

# CASCADE CREEK APARTMENTS

38272 OR-211 SANDY, OR 97055

## EXHIBIT D



VICINITY MAP  
SCALE: NTS

### ABBREVIATIONS

|        |  |       |                           |        |                                       |
|--------|--|-------|---------------------------|--------|---------------------------------------|
| AC     | ACRE                                       | G     | GAS                       | R      | RADIUS                                |
| APPROX | APPROXIMATELY                              | GRVL  | GRAVEL                    | RT     | RIGHT-OF-WAY                          |
| APWA   | AMERICAN PUBLIC WORKS ASSOCIATION          | GV    | GAS VALVE                 | R      | RIGHT                                 |
| ARCH   | ARCHITECTURAL                              | H     | HEIGHT                    | S      | SOUTH                                 |
| ASPH   | ASPHALT                                    | HDPE  | HIGH DENSITY POLYETHYLENE | SC     | STORM CEPTOR                          |
| ASTM   | AMERICAN SOCIETY FOR TESTING AND MATERIALS | HMA   | HOT MIX ASPHALT           | SCH    | SCHEDULE                              |
| AVE    | AVENUE                                     | HORIZ | HORIZONTAL                | SD     | STORM DRAIN                           |
| BLDG   | BUILDING                                   | ID    | INSIDE DIAMETER           | SDMH   | STORM DRAIN MANHOLE                   |
| BMP    | BEST MANAGEMENT PRACTICE                   | IE    | INVERT ELEVATION          | SDR    | STANDARD DIMENSION RATIO              |
| BG     | BOTTOM OF GRADE                            | IN    | INCH                      | SF     | SQUARE FEET                           |
| BTM    | BOTTOM OF PIPE                             | L     | LENGTH                    | SPECS  | SPECIFICATIONS                        |
| BW     | BOTTOM OF WALL                             | LAT   | LATITUDE                  | SQ YD  | SQUARE YARD                           |
| ¢      | CENTERLINE                                 | LF    | LINEAR FEET               | SS     | SANITARY SEWER                        |
| CB     | CATCH BASIN                                | LON   | LONGITUDE                 | SSCO   | SANITARY SEWER CLEANOUT               |
| CF     | CUBIC FEET                                 | LT    | LEFT                      | ST     | STREET                                |
| CI     | CAST IRON                                  | LT    | LEFT                      | STA    | STATION                               |
| CL     | CLASS                                      | LT    | LEFT                      | STD    | STANDARD                              |
| CMP    | CORRUGATED METAL PIPE                      | MAX   | MAXIMUM                   | SWPPP  | STORM WATER POLLUTION PREVENTION PLAN |
| CO     | CLEAN OUT                                  | MH    | MANHOLE                   | T      | TELEPHONE                             |
| CONC   | CONCRETE                                   | MIN   | MINIMUM                   | TC     | TOP OF CURB                           |
| COS    | CITY OF SANDY                              | MISC  | MISCELLANEOUS             | TEMP   | TEMPORARY                             |
| CPEP   | CORRUGATED POLYETHYLENE PIPE               | MON   | MONUMENT                  | TESSC  | TEMPORARY EROSION & SEDIMENT CONTROL  |
| CR     | CROWN OF PIPE                              | N     | NORTH                     | TG     | TOP OF GRADE                          |
| CSTC   | CRUSHED SURFACING TOP COURSE               | NC    | NO CURB                   | TP     | TOP OF PAVEMENT                       |
|        |  | NO.   | NUMBER                    | TW     | TOP OF WALL                           |
|        |  | NTS   | NOT TO SCALE              | TYP    | TYPICAL                               |
| DEPT   | DEPARTMENT                                 | OC    | ON CENTER                 | UG     | UNDER GROUND                          |
| DI     | DUCTILE IRON                               | OD    | OUTSIDE DIAMTER           | UIC    | UNDER GROUND INJECTION CONTROL        |
| E      | EAST                                       | OFF   | OFFSET                    | U.O.N. | UNLESS OTHERWISE NOTED                |
| EC     | EACH                                       | PC    | POINT OF CURVATURE        | UP     | UTILITY POLE                          |
| EG     | EXISTING GRADE                             | PCC   | POINT OF COMPOUND CURVE   | V      | VERTICAL                              |
| ELEV   | ELEVATION                                  | PI    | POINT OF INTERSECTION     | W      | WEST                                  |
| EP     | EDGE OF PAVEMENT                           | PL    | PROPERTY LINE             | W      | WITH                                  |
| ESC    | EROSION & SEDIMENT CONTROL                 | PP    | POWER POLE                | WV     | WATER VALVE                           |
| EXIST  | EXISTING                                   | PRC   | POINT OF REVERSE CURVE    | YD     | YARD DRAIN                            |
| FFE    | FINISH FLOOR ELEVATION                     | PROP  | PROPOSED                  |        |                                       |
| FG     | FINISHED GRADE                             | PT    | POINT OF TANGENCY         |        |                                       |
| FH     | FIRE HYDRANT                               | PVC   | POLYVINYL CHLORIDE        |        |                                       |
| FL     | FLANGED                                    | PVMT  | PAVEMENT                  |        |                                       |

### SURVEY INFORMATION

FROM HARPER HOUF PETERSON RIGHHELLIS, INC. DATED 08.22.2022

### LEGAL DESCRIPTION (BY OTHERS)

THE WEST 4 ACRES OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 2 SOUTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN, IN THE CITY OF SANDY, COUNTY OF CLACKAMAS AND STATE OF OREGON.

EXCEPT THEREFROM THAT PORTION CONVEYED TO THE STATE OF OREGON, BY AND THROUGH ITS STATE HIGHWAY COMMISSION, BY DEED RECORDED FEBRUARY 5, 1947, IN BOOK 384, PAGE 393.

### HORIZONTAL DATUM (BY OTHERS)

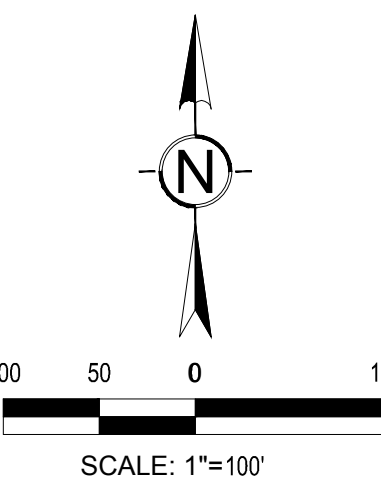
ASSUMED HORIZONTAL DATUM BASED UPON ALTA SURVEY PROVIDED BY "ALL COUNTY SURVEYOR & PLANNERS, INC"

### VERTICAL DATUM (BY OTHERS)

ELEVATION DATUM: NAVD88 PER GPS METHODS  
BENCHMARK: CONTROL POINT #1  
LOCATION: SOUTH SIDE HWY 211  
ELEVATION: 996.71



SITE LOCATION AND FUTURE STREET PLAN



SCALE: 1"=100'

