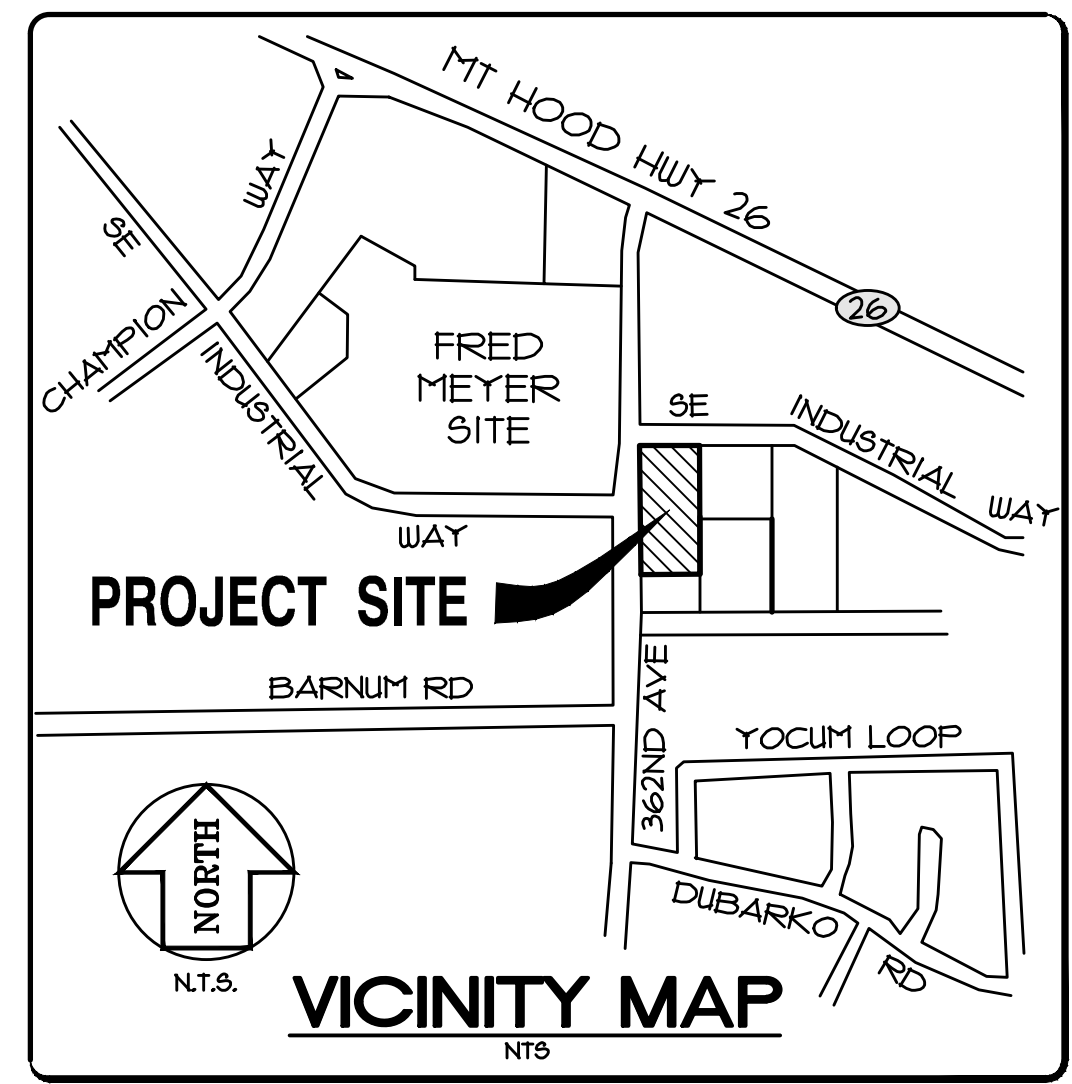
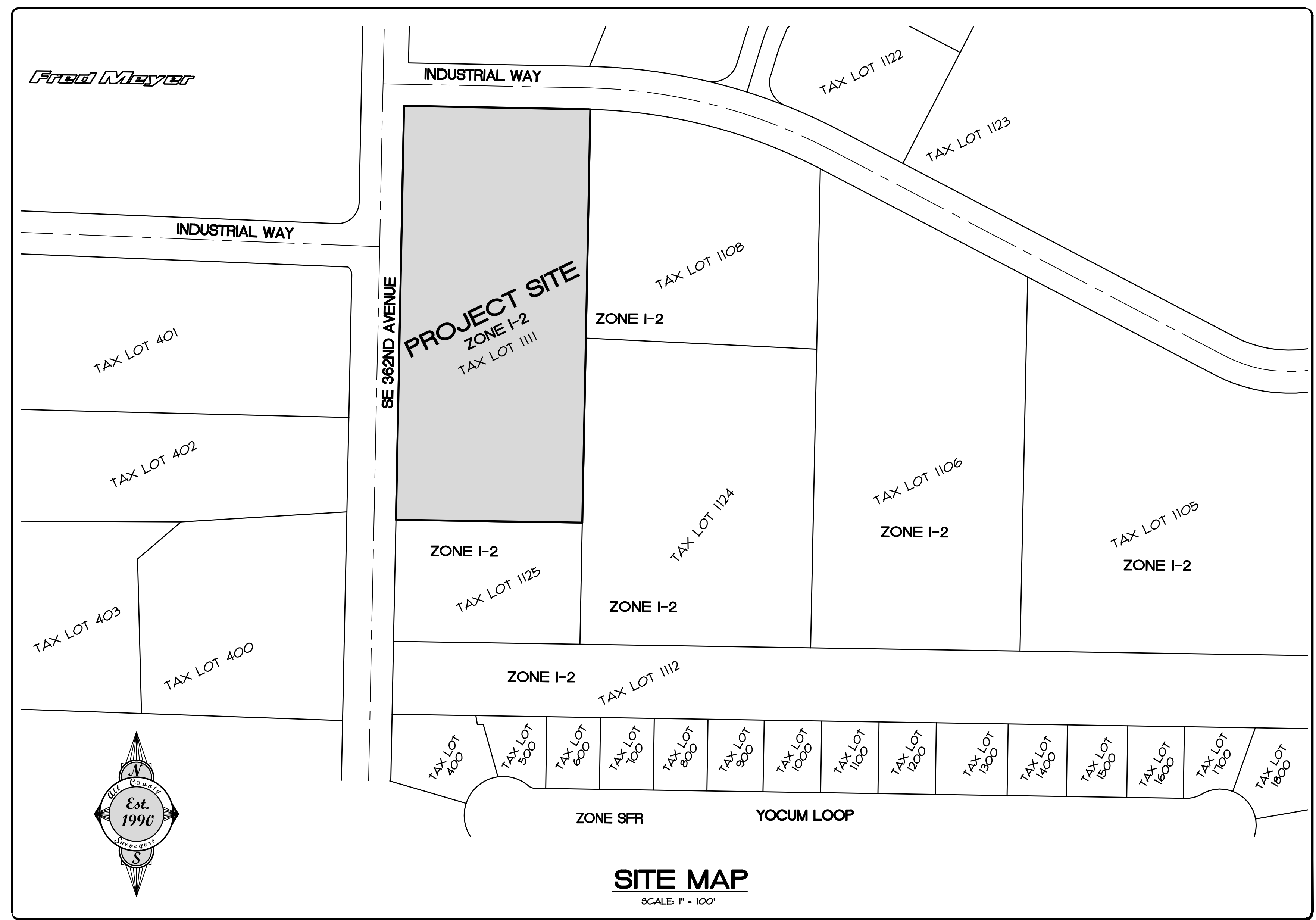


## JOHNSON RV RV STAGING, BUILDING AND UTILITY PLANNING

JULY, 2022

### LEGEND

	EXISTING CONCRETE
	EXISTING PAVEMENT
	EXISTING CURB
	EXISTING FENCE
	EXISTING WATER LINE
	EXISTING STORM LINE
	EXISTING SANITARY LINE
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING POWER LINE
	EXISTING GROUND CONTOUR
	PROPERTY LINE
	EXISTING STORM MANHOLE
	EXISTING CATCH BASIN
	EXISTING SANITARY MANHOLE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING SIGN
	EXISTING POWER/PHONE RISER
	EXISTING GAS VALVE
	EXISTING MAILBOX
	SURVEY CONTROL POINT
	EXISTING DECIDUOUS TREE
	EXISTING EVERGREEN TREE
	EXISTING LIGHT
	PROPOSED STORM LINE
	PROPOSED CATCH BASIN
	PROPOSED SEDIMENT FENCE
	PROPOSED CURB
	PROPOSED GROUND CONTOUR
	PROPOSED AC PAVING
	PROPOSED WATER LINE
	PROPOSED SANITARY LINE
	PROPOSED POWER LINE
	PROPOSED LIGHT POLE



### UTILITY CONTACTS

POTENTIAL UNDERGROUND FACILITY OWNERS  
"ONE CALL" UTILITIES NOTIFICATION CENTER 800-332-2344

PG&E, ELECTRICITY, CARL WATERS	503-669-5271
NW NATURAL GAS, GAS, SCOTT PALMER	503-726-4211
QUEST, TELEPHONE, RICK JANSEN	503-242-6064
PARAGON CABLE TV	503-661-9390
CITY OF SANDY	503-668-5533
FIRE DISTRICT	503-663-4638

### SHEET INDEX

1. COVER SHEET AND NOTES
2. EXISTING CONDITIONS PLAN
3. SITE PLAN
4. UTILITY PLAN
5. GRADING/EROSION CONTROL PLAN

### LANDSCAPE AREA TABLE

TOTAL SITE AREA = 150,091 SF (3.45 AC)
15% LANDSCAPING = 22,514 SF
LANDSCAPING PROPOSED = 23,585 SF (15.71%)

### PARKING TABLE

EXISTING PARKING SPACES	11 - STANDARD SPACES	2 - ADA SPACES
PROPOSED PARKING UNDER THIS APPLICATION	19 - STANDARD SPACES	
<b>TOTAL PARKING PROPOSED FOR THE SITE = 32 SPACES</b>		

#### SITE INFORMATION:

**BUILDING SITE:**  
OWNER: JOHNSON RV  
ADDRESS: 16800 362ND DRIVE, SANDY OR  
TAX LOT 1111, MAP 23-4E-14  
AREA: 150,091 SF (3.45 AC)  
ZONING: I-2 (LIGHT INDUSTRIAL)

