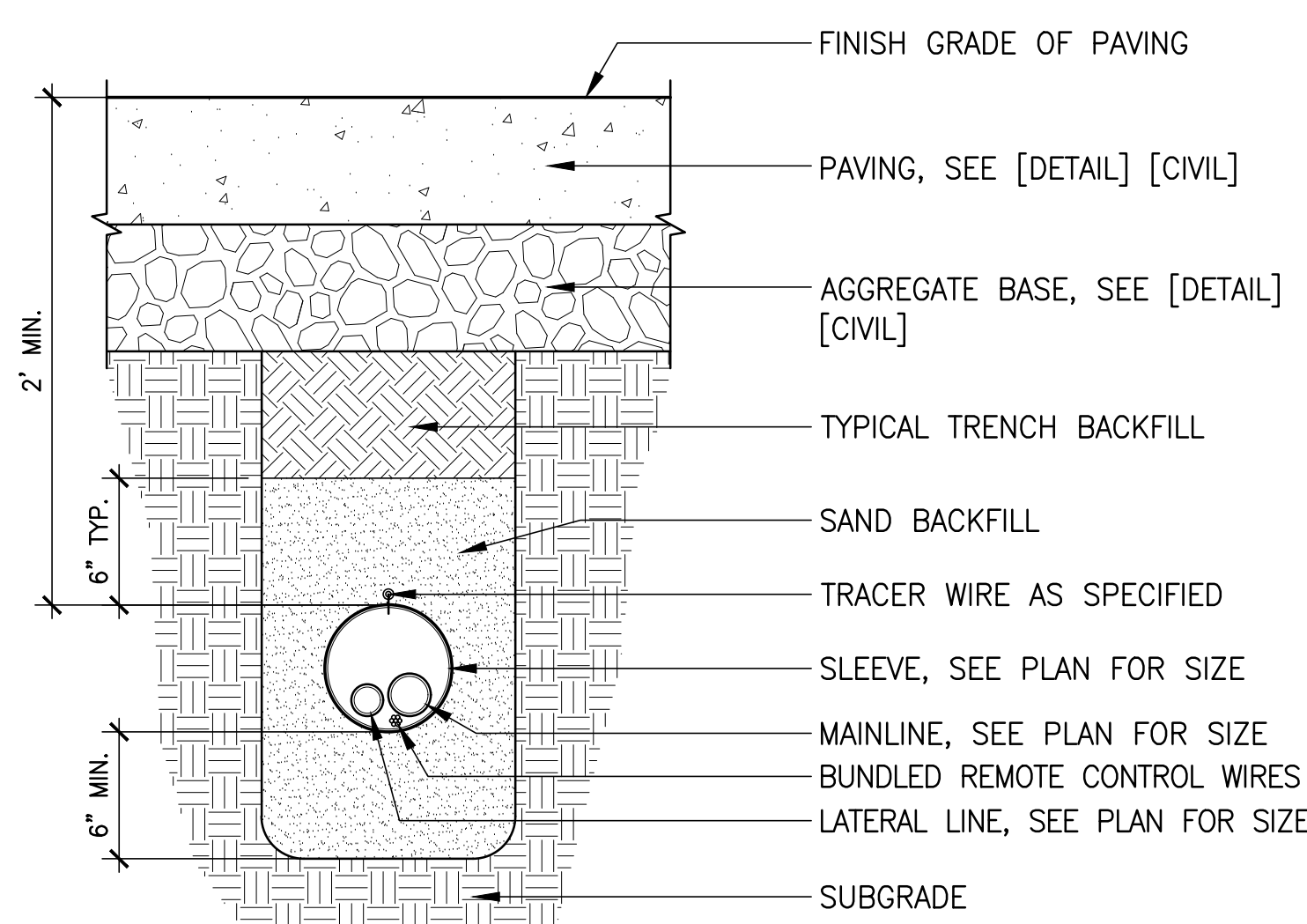
9 QUICK CUPLER Section NTS



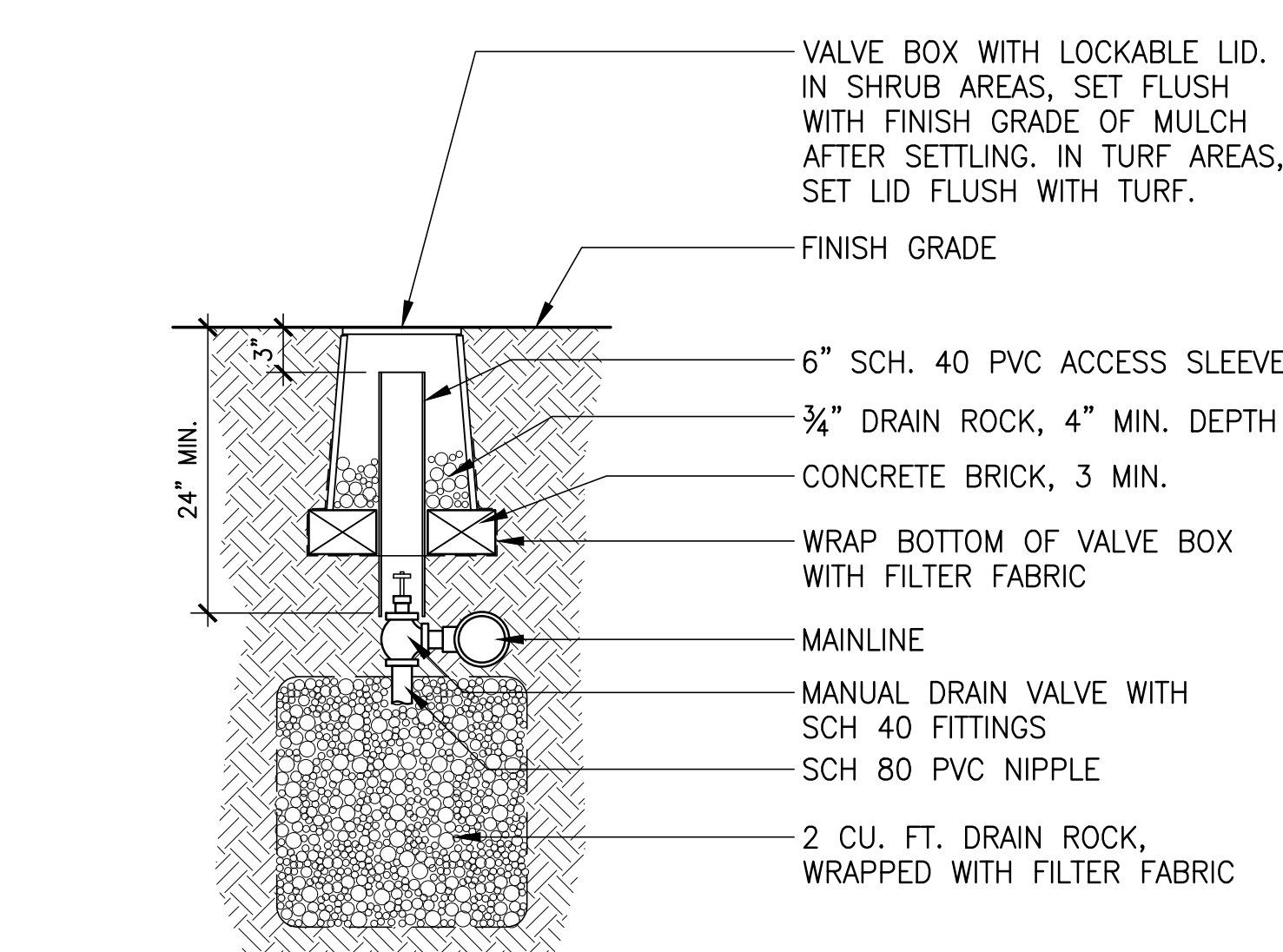