COVER SHEET

### SITE INFORMATION TABLE

PROPERTY OWNER:  
ZAC BAKER  
DPS, LLC  
1911 65TH AVE W  
TACOMA, WA 98466

SITE ADDRESSES: 38272 HWY 211 & 38330 HWY 211 SANDY, OR 97055

PARCEL NUMBERS (TO BE PARTITIONED): 00677173 & 00677164

ZONING/DENSITY REQUIREMENTS:  
VC - VILLAGE COMMERCIAL, NO MIN/MAX DENSITY  
R-2 - MEDIUM DENSITY RESIDENTIAL, 8 UNITS/AC MIN & 14 UNITS/AC MAX  
R-1 - LOW DENSITY RESIDENTIAL, 5 UNITS/AC MIN & 8 UNITS/AC MAX

EXISTING PARCEL AREAS:  
677173: 3.81 AC  
677164: 5.02 AC

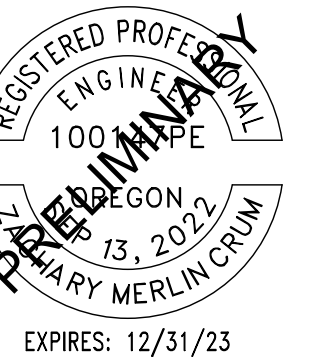
TOTAL PARCEL AREA: 8.83 AC

ROW DEDICATION AREAS FOR HWY 211, VILLAGE BLVD, CASCADIA VILLAGE DR. AND PINE STREET: 1.7 AC

PROPOSED PARCELS UNITS/DENSITY  
PARCEL 1 -  
ZONING: VC  
AREA: 1.01 AC  
UNITS: 1 SF RESIDENCE TO REMAIN  
DENSITY: 1 UNIT/AC  
PARCEL 2 -  
ZONING: VC  
AREA: 2.26 AC  
UNITS PROPOSED: 32 MF UNITS  
DENSITY: 14.2 UNITS/AC  
PARCEL 3 -  
ZONING: R-1 AND R-2  
AREA: 3.68 AC  
UNITS PROPOSED: 48 MF UNITS  
DENSITY: 13.04 UNITS/AC  
TOTAL DEVELOPMENT AREA: 6.95 AC  
TOTAL UNITS PROPOSED: 78 UNITS

### PROJECT CONTACTS:

|   |   |   |   |
|---|---|---|---|
| <b>OWNER/APPLICANT</b><br>DPS, LLC<br>1911 65TH AVE W<br>TACOMA, WA 98466<br>CONTACT: ZAC BAKER<br>PHONE: 253.460.3000<br>EMAIL: ZBAKER@SPHOME.COM                            | <b>CIVIL ENGINEER</b><br>BCRA<br>2106 PACIFIC AVENUE, SUITE 300<br>TACOMA, WA 98402<br>CONTACT: ZACHARY CRUM, PE<br>PHONE: 253.627.4367<br>EMAIL: ZCRUM@BCRADESIGN.COM                  | <b>TRAFFIC ENGINEER</b><br>HEATH & ASSOCIATES<br>PO BOX 397<br>PUYALLUP, WA 98371<br>CONTACT: AARON VAN AKEN, PE<br>PHONE: 253.770.1401<br>EMAIL: AVANAKEN@HEATHTRAFFIC.COM | <b>ARBORIST</b><br>WASHINGTON FORESTRY CONSULTANTS, INC<br>9136 YELM HWY SE<br>OLYMPIA, WA 98513<br>CONTACT: GALEN WRIGHT, ACF, ASCA<br>PHONE: 360.943.1723 |
| <b>ARCHITECTS</b><br>ROSS DECKMAN & ASSOCIATES INC.<br>207 4TH AVENUE SE<br>PUYALLUP, WA 98372<br>CONTACT: BILL BOWDISH<br>PHONE: 253.840.9405<br>EMAIL: BILL@RDARCHITECT.COM | <b>LANDSCAPE ARCHITECT</b><br>NATURE BY DESIGN<br>1320 ALAMEDA AVENUE, SUITE B<br>FIRCREST, WA 98466<br>CONTACT: KATHERINE OWENS<br>PHONE: 253.460.6067<br>EMAIL: NATUREBYDESIGNINC.COM | <b>GEOTECHNICAL ENGINEER</b><br>GILL GROUP<br>820 NW CORNELL AVENUE<br>FIRCREST, WA 98466<br>CONTACT: JACOB EPPERSON, PG<br>PHONE: 541.757.7645                             |   |



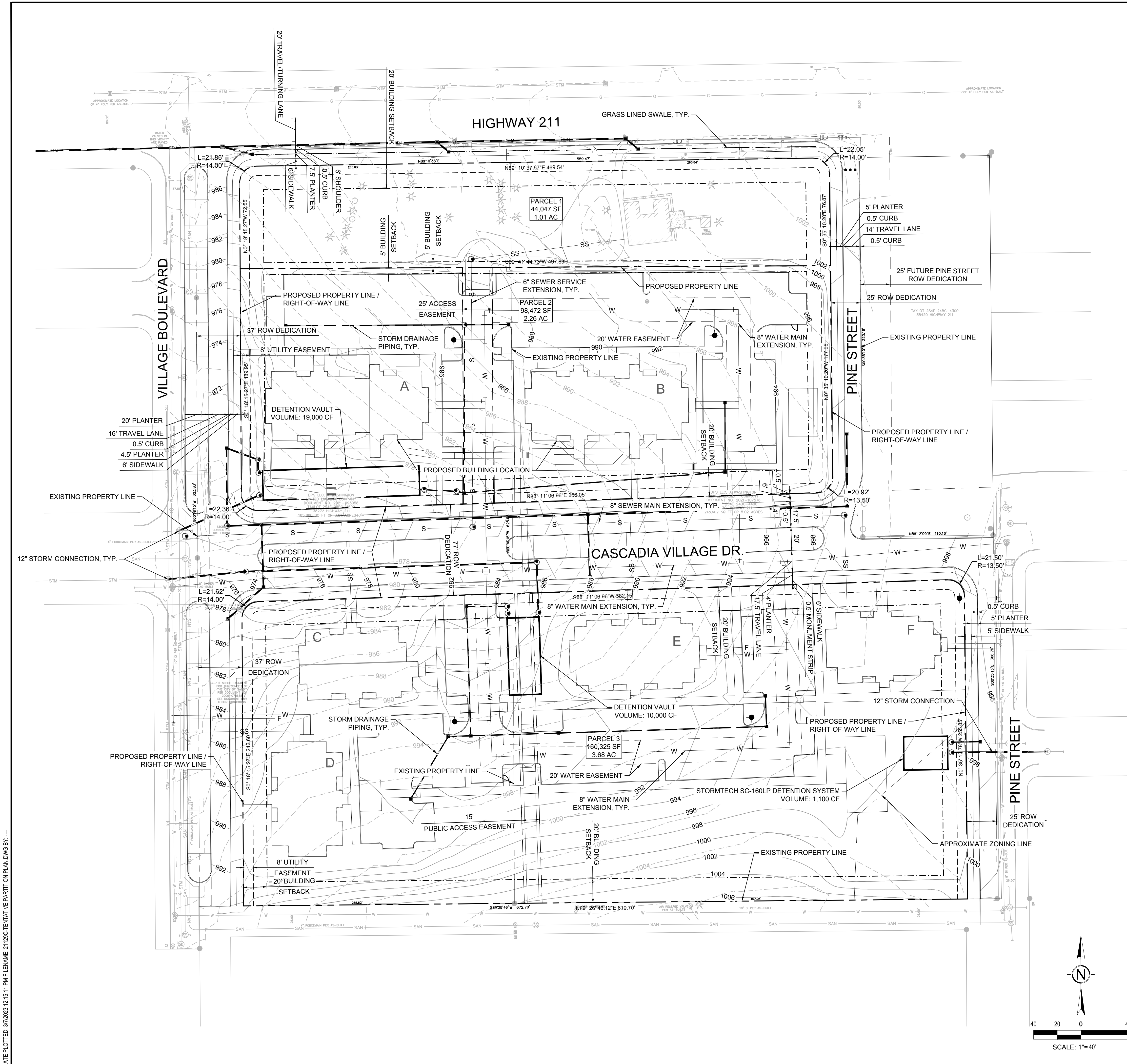
PROJECT:  
SHEET SET CREATED BY RB 09.16.2022  
CASCADE CREEK MULTI FAMILY  
38330 HWY 211  
SANDY, OR 97055