#### PROJECT TEAM:

**CLIENT**  
JOHNSON RV  
ATTN: ROBERT MURRAY  
16800 SE 362ND AVE.,  
SANDY, OR 97055  
503-102-6580

**ENGINEER/SURVEYOR**  
ALL COUNTY SURVEYORS & PLANNERS, INC.  
ATTN: RAY MOORE, PE, PLS  
PO BOX 955  
SANDY, OR 97055  
PHONE: (503) 668-3151

**PLANNER**  
TRACY BROWN PLANNING CONSULTANTS, LLC  
ATTN: TRACY BROWN  
17015 FIR DRIVE  
SANDY, OR 97055  
PHONE: (503) 781-0453

**ARCHITECT**  
KEYSTONE ARCHITECTURE  
ATTN: BLAINE SKOUHEDDE  
12020 SE IDLEMAN RD.  
PORTLAND, OR 97266-6854  
PHONE: (503) 761-1362

**TRAFFIC ENGINEER**  
ARD ENGINEERING  
ATTN: MICHAEL ARD, PE  
PORTLAND, OR 97204  
EMAIL: mike.ard@gmail.com

**LANDSCAPE ARCHITECT**  
MEARS DESIGN GROUP, LLC  
ATTN: TROY MEARS  
PO BOX 23338  
PORTLAND, OR 97281  
PHONE: (503) 601-4516

BY: _____	REVISION: _____	SHEET: <b>1</b>
DATE: _____	NO. _____	OF <b>6</b>
DESIGNED: LKF	DRAWN: LKF	CHECKED: DLH
APPROVED: _____	DATE: 12/31/2022	REVISION: _____

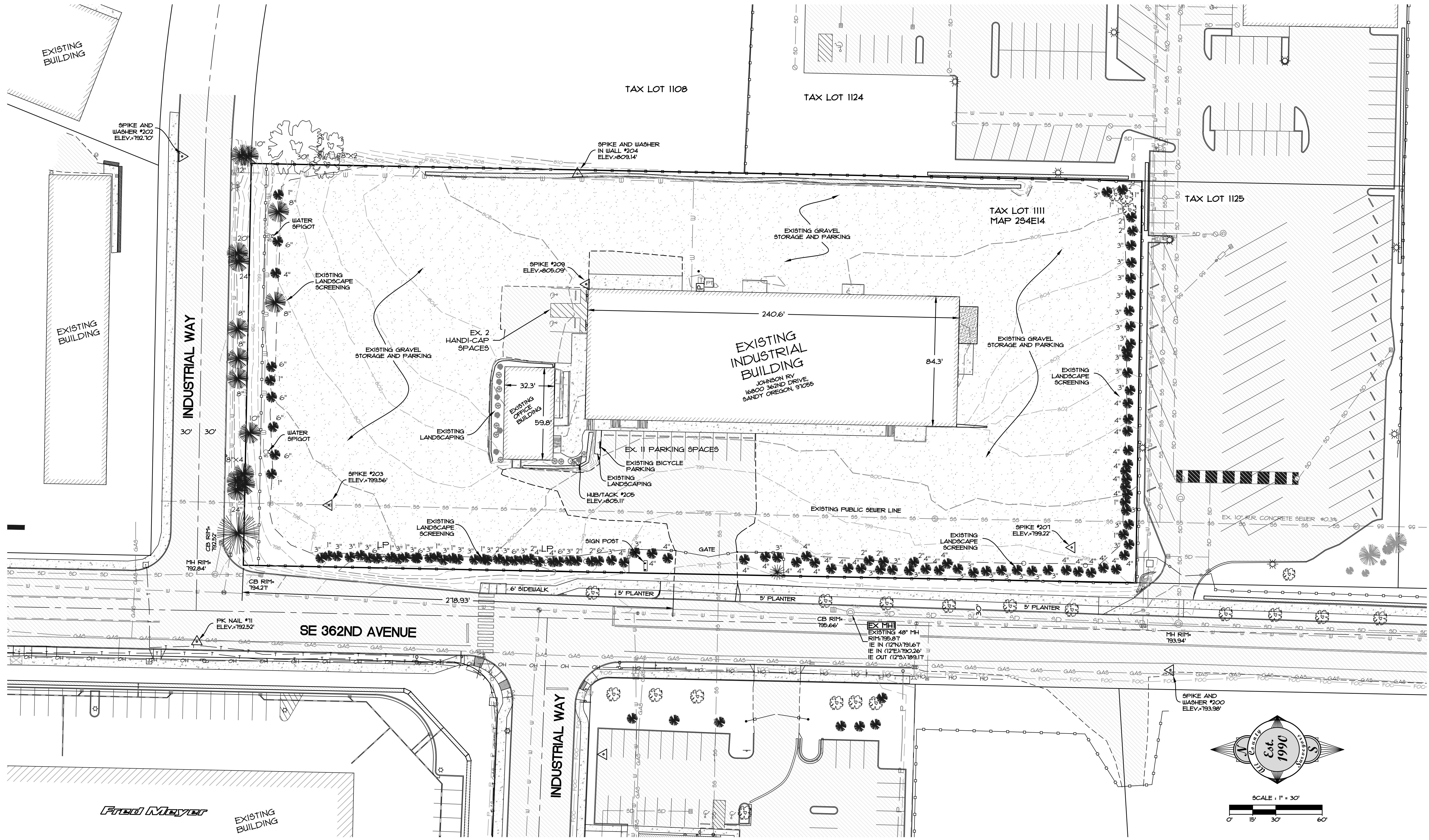
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	SECTION: 14	2S: _____
		4E: _____

**JOHNSON RV**  
 RV STAGING, BUILDING AND UTILITY PLANS  
 COVER SHEET AND NOTES  
 SE INDUSTRIAL WAY AND SE 362ND, SANDY, OR 97055

**Surveyors & Planners, Inc.**  
 Surveying, Planning and  
 Civil Engineering  
 P.O. Box 955 Sandy, OR 97055  
 Phone: (503) 668-3151  
 Fax: (503) 668-4730

**JOHNSON RV**  
 ROBERT MURRAY  
 16800 SE 362ND AVE.,  
 SANDY, OR 97055  
 503-102-6580





**EXISTING CONDITIONS PLAN**

SCALE: 1" = 30'

DATE	NO.	REVISION	BY
			SHEET <b>2</b> OF <b>5</b>
DESIGNED:	LKF		
DRAWN:	LKF		
CHECKED:	DLH		
APPROVED:	RLM		
RENEWAL DATE: 12/31/2022			

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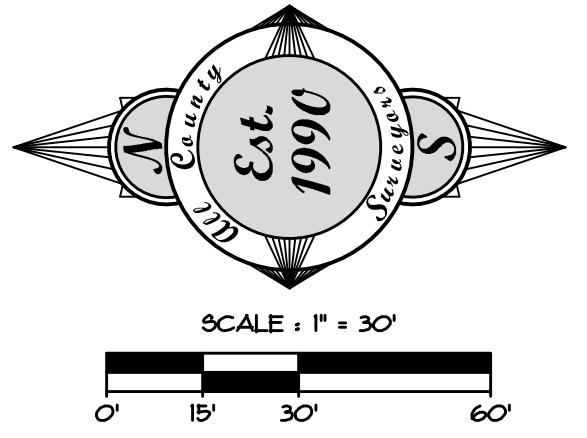
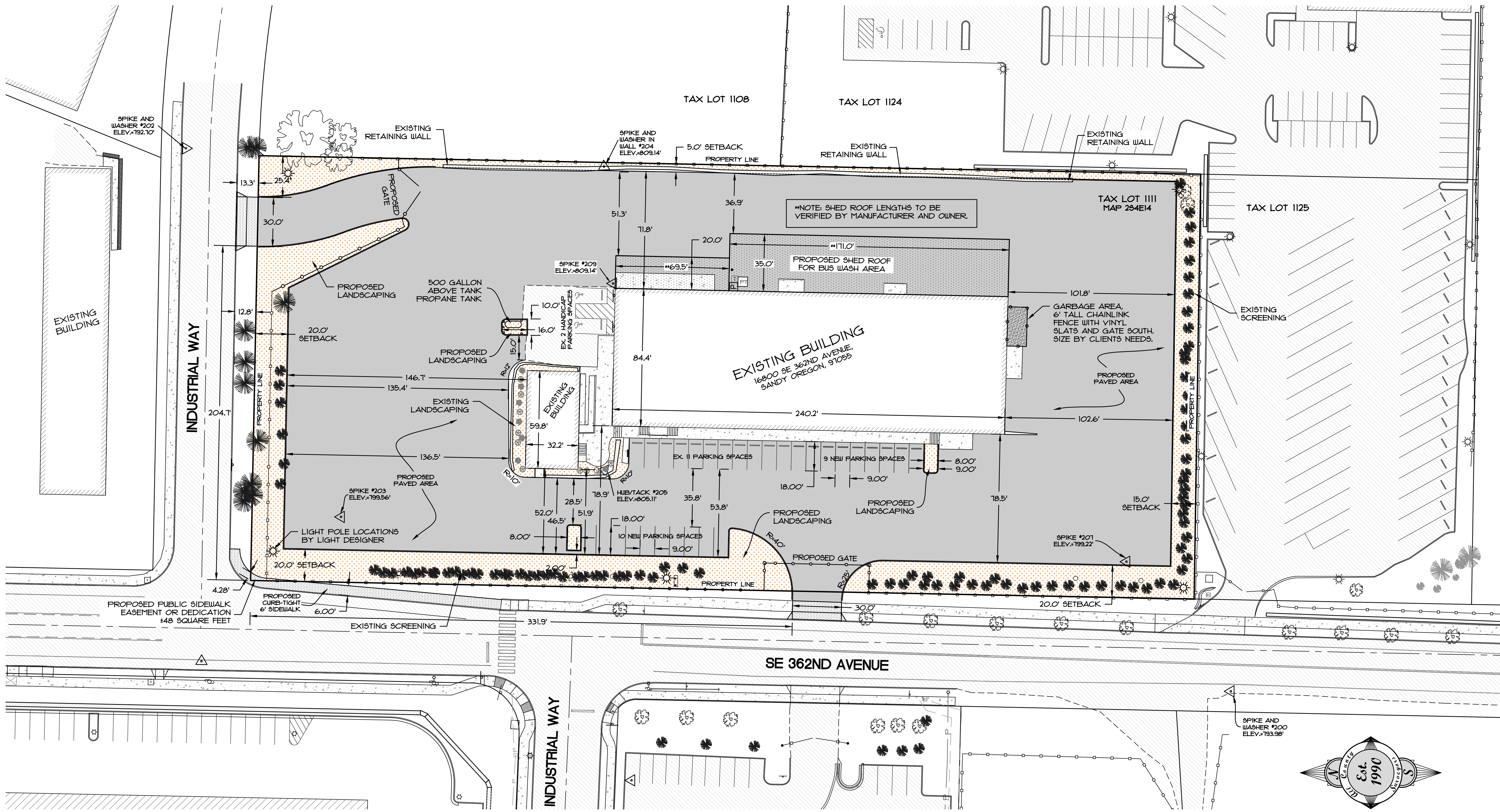
**JOHNSON RV**  
 RV STAGING, BUILDING AND UTILITY PLANS  
 EXISTING CONDITIONS PLAN  
 LOCATION: SE INDUSTRIAL WAY AND SE 362ND, SANDY, OR 97055