10 SPRAY HEAD Section NTS



11 IRRG TRENCH Section NTS

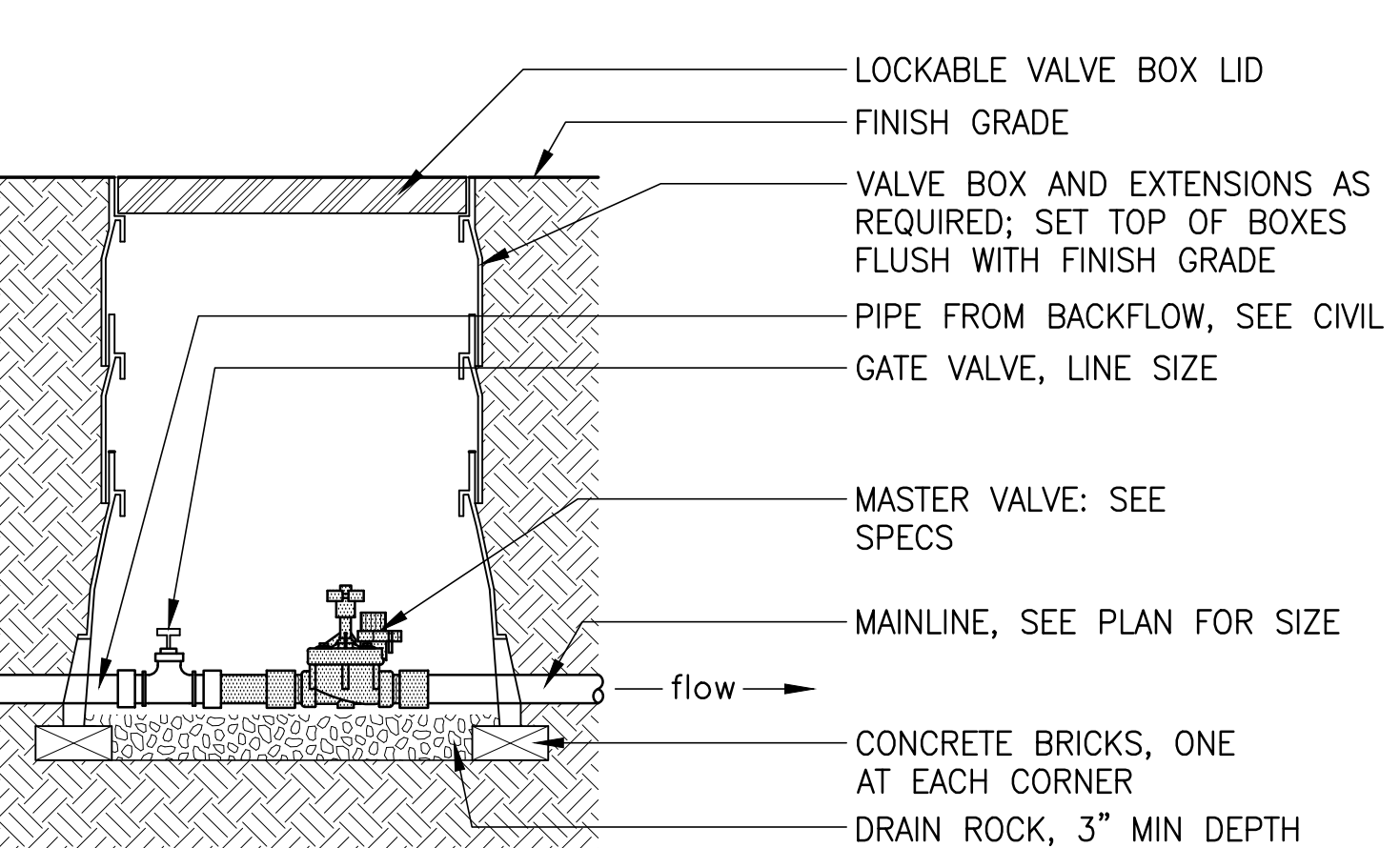


12 IRRG SLEEVE Section NTS



13 MANUAL DRAIN VALVE Section NTS

14 NOT USED Section NTS



15 POC/ MASTER VALVE Section NTS