|             |             |
|-------------|-------------|
| DATE        | 01.09.2023  |
| BCRA NO.    | 21129       |
| DRAWN BY    | RJB, SM     |
| DESIGNED BY | SM          |
| REVIEWED BY | ZMC         |
| SHEET TITLE | COVER SHEET |



C-001

LAND-USE



**PROJECT CONTACTS:**

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 DPS, LLC  
 1911 65TH AVE W.  
 TACOMA, WA 98466  
 CONTACT: ZAC BAKER  
 PHONE: 253.460.3000  
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 BCRA  
 2106 PACIFIC AVENUE, SUITE 300  
 TACOMA, WA 98402  
 CONTACT: ZACHARY CRUM, PE  
 PHONE: 253.627.4367  
 EMAIL: ZCRUM@BCRADESIGN.COM

**SITE INFORMATION:**

SITE ADDRESSES: 38272 HWY 211 & 38330 HWY 211 SANDY, OR 97055  
 PARCEL NUMBERS TO BE PARTITIONED: 00677173 & 00677164  
 ZONING/DENSITY:  
 VC - VILLAGE COMMERCIAL, NO MIN/MAX DENSITY  
 R-2 - MEDIUM DENSITY RESIDENTIAL, 8 UNITS/AC MIN & 14 UNITS/AC MAX  
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EXISTING PARCEL AREA  
 00677173: 3.81 AC  
 00677164: 5.02 AC  
 TOTAL AREA: 8.83 AC

ROW DEDICATION AREA FOR HWY 211, VILLAGE BLVD, CASCADIA VILLAGE DR. AND PINE STREET: 1.7 AC

PROPOSED PARCELS UNITS/DENSITY

PARCEL 1 -  
 ZONING: VC  
 AREA: 1.01 AC  
 UNITS: 1 SF RESIDENCE TO REMAIN  
 DENSITY: 1 UNIT/AC

PARCEL 2 -  
 ZONING: VC  
 AREA: 2.26 AC  
 UNITS PROPOSED: 32 MF UNITS  
 DENSITY: 14.2 UNITS/AC

PARCEL 3 -  
 ZONING: R-1 AND R-2  
 AREA: 3.58 AC  
 UNITS PROPOSED: 46 MF UNITS  
 DENSITY: 12.5 UNITS/AC

TOTAL DEVELOPMENT AREA: 6.95 AC  
 TOTAL UNITS PROPOSED: 78 UNITS

**EXISTING PARCELS LEGAL DESCRIPTIONS:**

CLACKAMAS CO. PARCEL NO. 00677173:  
 THE WEST 4 ACRES OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 2 SOUTH, RANGE 4 EAST OF THE WILLAMETTE MERIDIAN, IN THE CITY OF SANDY, COUNTY OF CLACKAMAS AND STATE OF OREGON.

EXCEPT THEREFROM THAT PORTION CONVEYED TO THE STATE OF OREGON, BY AND THROUGH ITS STATE HIGHWAY COMMISSION, BY DEED RECORDED FEBRUARY 5, 1947, IN BOOK 384, PAGE 393.

CLACKAMAS CO. PARCEL NO. 00677164:

**PROPOSED PARCELS LEGAL DESCRIPTIONS:**

THREE TRACTS OF LAND LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 24, TOWNSHIP 2 SOUTH, RANGE 4 EAST, WILLAMETTE MERIDIAN, CITY OF SANDY, CLACKAMAS COUNTY, OREGON, AND BEING PORTIONS OF THOSE PROPERTIES DESCRIBED IN STATUTORY WARRANTY DEEDS TO DPS LLC, A WASHINGTON LIMITED LIABILITY COMPANY, RECORDED IN DEED DOCUMENTS 2021-093058 AND 2021-107576 OF CLACKAMAS COUNTY DEED RECORDS, SAID TRACTS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**PROPOSED PARCEL 1 LEGAL DESCRIPTION:**

COMMENCING AT A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "MARX ASSOC. INC." MARKING THE INITIAL POINT OF "BLUFF AT BORNSTEDT VILLAGE" A SUBDIVISION OF RECORDED IN PLAT BOOK 132, PAGE 020, CLACKAMAS COUNTY PLAT RECORDS, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF THAT PROPERTY DESCRIBED IN DOCUMENT 2021-107576 OF CLACKAMAS COUNTY DEED RECORDS;  
 THENCE ALONG THE SOUTH LINE OF SAID DOCUMENT 2021-107576 AND THE SOUTH LINE OF DOCUMENT 2021-093058, S 89°26'46" W, 672.70 FEET TO THE SOUTHWEST CORNER OF SAID DOCUMENT 2021-093058;  
 THENCE ALONG THE WEST LINE OF SAID DOCUMENT 2021-093058, N 00°18'15" W, 537.75 FEET;  
 THENCE N 89°41'45" E, 37.00 FEET TO THE POINT OF BEGINNING;  
 THENCE N 00°18'15" W, 72.55 FEET TO THE BEGINNING OF A 14.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 89°29'53";  
 THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, (THE LONG CHORD OF WHICH BEARS N 44°26'11" E, 19.71 FEET) AN ARC DISTANCE OF 21.88 FEET TO THE SOUTH RIGHT OF WAY LINE OF HIGHWAY 211;  
 THENCE ALONG SAID RIGHT OF WAY LINE, N 89°10'38" E, 469.54 FEET TO THE BEGINNING OF A 14.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 90°14'12";  
 THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, (THE LONG CHORD OF WHICH BEARS S 45°42'16" E, 19.84 FEET) AN ARC DISTANCE OF 22.05 FEET;  
 THENCE S 00°35'10" E, 76.87 FEET;  
 THENCE S 89°41'45" W, 497.89 FEET TO THE POINT OF BEGINNING.