**Surveyors & Planners, Inc.**  
 Surveying, Planning and  
 Civil Engineering  
 P.O. Box 953 Sandy, OR 97055  
 Phone: (503) 668-4721  
 Fax: (503) 668-4720

**JOHNSON RV**  
 ROBERT MURRAY  
 16800 SE 362ND AVE.,  
 SANDY, OR 97055  
 503-102-6580

*Fred Meyer*

EXISTING BUILDING



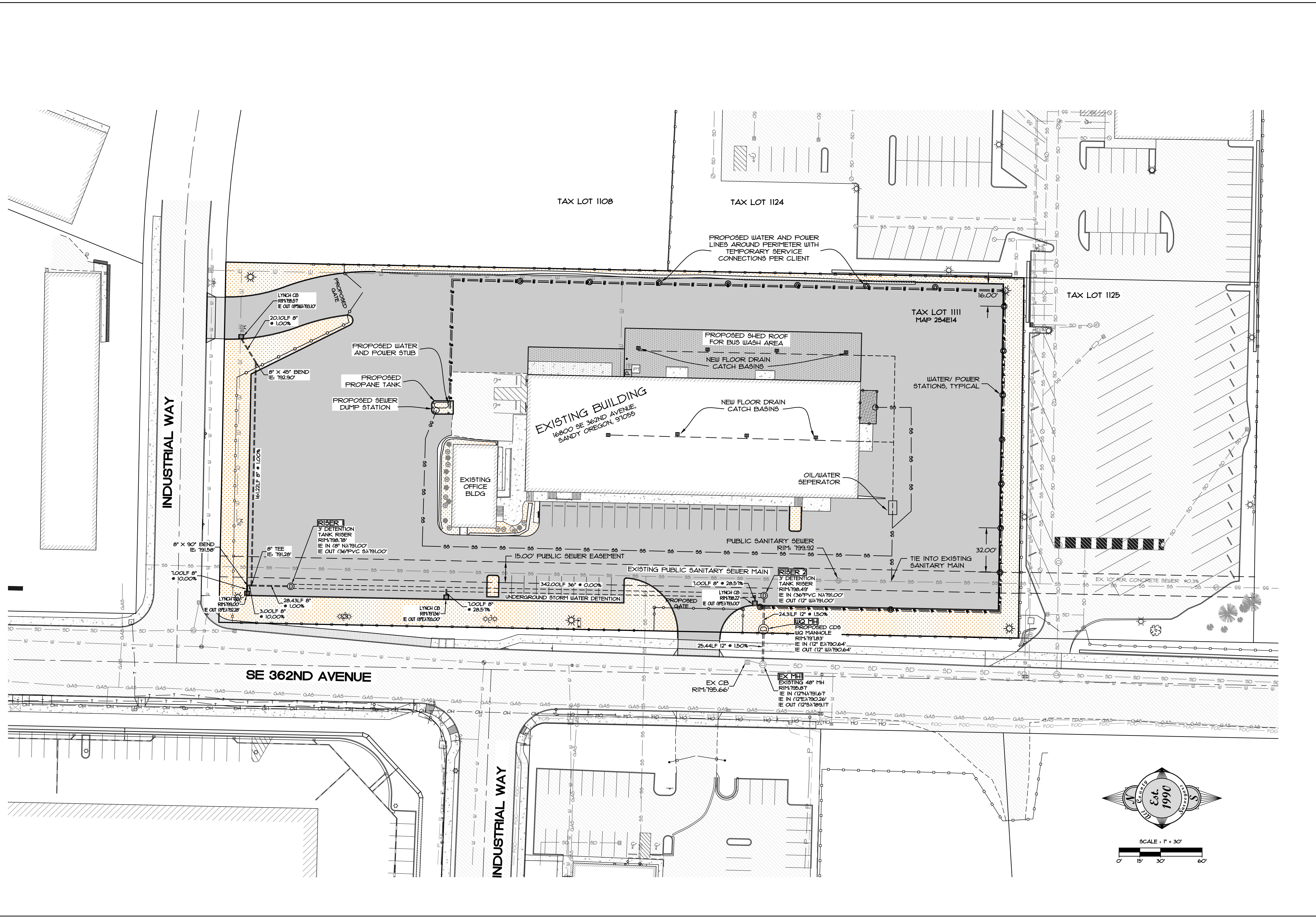
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HORIZ:	1"=30'	
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LEGAL:	RANGE:	AE
SECTION:	TWP:	2S
SECTION:	TWP:	14

**JOHNSON RV**  
 RV STAGING, BUILDING AND UTILITY PLANS  
 PROPOSED SITE PLAN  
 SE INDUSTRIAL WAY AND SE 362ND, SANDY, OR 97055

**Survivors & Planners, Inc.**  
 Surveying, Planning and  
 Civil Engineering  
 P.O. Box 955 Sandy, OR 97055  
 Phone: (503) 668-4731  
 Fax: (503) 668-4730  
 DATE OF PLOT: 08-30-22

**JOHNSON RV**  
 ROBERT MURRAY  
 16800 SE 362ND AVE.,  
 SANDY, OR 97055  
 503-102-6580



DATE	NO.	REVISION	BY
DESIGNED: LKF			SHEET <b>4</b>
DRAWN: LKF			
CHECKED: DLH			
APPROVED: RLH			OF <b>5</b>
<b>PRELIMINARY</b> REVISION DATE: 12/3			