**PROPOSED PARCEL 2 LEGAL DESCRIPTION:**

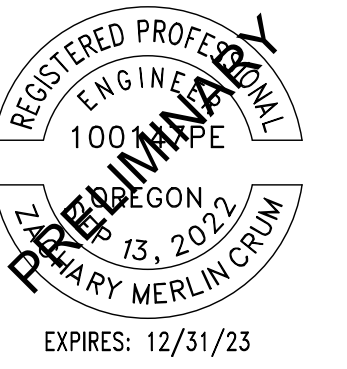
COMMENCING AT A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "MARX ASSOC. INC." MARKING THE INITIAL POINT OF "BLUFF AT BORNSTEDT VILLAGE" A SUBDIVISION OF RECORDED IN PLAT BOOK 132, PAGE 020, CLACKAMAS COUNTY PLAT RECORDS, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF THAT PROPERTY DESCRIBED IN DOCUMENT 2021-107576 OF CLACKAMAS COUNTY DEED RECORDS;  
 THENCE ALONG THE SOUTH LINE OF SAID DOCUMENT 2021-107576 AND THE SOUTH LINE OF DOCUMENT 2021-093058, S 89°26'46" W, 672.70 FEET TO THE SOUTHWEST CORNER OF SAID DOCUMENT 2021-093058;  
 THENCE ALONG THE WEST LINE OF SAID DOCUMENT 2021-093058, N 00°18'15" W, 537.75 FEET;  
 THENCE CONTINUING N 89°41'45" E, 497.89 FEET;  
 THENCE S 00°35'10" E, 177.96 FEET TO THE BEGINNING OF A 13.50 FOOT RADIUS CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 88°46'17";  
 THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, (THE LONG CHORD OF WHICH BEARS S 43°47'58" E, 18.89 FEET) AN ARC DISTANCE OF 20.92 FEET;  
 THENCE S 88°11'07" W, 471.42 FEET TO THE BEGINNING OF A 14.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 91°13'40";  
 THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, (THE LONG CHORD OF WHICH BEARS N 46°03'34" W, 20.06 FEET) AN ARC DISTANCE OF 22.36 FEET;  
 THENCE N 00°18'15" W, 189.95 FEET TO THE POINT OF BEGINNING.

CONTAINING 98,472 SQUARE FEET, MORE OR LESS.

**PROPOSED PARCEL 3 LEGAL DESCRIPTION:**

COMMENCING AT A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "MARX ASSOC. INC." MARKING THE INITIAL POINT OF "BLUFF AT BORNSTEDT VILLAGE" A SUBDIVISION OF RECORDED IN PLAT BOOK 132, PAGE 020, CLACKAMAS COUNTY PLAT RECORDS, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF THAT PROPERTY DESCRIBED IN DOCUMENT 2021-107576 OF CLACKAMAS COUNTY DEED RECORDS;  
 THENCE ALONG THE SOUTH LINE OF SAID DOCUMENT 2021-107576, S 89°26'46" W, 25.00 FEET TO THE POINT OF BEGINNING;  
 THENCE CONTINUING ALONG THE SOUTH LINE OF SAID DOCUMENT 2021-107576 AND THE SOUTH LINE OF DOCUMENT 2021-093058, S 89°26'46" W, 610.70 FEET;  
 THENCE N 00°18'15" W, 242.60 FEET TO THE BEGINNING OF A 14.00 FOOT RADIUS CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 89°29'22";  
 THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, (THE LONG CHORD OF WHICH BEARS N 43°56'26" E, 19.54 FEET) AN ARC DISTANCE OF 21.62 FEET;  
 THENCE N 88°11'07" W, 582.15 FEET TO THE BEGINNING OF A 13.50 FOOT RADIUS CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 91°13'40";  
 THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, (THE LONG CHORD OF WHICH BEARS S 46°12'03" E, 19.30 FEET) AN ARC DISTANCE OF 21.50 FEET;  
 THENCE S 00°35'13" E, 225.85 FEET TO THE POINT OF BEGINNING.

CONTAINING 160,325 SQUARE FEET, MORE OR LESS.



PROJECT: CASCADIA CREEK MULTI FAMILY  
 SHEET SET CREATED BY RB 09.16.2022  
 38330 HWY 211  
 SANDY, OR 97055  
 REVISIONS

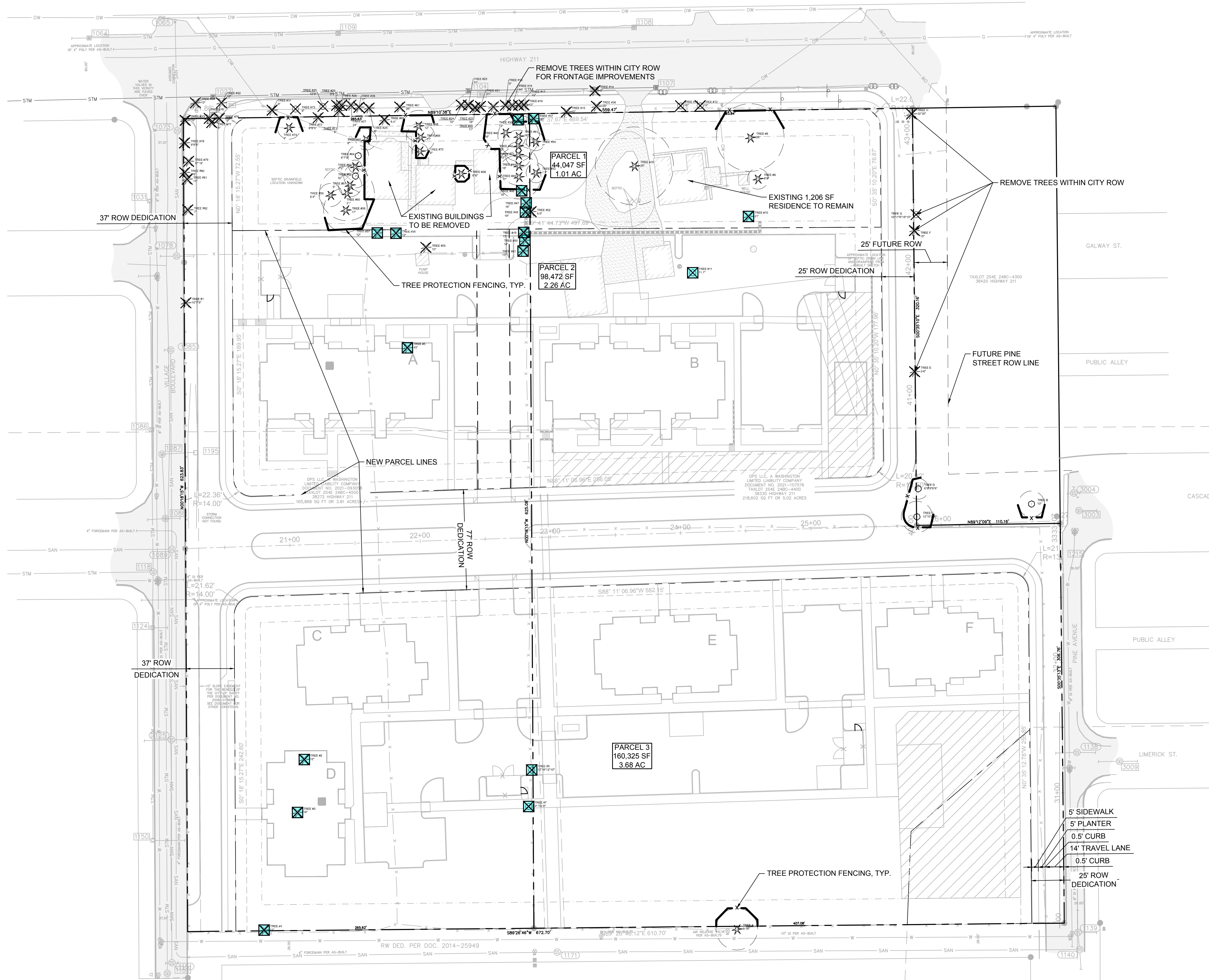
|              |                          |
|--------------|--------------------------|
| DATE         | 01.09.2023               |
| RCR NO.      | 21129                    |
| DRAWN BY:    | RJB, SM                  |
| DESIGNED BY: | SM                       |
| REVIEWED BY: | ZMC                      |
| TITLE        | TENTATIVE PARTITION PLAN |



**C-101**  
 LAND-USE

DATE PLOTTED: 3/7/2023 12:15:11 PM FILE NAME: 21728C-TENTATIVE PARTITION PLANNING BY: ---

DATE PLOTTED: 3/7/2023 12:16:38 PM FILENAME: 21129C-10-102.DWG BY: ---



**LEGEND**

- REMOVE EXISTING TREE
- TREE PROTECTION FENCE
- RETAINED TREE CRITICAL ROOT ZONE
- PROPERTY LINE
- TREE REMOVAL REQUIRING MITIGATION
- EXISTING TREE WITH CALCULATED DBH. SEE GENERAL NOTE 1

**GENERAL NOTE:**  
 1. TREE LOCATIONS ON PLAN HAVE NOT BEEN SURVEYED. LOCATIONS REFLECT TREE PROTECTION PLAN REPORT PREPARED BY WASHINGTON FORESTRY CONSULTANTS, INC., DATED 12/22/2022.

**CODE REQUIREMENTS:**  
 SMC 17.54.140  
 TREE RETENTION = 6 TREES/AC \* 6.95 AC = 42 TREES RETAINED WITH DBH >11"

A VARIANCE WILL BE REQUESTED PER SMC SEC. 17.102.70 TO FULFILL TREE RETENTION REQUIREMENTS AS TREE RETENTION REQUIREMENTS CANNOT BE MET ON-SITE.

SMC 17.102.10  
 TREES ARE DEFINED AS "ANY LIVING, STANDING, WOODY PLANT HAVING A TRUNK 11 INCHES DBH OR GREATER".

SMC 17.102.20.B.1  
 "TREE REMOVAL AS REQUIRED BY THE CITY OR PUBLIC UTILITY FOR THE INSTALLATION OR MAINTENANCE OR REPAIR OF ROADS, UTILITIES OR STRUCTURES" ARE "EXEMPT FROM TREE RETENTION REQUIREMENTS".

**EXISTING TREE COUNT:**  
 TREES IN RIGHT-OF-WAY: 36  
 TREES ON-SITE: 38  
 TREES OFF-SITE: 8  
 TOTAL TREES: 82

**PROPOSED TREE RETENTION/REMOVAL:**  
 TOTAL TREES ON-SITE: 82 TREES  
 TOTAL TREES REMOVED: 58 TREES  
 TOTAL TREES RETAINED: 24 TREES

**EXEMPTIONS (SEE TREE VARIANCE NARRATIVE FOR MORE INFORMATION):**  
 <11" DBH REMOVED (EXEMPT PER SMC 17.102.10): 17 TREES

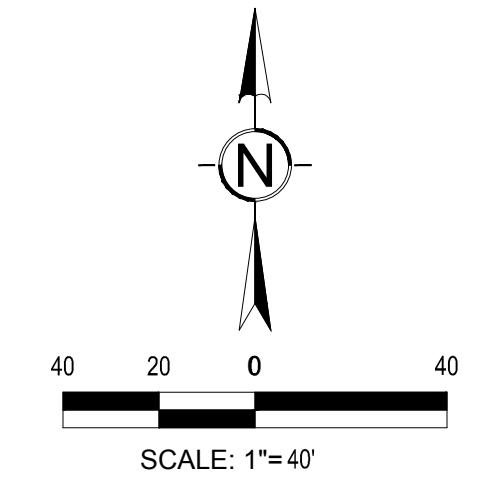
RIGHT-OF-WAY REMOVED (EXEMPT PER SMC 17.10.20(B)(1)): 23 ADDITIONAL TREES, INCLUDES OFF-SITE TREES E, F, G, AND H.

TOTAL EXEMPT TREES: 17 + 23 = 40 TREES

TREE REMOVAL REQUIRING MITIGATION: 58 - 40 = 18 TREES

**TREE MITIGATION**  
 SMC 17.102.70  
 MINIMUM MITIGATION RATIO: 2:1 RATIO  
 MITIGATION TREES REQUIRED: 18 X 2 = 36 MITIGATION TREES

REFER TO LANDSCAPE PLANS FOR MITIGATION TREES TYPES AND PLACEMENT.