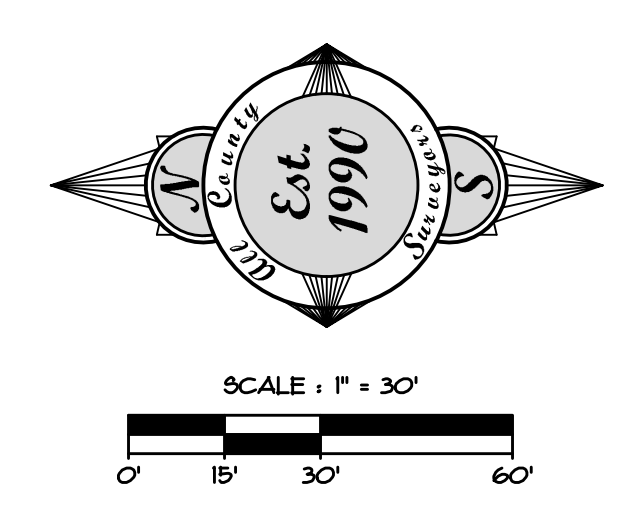
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SECTION	TWP.	RANGE
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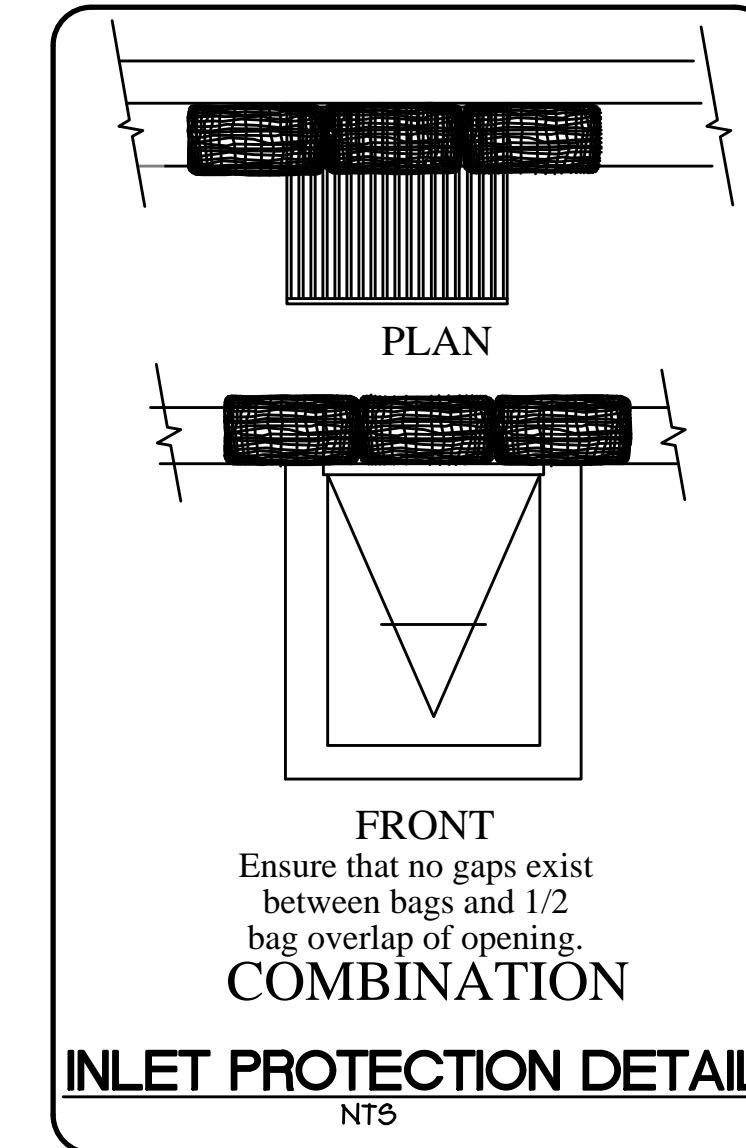
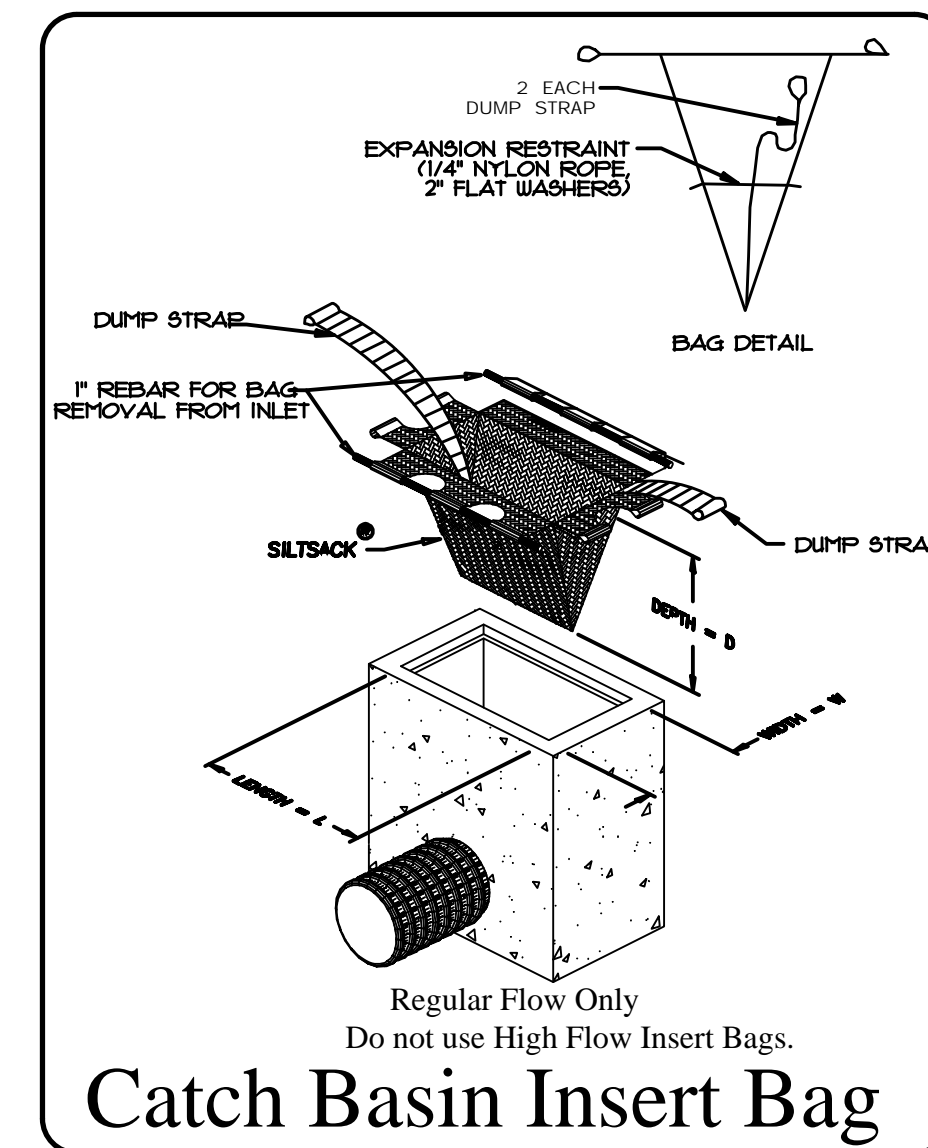
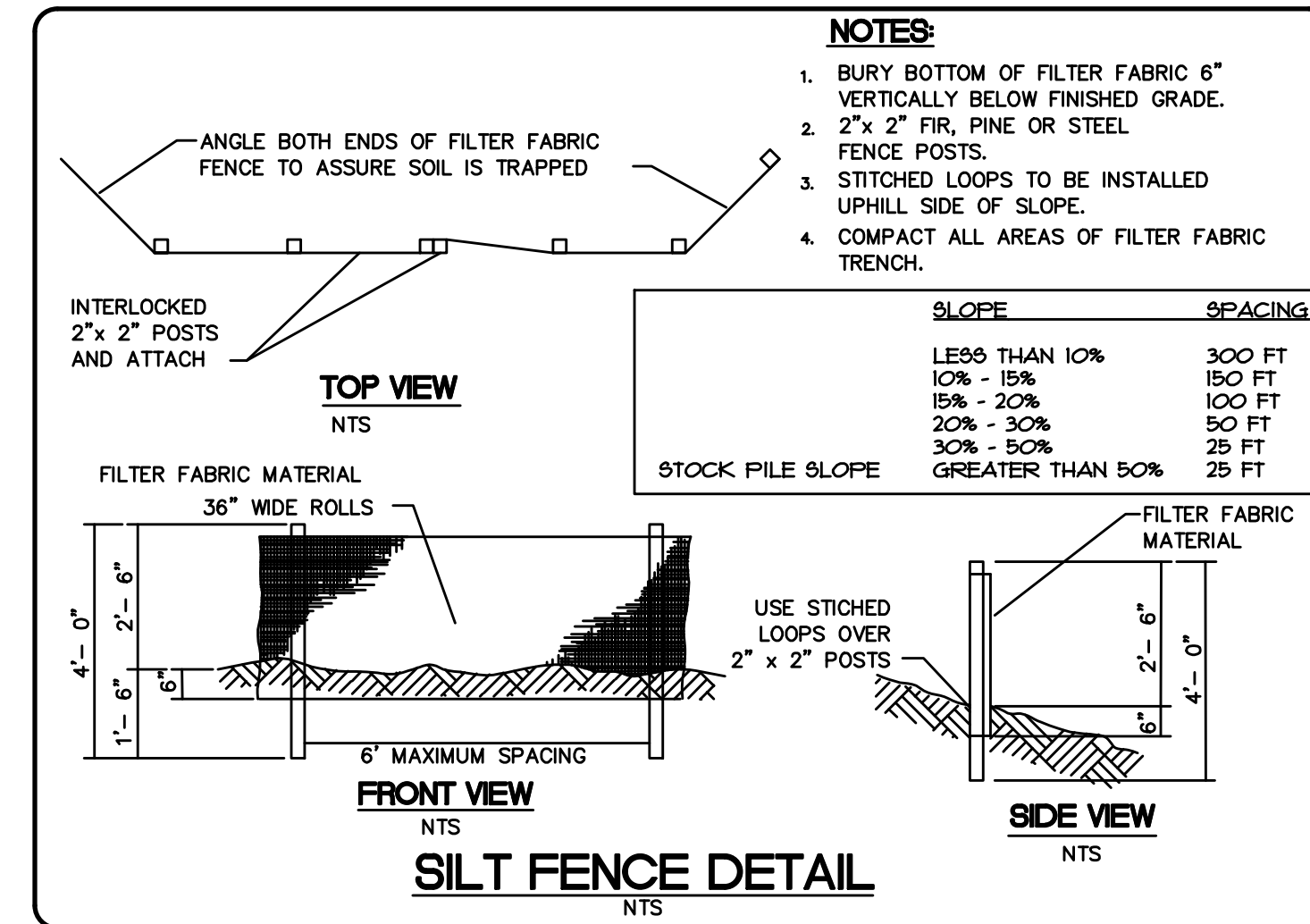
**JOHNSON RV**  
 RV STAGING, BUILDING AND UTILITY PLANS  
 UTILITY PLAN

PROJECT: SE INDUSTRIAL WAY AND SE 362ND, SANDY, OR 97055

**Surveyors & Planners, Inc.**  
 Surveying, Planning and  
 Civil Engineering  
 P.O. Box 953 Sandy, OR 97055  
 Phone: (503) 668-4731  
 Fax: (503) 668-4730

CLIENT: **JOHNSON RV**  
 ROBERT MURRAY  
 16800 SE 362ND AVE,  
 SANDY, OR 97055  
 503-102-6580





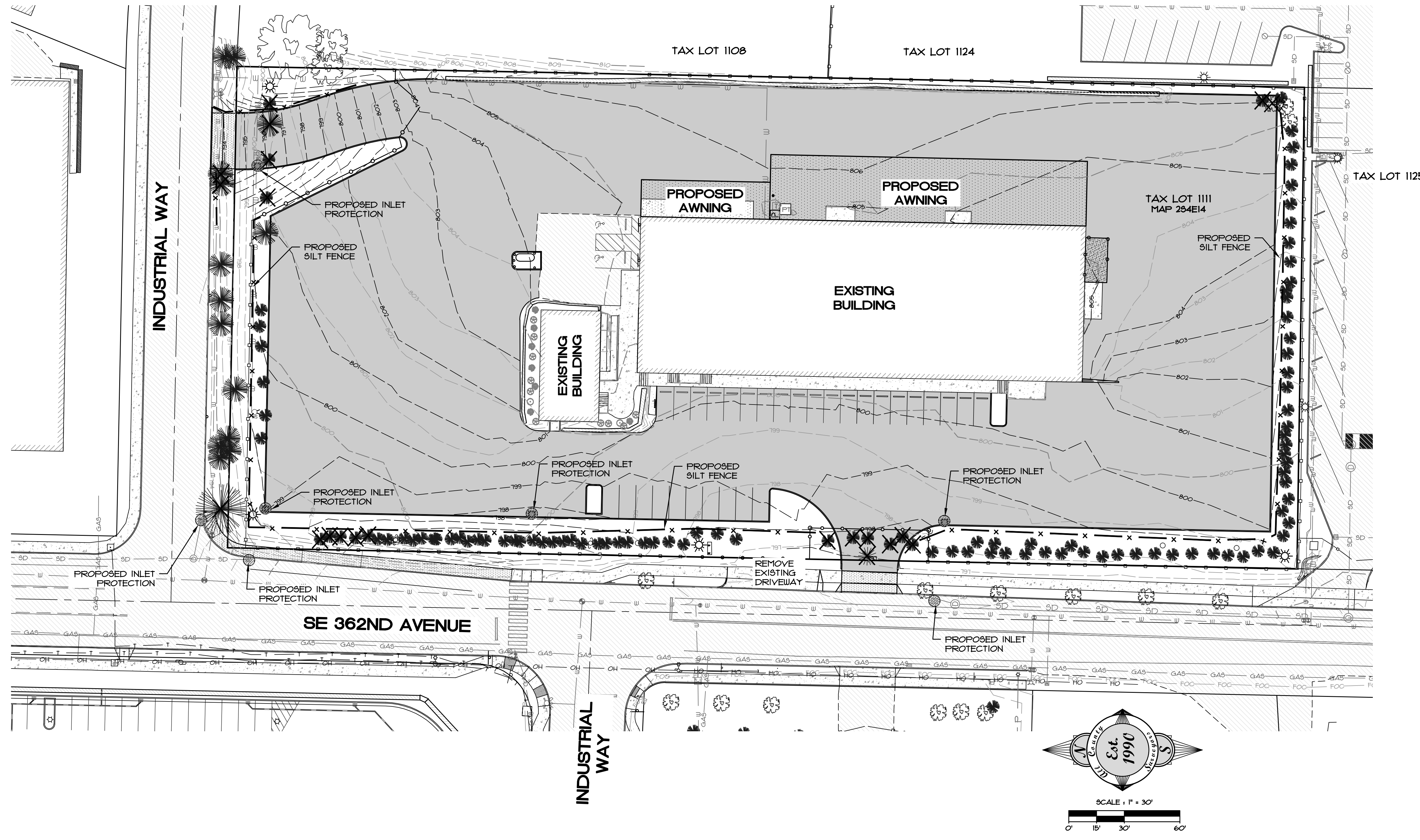
**SEDIMENT FENCE NOTES**

THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS. THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 24 INCHES.