PROJECT:  
 SHEET SET CREATED BY RB 09.16.2022  
**CASCADE CREEK MULTI FAMILY**  
 38330 HWY 211  
 SANDY, OR 97055

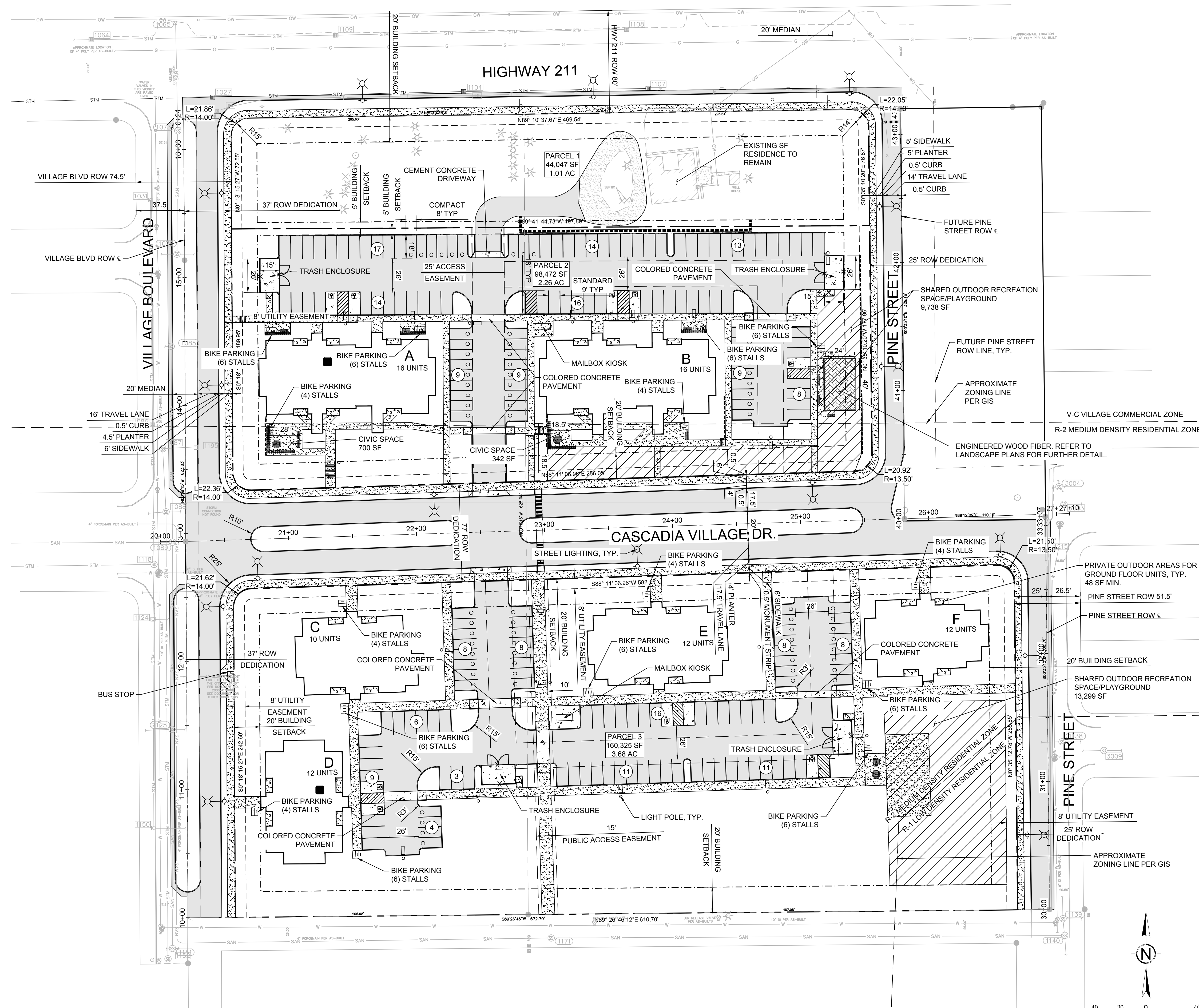
REVISIONS

| NO. | DATE | DESCRIPTION |
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|     |      |             |

DATE: 01.09.2023  
 BCRA NO: 21129  
 DRAWN BY: RJB, SM DESIGNED BY: SM  
 REVIEWED BY: ZMC  
 SHEET TITLE: TREE PROTECTION PLAN

IF SHEET MEASURES LESS THAN 24"X36", IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY

DATE PLOTTED: 3/7/2023 12:15:45 PM FILENAME: 2129C-20-002.DWG BY: ---



### LEGEND

- PROPERTY/BOUNDARY LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE
- ACCESS EASEMENT
- ROAD CENTERLINE
- BUILDING FOOTPRINT
- ASPHALT PAVEMENT
- ASPHALT PAVEMENT - HEAVY DUTY
- CEMENT CONCRETE SIDEWALK
- CEMENT CONCRETE PAVEMENT
- CURB & GUTTER
- PRECAST CONCRETE WHEELSTOP
- RETAINING WALL
- NUMBER OF PARKING STALLS PER ROW

### SITE INFORMATION TABLE

**PROPERTY OWNER:**  
ZAC BAKER  
DPS, LLC  
1911 65<sup>TH</sup> AVE W  
TACOMA, WA 98466

**SITE ADDRESSES:** 38272 HWY 211 & 38330 HWY 211 SANDY, OR 97055

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**EXISTING PARCEL AREA**  
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**ROW DEDICATION AREA FOR HWY 211, VILLAGE BLVD, CASCADIA VILLAGE DR. AND PINE STREET:** 1.7 AC

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DENSITY: 14.2 UNITS/AC

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ZONING: R-1 AND R-2  
AREA: 3.68 AC  
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DENSITY: 12.5 UNITS/AC

**TOTAL DEVELOPMENT AREA:** 6.95 AC  
**TOTAL UNITS PROPOSED:** 78 UNITS

**SMC 17.86.10 PARKLAND DEDICATION**  
PARKLAND DEDICATION = 0.0068AC \* 78 UNITS \* 2.0 PERSONS/UNIT = 1.0608 AC  
DEVELOPER SEEKING FEE-IN-LIEU PER SMC 17.86.40

**SMC 17.90.110 VILLAGE COMMERCIAL DESIGN STANDARDS - CIVIC SPACE**  
AT LEAST 3% OF GROUND FLOOR AREA PER SMC 17.90.110 G

**PARCEL 2:**  
TOTAL BUILDING GROUND FLOOR AREA = 13,034 SF  
3% OF GROUND FLOOR AREA = 391 SF  
TOTAL CIVIC SPACE PROVIDED = 800 SF

**SMC 17.98 PARKING, LOADING, AND ACCESS REQUIREMENTS**  
MULTIFAMILY DWELLINGS - 2 PER DWELLING UNIT (2BDRM+)  
PROFESSIONAL OFFICES - 1 PER 400SF, PLUS 1 PER 2 EMPLOYEES  
COMPACT PARKING - 40% MAX  
BICYCLE PARKING - 1 PER DWELLING UNIT

**PARCEL 1: NOT APPLICABLE**

**PARCEL 2: 32 UNITS**  
MULTIFAMILY: 32 UNITS \* 2 = 64 SPACES  
OFFICE: 11,142 SF OFFICE / 400 SF = 28 SPACES  
EMPLOYEES: 20 TOTAL MAX SHIFT = 20 / 2 = 10 SPACES

**TOTAL PARKING REQUIRED:** 102 SPACES  
**TOTAL PARKING PROVIDED:** 109 SPACES  
COMPACT PARKING PROVIDED: 36 SPACES = 33.0%

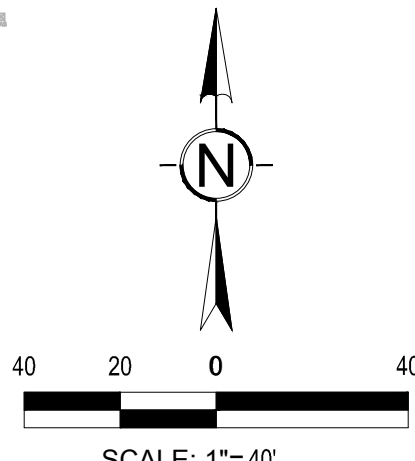
**BICYCLE SPACES REQUIRED:** 32 \* 1 = 32 SPACES  
**BICYCLE SPACES PROVIDED:** = 32 SPACES

**PARCEL 3: 46 UNITS**  
MULTIFAMILY: 46 UNITS \* 2 = 92 STALLS  
OFFICE: NOT APPLICABLE  
EMPLOYEES: NOT APPLICABLE

**TOTAL REQUIRED:** 92 STALLS  
**TOTAL PROVIDED:** 92 STALLS  
COMPACT PROVIDED: 35 STALLS = 38.0%

**BICYCLE SPACES REQUIRED:** 46 \* 1 = 46 SPACES  
**BICYCLE SPACES PROVIDED:** = 46 SPACES

**TOTAL PARKING ALL PARCELS:** 201 SPACES  
**TOTAL BICYCLE SPACES ALL PARCELS:** 78 SPACES



**bcra**

REGISTERED PROFESSIONAL ENGINEER  
100% COMPLETE  
STATE OF OREGON  
LAUREY MERLIN CRUM  
EXPIRES: 12/31/23

PROJECT: SHEET SET CREATED BY RB 09.16.2022  
**CASCADE CREEK MULTI FAMILY**  
38330 HWY 211 SANDY, OR 97055

REVISIONS

| NO. | DATE       | DESCRIPTION |
|-----|------------|-------------|
| 1   | 01.09.2023 |             |

DATE: 01.09.2023  
BCRA NO: 21129  
DRAWN BY: RJB, SM DESIGNED BY: SM  
REVIEWED BY: ZMC  
SHEET TITLE: SITE PLAN

**bcra**

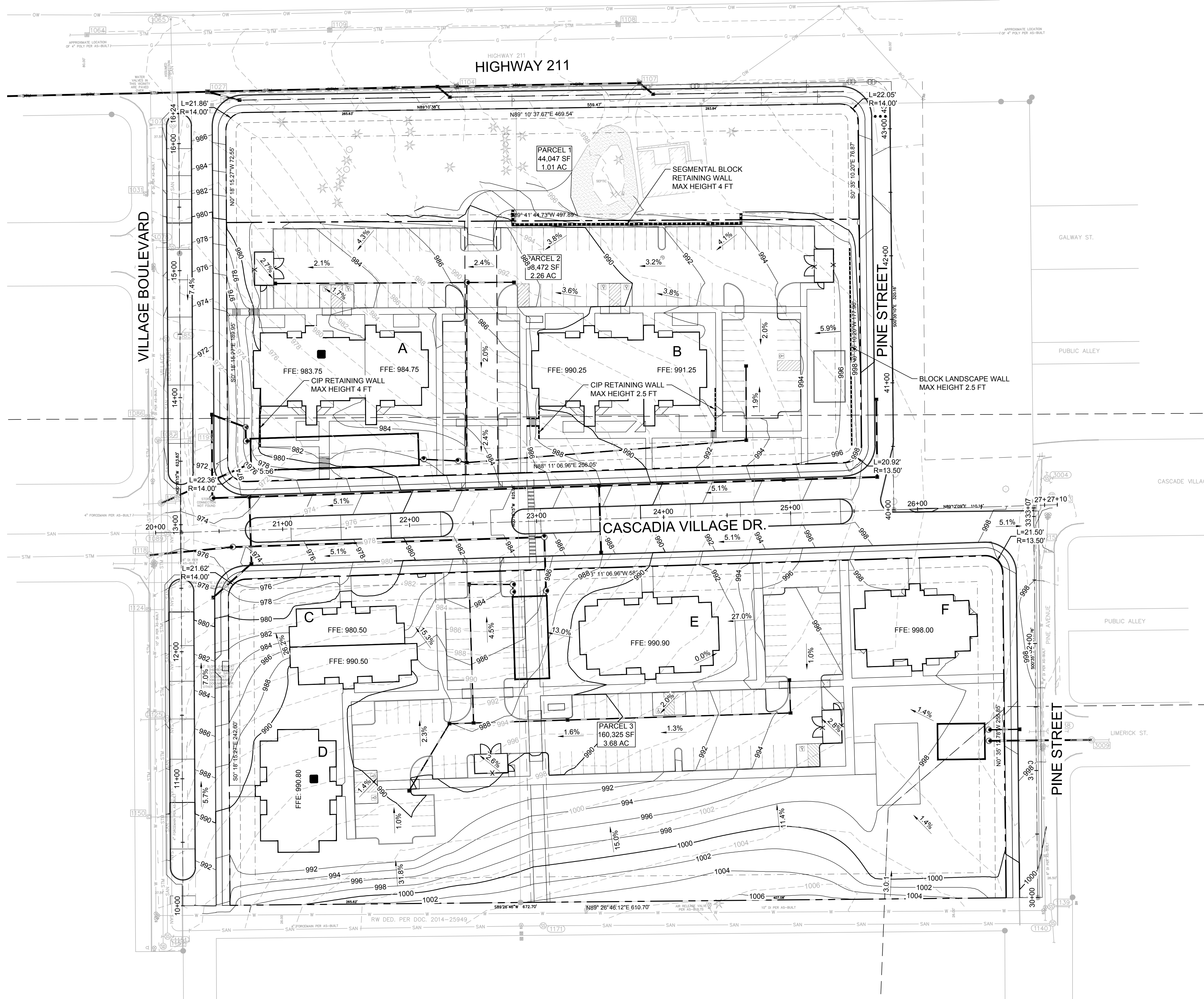
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**C-201**

LAND-USE

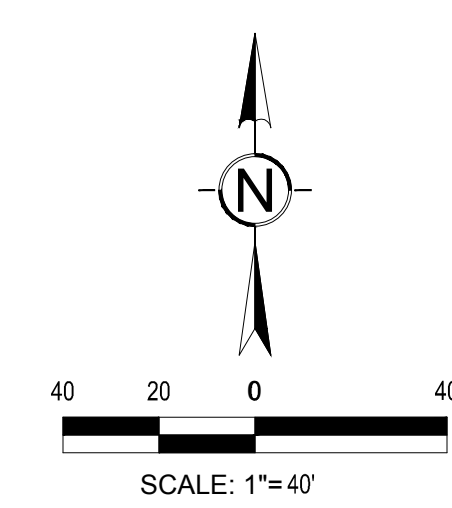
IF SHEET MEASURES LESS THAN 24"X36", IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY

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**LEGEND**

|          |               |
|----------|---------------|
| — 210 —  | MAJOR CONTOUR |
| — 213 —  | MINOR CONTOUR |
| — 2.0% — | SLOPE ARROW   |