SEDIMENT FENCES SHALL BE REMOVED WHEN THEY HAVE DERIVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

SEDIMENT FENCES SHALL BE INSPECTED BY CONTRACTOR IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SCALE	VERT: N/A	HORIZ: 1"=30'	DATE:	08-30-22	FILE:	21-378-PLANNING.dwg
SECTION	TWP:	RANGE:	SECTION	14	TWP:	2S
REVISION	NO.	DATE	DESIGNED:	LKF	CHECKED:	DJL
BY:			DRAWN:	LKF	APPROVED:	RLM
PROJECT NO. 21-378-PLANNING						SHEET
PROJECT NAME: JOHNSON RV						OF
PROJECT LOCATION: SE INDUSTRIAL WAY AND SE 362ND, SANDY, OR 97055						5
REVISION						5
PROFESSIONAL SEAL						RENEWAL DATE: 12/31/23



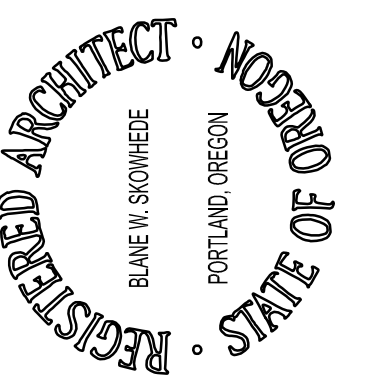
**JOHNSON RV**  
RV STAGING, BUILDING AND UTILITY PLANS  
GRADING AND EROSION CONTROL PLAN

PROJECT: JOHNSON RV  
LOCATION: SE INDUSTRIAL WAY AND SE 362ND, SANDY, OR 97055

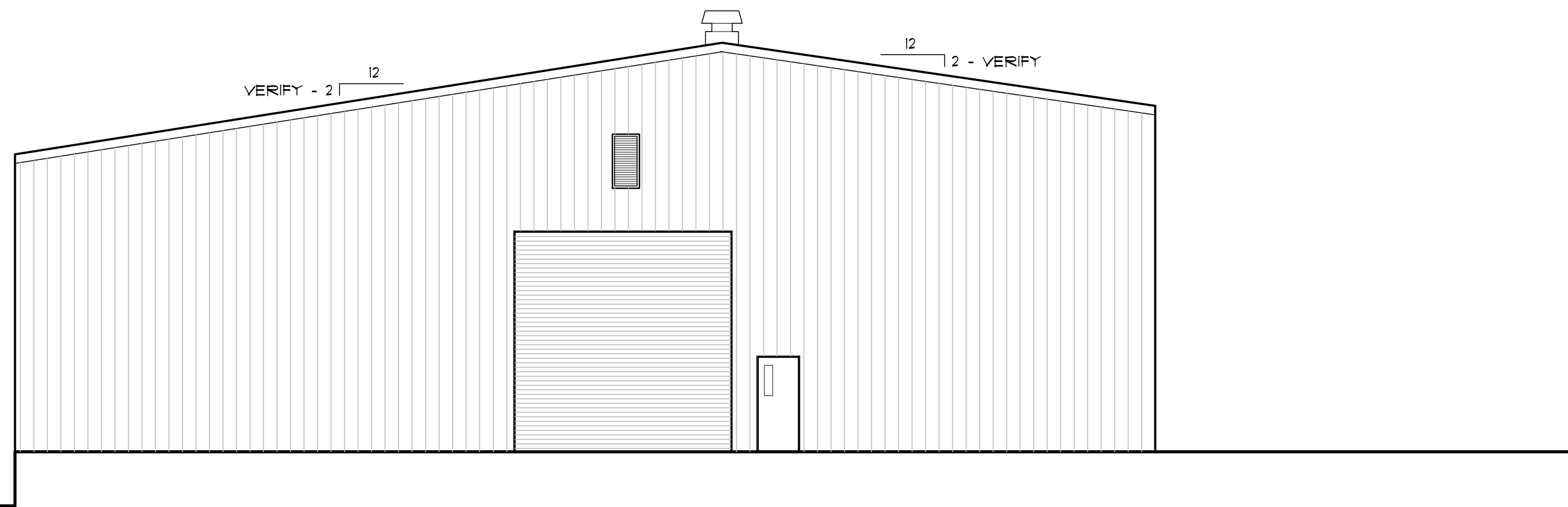
**Surveyors & Planners, Inc.**  
Surveying, Planning and  
Civil Engineering  
P.O. Box 925 Sandy, OR 97055  
Tel: (503) 668-4730  
Fax: (503) 668-4730

CLIENT: **JOHNSON RV**  
ROBERT MURRAY  
16900 SE 362ND AVE.,  
SANDY, OR 97055  
503-102-6586

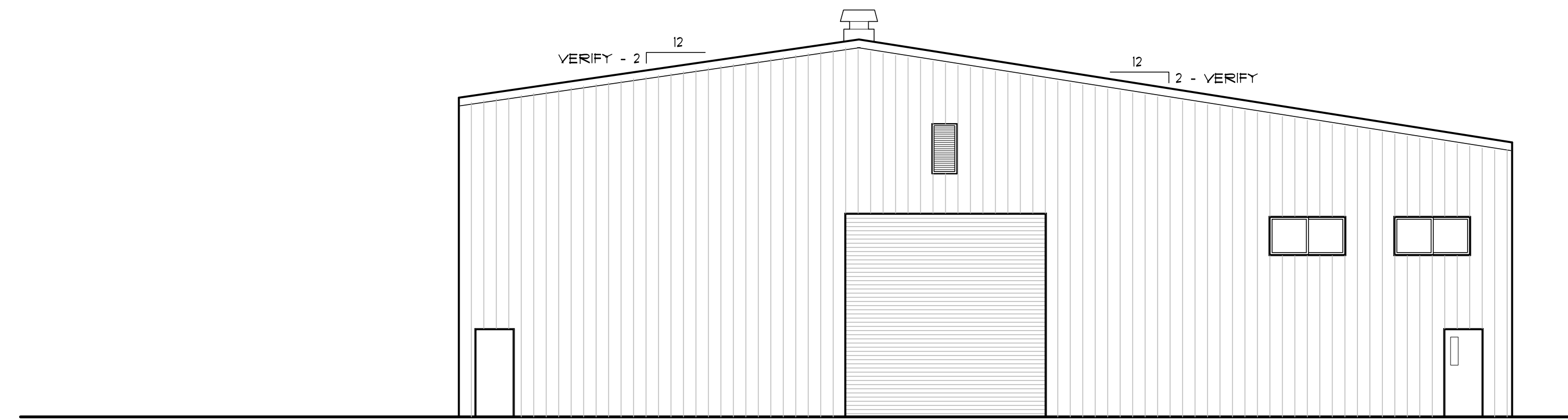
# EXHIBIT E



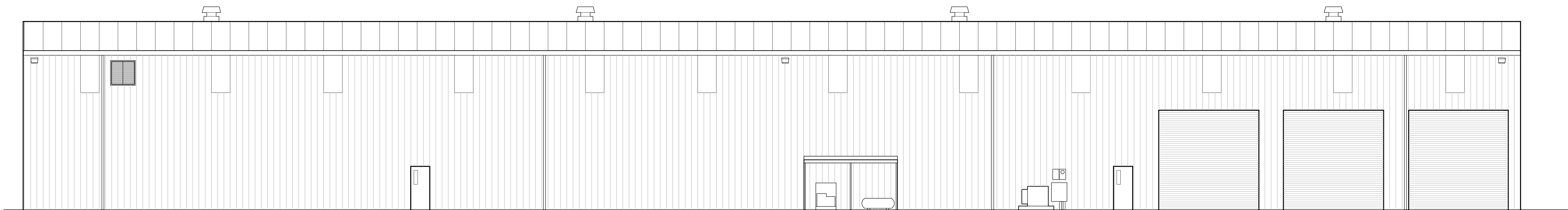
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③ EXISTING SOUTH ELEVATION  
1/8" = 1'-0"



② EXISTING NORTH ELEVATION  
1/8" = 1'-0"



① EXISTING EAST ELEVATION  
1/8" = 1'-0"

**JOHNSON RV**  
RV STAGING, BUILDING AND UTILITY PLANS  
PROPOSED BUILDING ELEVATIONS  
SE INDUSTRIAL WAY AND SE 362ND, SANDY, OR 97055

**KEYSTONE**  
ARCHITECTURE PLANNING  
AND PROJECT MANAGEMENT  
12926 SE IDLEMAN ROAD, PORTLAND, OR 97086  
PHONE: (503) 761-1367 FAX: (503) 762-0534

REVISION	DATE

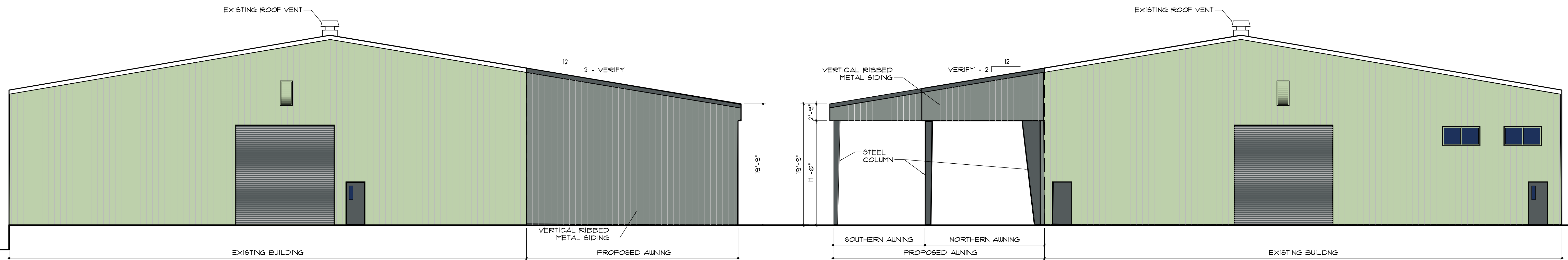
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DRAWN BY:  
SCALE: AS SHOWN  
DATE: 8/8/22  
JOB: 22-114  
FILE:

**A1.01**

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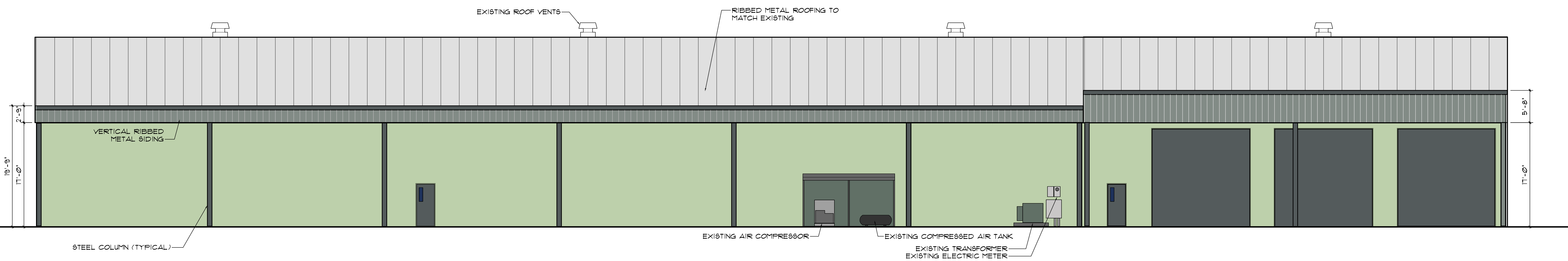
**JOHNSON RV**  
RV STAGING, BUILDING AND UTILITY PLANS  
PROPOSED BUILDING ELEVATIONS  
SE INDUSTRIAL WAY AND SE 362ND, SANDY, OR 97055

**KEYSTONE**  
ARCHITECTURE PLANNING  
AND PROJECT MANAGEMENT  
12026 SE IDLEMAN ROAD, PORTLAND, OR 97086  
PHONE: (503) 761-1367 FAX: (503) 762-0534



③ PROPOSED SOUTH ELEV. 1/8" = 1'-0"

② PROPOSED NORTH ELEV. 1/8" = 1'-0"



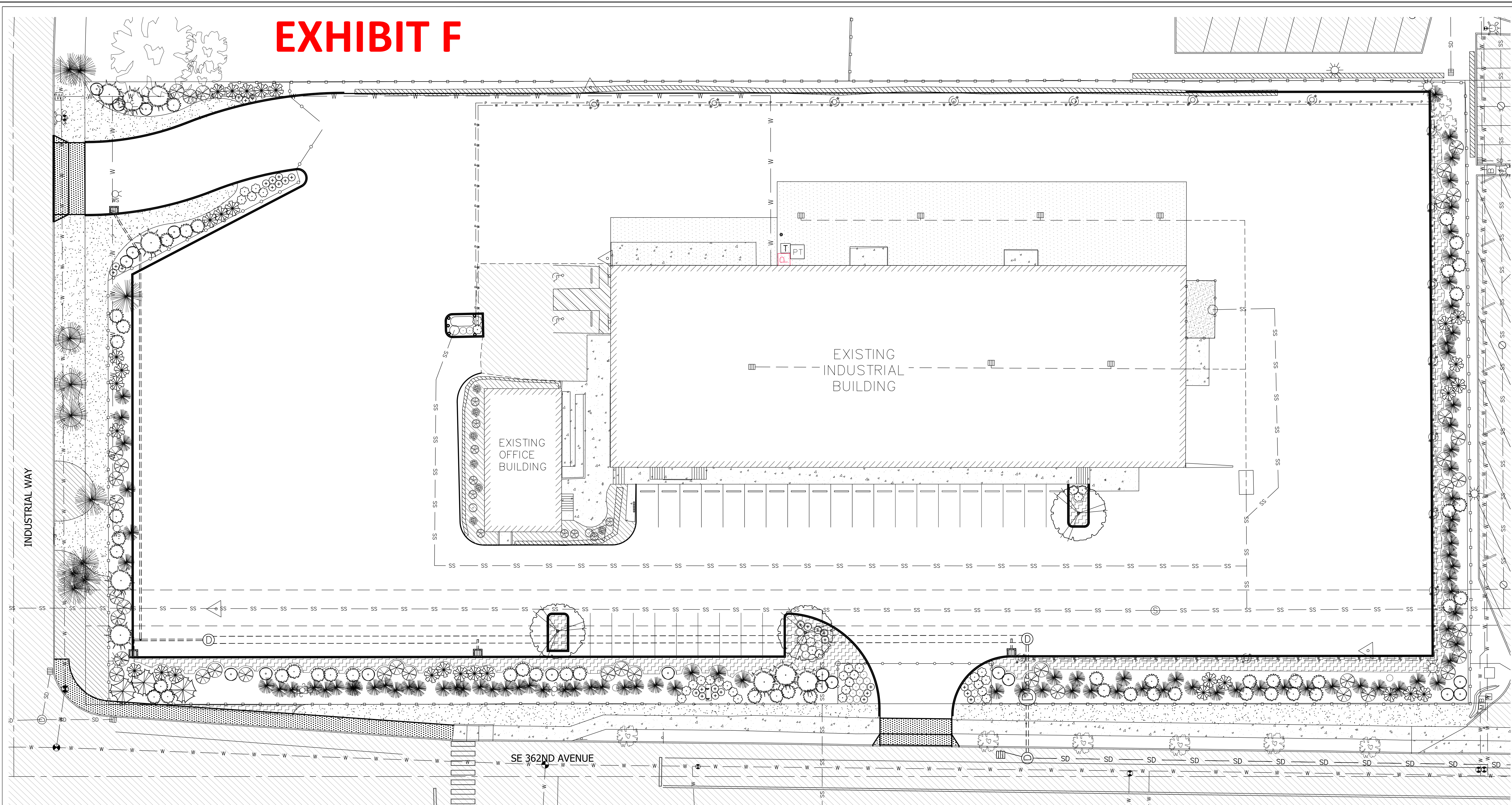
① PROPOSED EAST ELEVATION 1/8" = 1'-0"

REVISION	DATE

APPROVED: BWS  
DRAWN BY:  
SCALE: AS SHOWN  
DATE: 8/8/22  
JOB: 22-114  
FILE:

A3.01

# EXHIBIT F



SUGGESTED PLANT SCHEDULE				
TREES				
SYM	Scientific name Common Name	Minimum Species Quantity	Minimum Size	Condition Remarks
	x Cupressocyparis leylandii 'Moncal' Emerald Isle Leyland Cypress	9	5-6'	B&B
	Picea omorika 'Bruns' Bruns Serbian Spruce	3	5-6'	B&B
	Zelkova serrata 'Village Green' Village Green Zelkova	3	1.5" Cal.	B&B

SHRUB LISTING					
SYM	Scientific name Common Name	Minimum Species Quantity	Minimum Size	Condition	Remarks
	Azalea x 'Hino-Crimson' Hino-Crimson Azalea	30	2 Gal.	Can	As Shown
	Berberis thunbergii 'Rose Glow' Rose Glow Barberry	36	5 Gal.	Can	As Shown
	Cornus 'Elegantissima' Variegated Redtwig Dogwood	40	5 Gal.	Can	As Shown
	Euonymus alata 'Compacta' Compact Winged Euonymus	50	5 Gal.	Can	As Shown
	Euonymus japonica 'Aureovariegatus' Gold Spot Euonymus	31	5 Gal.	Can	As Shown
	Nandina domestica 'Gulf Stream' Gulf Stream Heavenly Bamboo	23	2 Gal.	Can	As Shown
	Rhododendron 'PJM Elite' PJM Elite Rhododendron	19	5 Gal.	Can	As Shown

GROUND COVER LISTING					
SYM	Scientific name Common Name	Minimum Species Quantity	Minimum Size	Condition	Spacing
	Rubus calycinoides 'Emerald Carpet' Creeping Raspberry	620	4"	Pot	30" o/c.
	Seed Mix as Specified (Hydroseed) Sunmark Seeds (DOT Multipurpose)	7,455 sq. ft.			

SYM LEGEND	
	Existing landscape to remain
	Existing deciduous tree to remain
	Existing conifer tree to remain

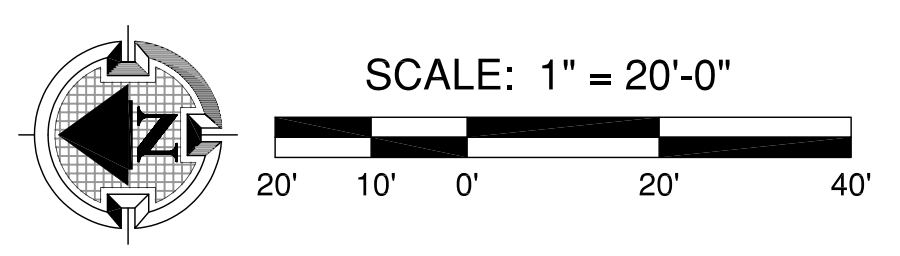
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REV.	DATE	DESCRIPTION

SHEET NAME:  
**PLANTING PLAN**

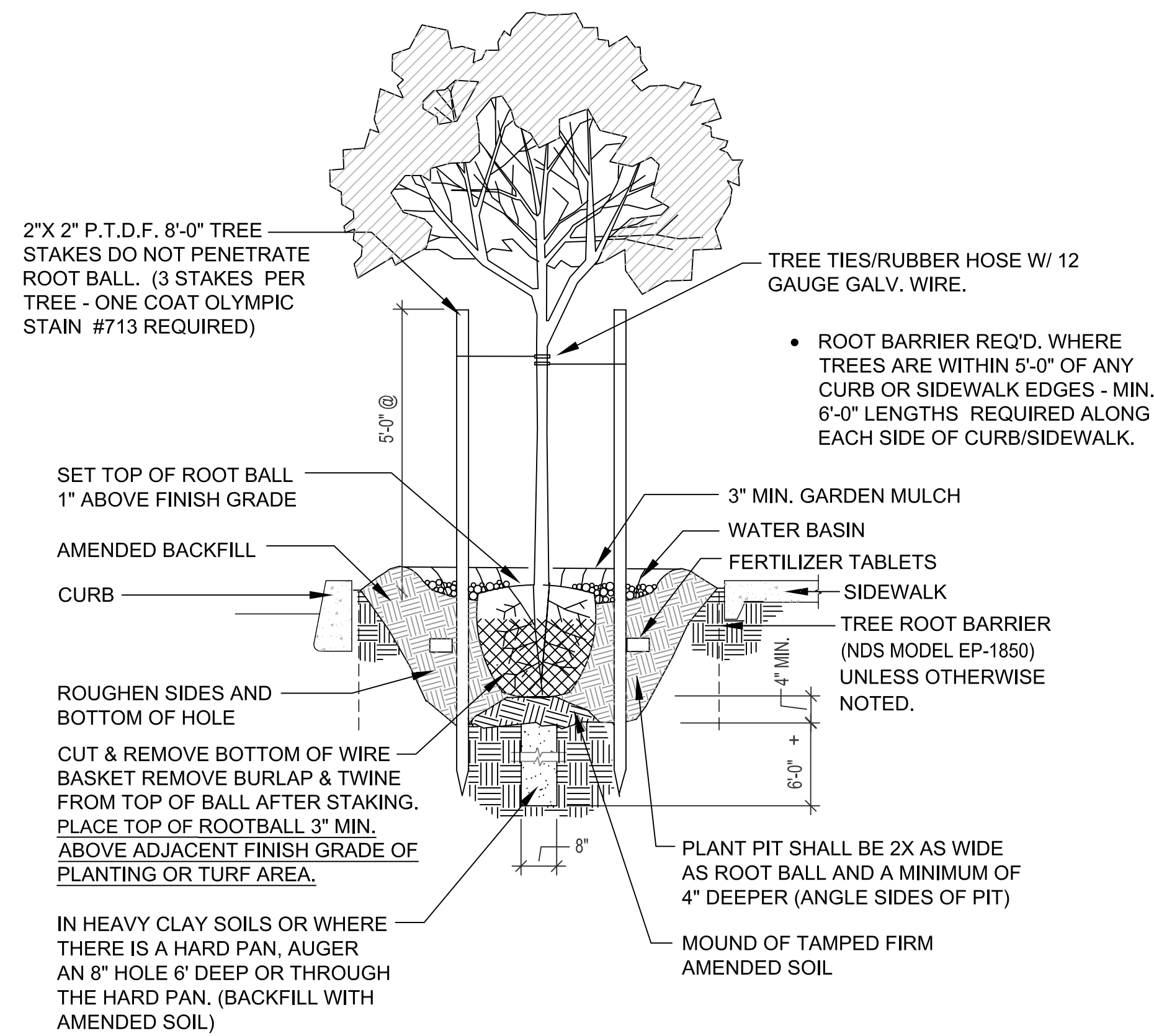
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CHECKED BY: \_\_\_\_\_ TM  
ISSUE DATE: 8/26/2022  
JOB NO.: 2222

SHEET:  
**L101**  
OF 2

REFER TO SHEET L102 FOR PLANTING DETAILS & NOTES

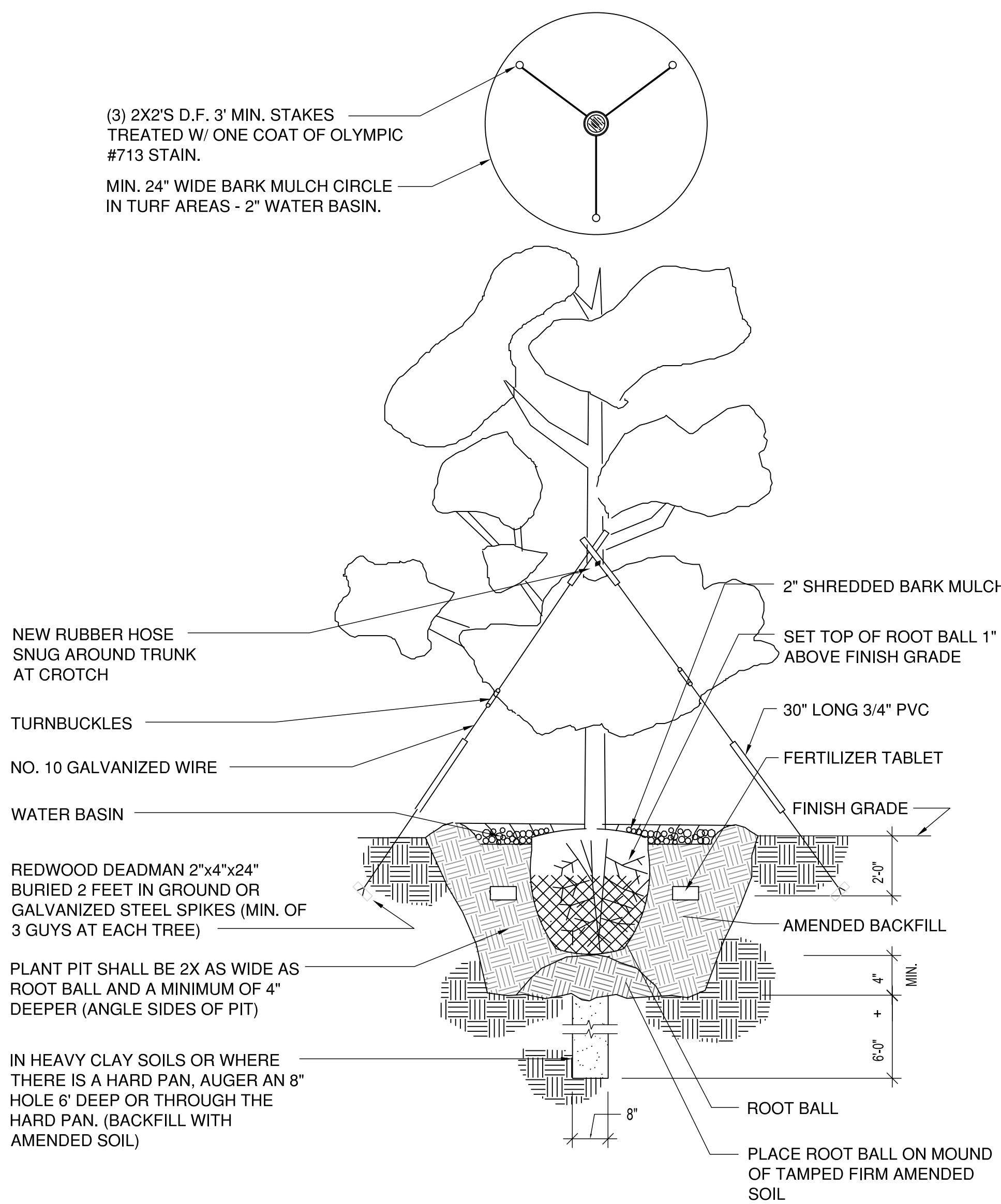






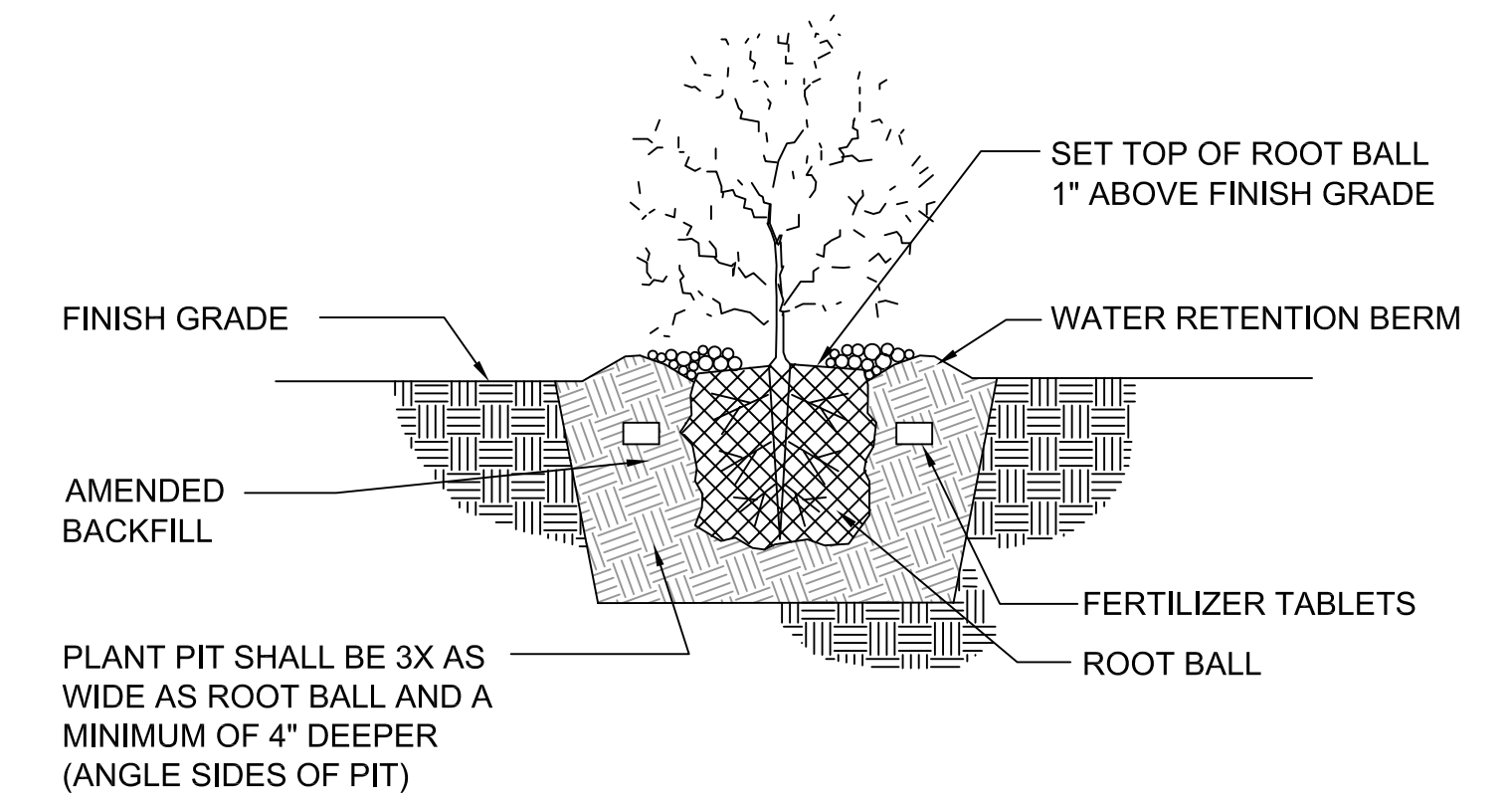
**TREE PLANTING DETAIL**

N.T.S.



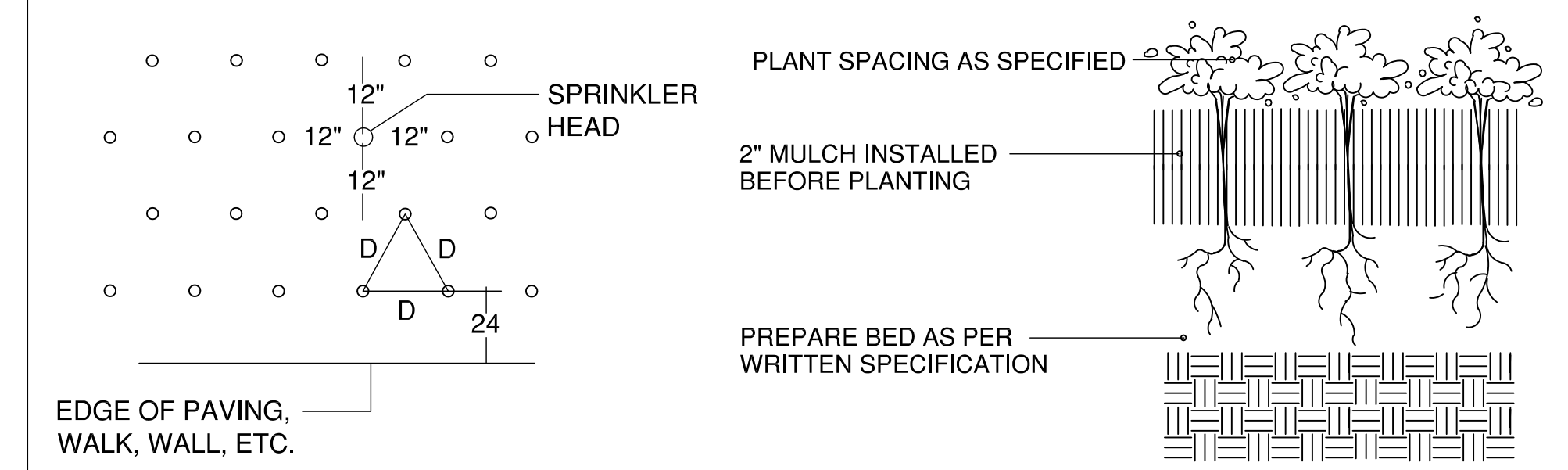
**EVERGREEN TREE PLANTING DETAIL**

N.T.S.



**SHRUB PLANTING DETAIL**

N.T.S.



**HERBACEOUS/GROUNDCOVER PLANTING DETAIL**

N.T.S.

**GENERAL PLANTING NOTES:**

- B&B stock may be substituted with container stock of equal grade.
- Container stock may be substituted with B&B stock of equal grade.
- Plant material shall conform with American Standard for Nursery Stock, ANSI Z60.1, 2014 edition.
- All trees shall be branched.
- Stormwater Facility shall have a minimum of 18 inches amended soil as defined by the City of Portland Stormwater Management Manual. Re-use of existing topsoil is recommended, but must meet specifications.
- Landscape Contractor to provide soil analysis of existing soil and/or imported soil prior to placement. Recommended amendments to be reviewed and approved by Landscape Architect.
- Garden mulch all planting beds with 2" min. Layer of specified garden mulch.
- In the event of a discrepancy between this material listing and the drawings, the drawings shall govern the plant species and quantities required.
- In the event of question or lack of clarity on drawings, Landscape Contractor is to call Landscape Architect before proceeding.
- Landscape contractor is to notify Landscape Architect prior to installation of plant material to approve final placement.
- Landscape Contractor to verify plant material quantities.
- Contractor will provide a one year warranty on all provided & installed plant material from date of final approval by owner's representative.
- All plantings shall be watered with a automatic irrigation system or manual irrigation system (hand watering). Irrigation shall be provided for the first two years minimum after planting.
- If automatic irrigation is not provided, all trees are to have a treegrator for supplemental watering until established.

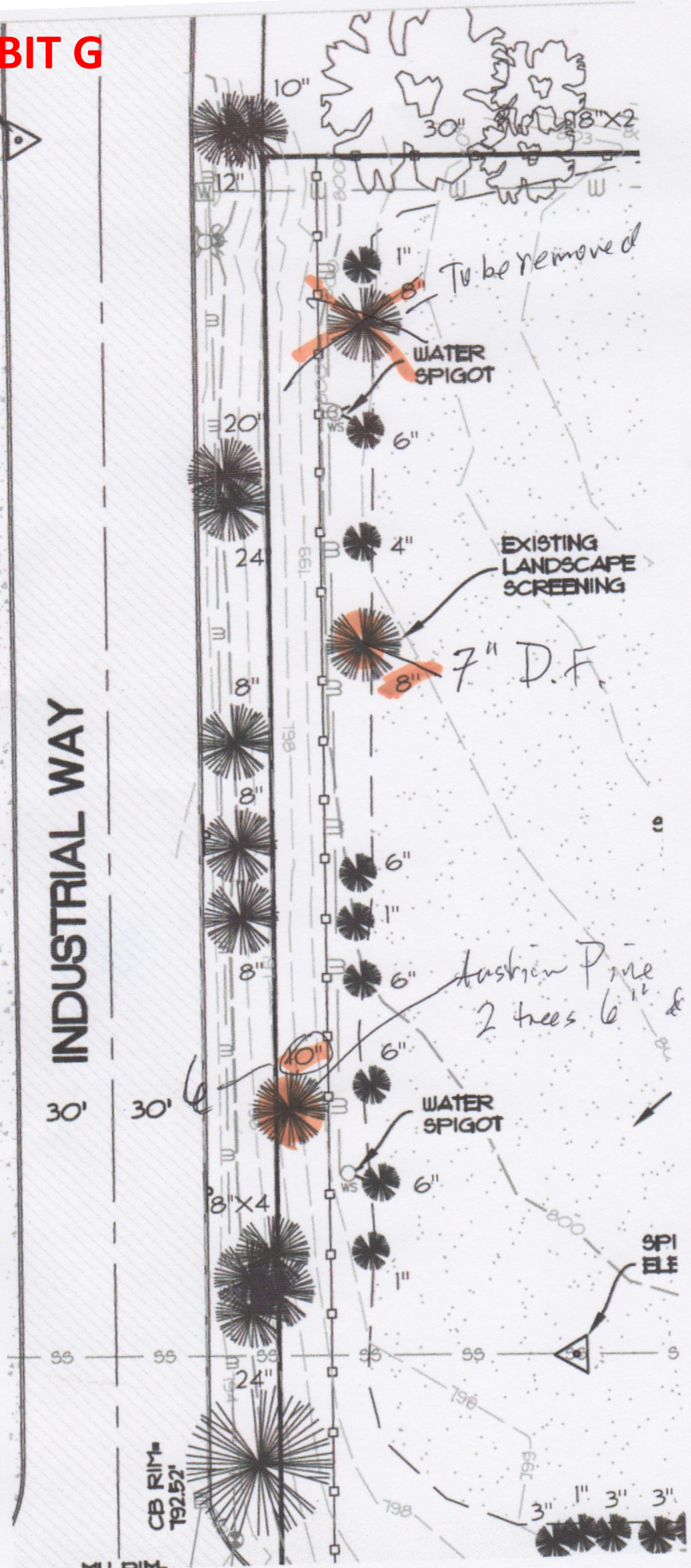
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REV.	DATE	DESCRIPTION

SHEET NAME:  
**PLANTING  
DETAILS & NOTES**

DRAWN BY: \_\_\_\_\_ TM  
CHECKED BY: \_\_\_\_\_ TM  
ISSUE DATE: 8/26/2022  
JOB NO.: 2222

SHEET:  
**L102**  
OF 2

**EXHIBIT G**



---

**Letter of Incompleteness (Johnson RV Canopy Cover) File No. 22-037 DR**

---

**Tracy Brown** <tbrownplan@gmail.com>

Wed, Sep 14, 2022 at 2:22 PM

To: Sandy Planning &lt;planning@cityofsandy.com&gt;, Robert Murray &lt;rmurray@johnsonrv.com&gt;, Lance Forney &lt;lance@allcountysurveyors.com&gt;, Ray Moore &lt;raym@allcountysurveyors.com&gt;

Hi Emily, I wanted to let you know Mike Ard is working on the TIS and Robert will be getting confirmation of his ability to submit the application. Both of these items will be completed soon. Regarding the requested Arborist Report for trees 8-inches DBH and greater: I just conducted a site visit to review the three onsite trees identified as 8-inches or greater. There are only two trees inside the fence and one on the outside of this size.

The most easterly tree (identified as Tree #1 on the attached plan and photo, is close to 8-inches but this tree will need to be removed to construct the new entrance driveway.

Tree #2 (Douglas fir) to the west of Tree #1 is located inside the fence and is listed as 8-inches. Based on my measurement, this tree is only 7-inches at most and will be retained in a landscape planter.

Tree #3 listed as 10-inches on the plan is located outside the fence. This tree is really two trees, a 6-inch and a 4-inch Austrian Pine and will also be retained.

My conclusion after this site visit, is there are at most two trees 8-inches and greater on the site and one of these will be removed. Also, there would seem to be little value requiring the expense of an Arborist Report given these circumstances.

Please let us know if you agree or how you would like us to proceed.

Thank, Tracy

**Tracy Brown Planning Consultants, LLC**

Sandy, Oregon

503-781-0453

[tbrownplan@gmail.com](mailto:tbrownplan@gmail.com)[www.tracybrownplanningconsultants.com](http://www.tracybrownplanningconsultants.com)

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**4 attachments****photo 1.jpeg**  
478K



**photo 2.jpeg**  
5740K



**photo 3.jpeg**  
5465K



**Johnson RV tree plan.pdf**  
1496K