PROJECT:  
SHEET SET CREATED BY RB 09.16.2022  
**CASCADE CREEK MULTI FAMILY**  
38330 HWY 211  
SANDY, OR 97055

REVISIONS

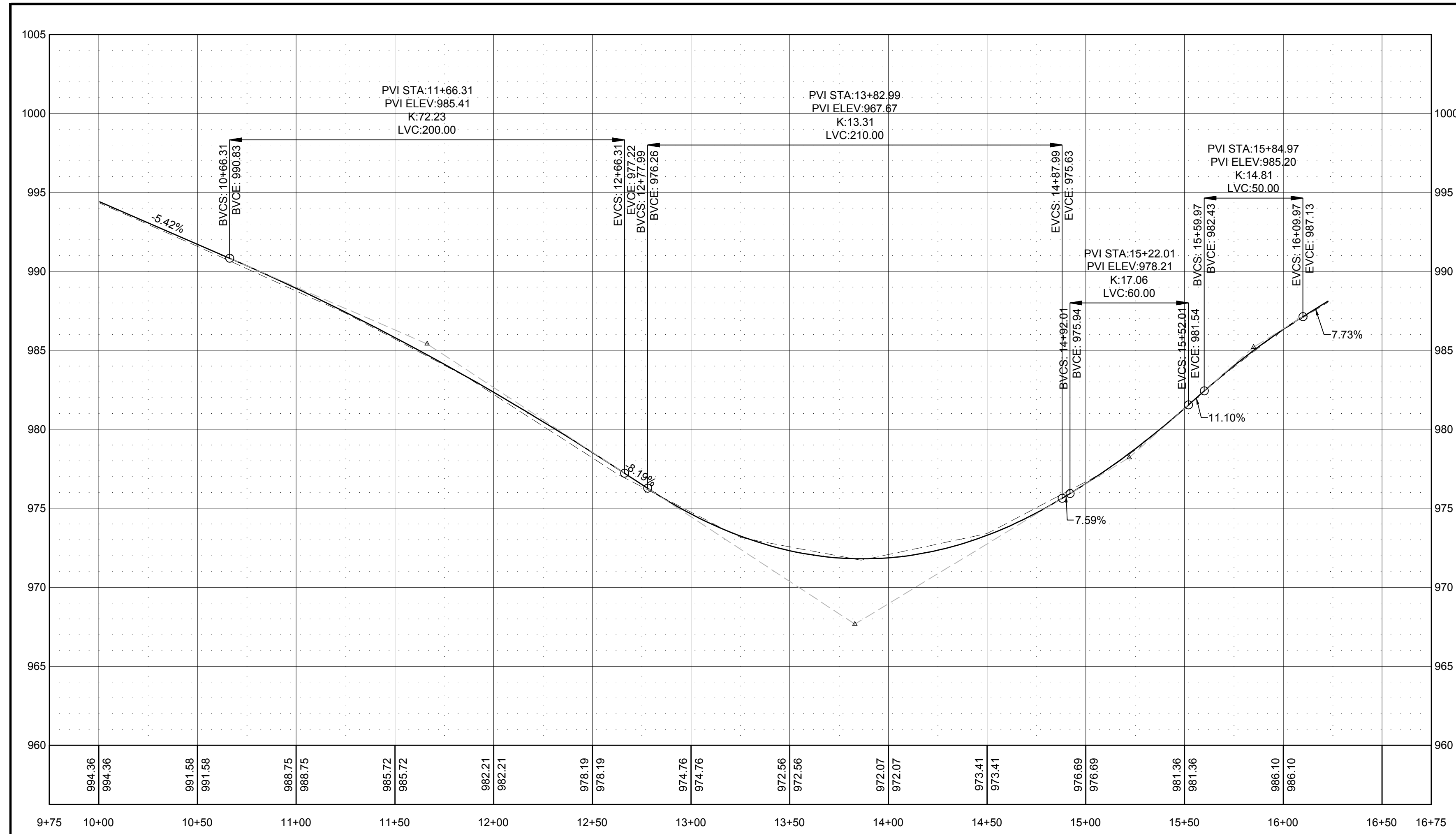
| NO. | DATE | DESCRIPTION |
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DATE: 01.09.2023  
BCRA NO: 21129  
DRAWN BY: RJB, SM DESIGNED BY: SM  
REVIEWED BY: ZMC  
SHEET TITLE: GRADING AND DRAINAGE PLAN

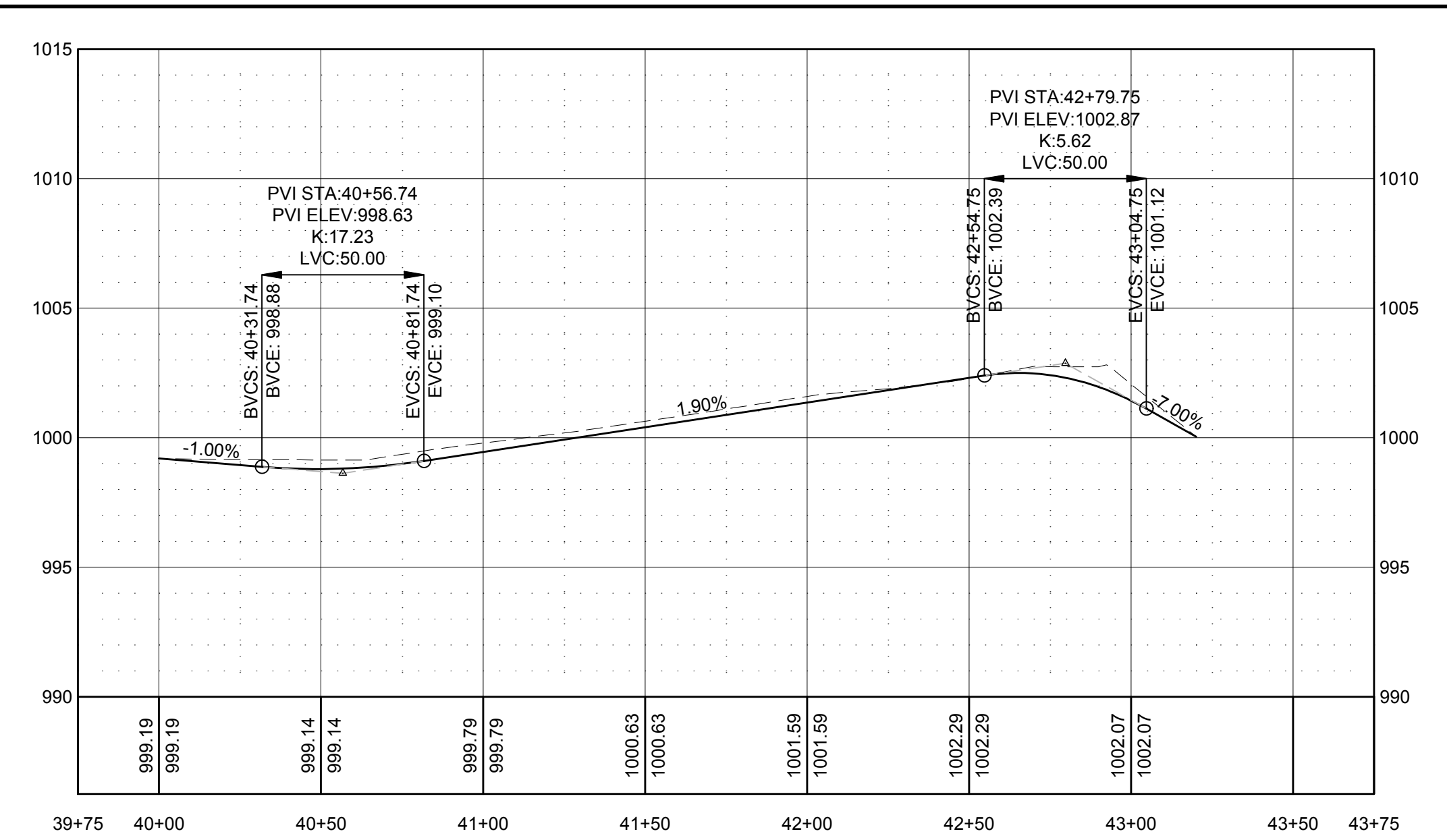


**C-301**  
LAND-USE

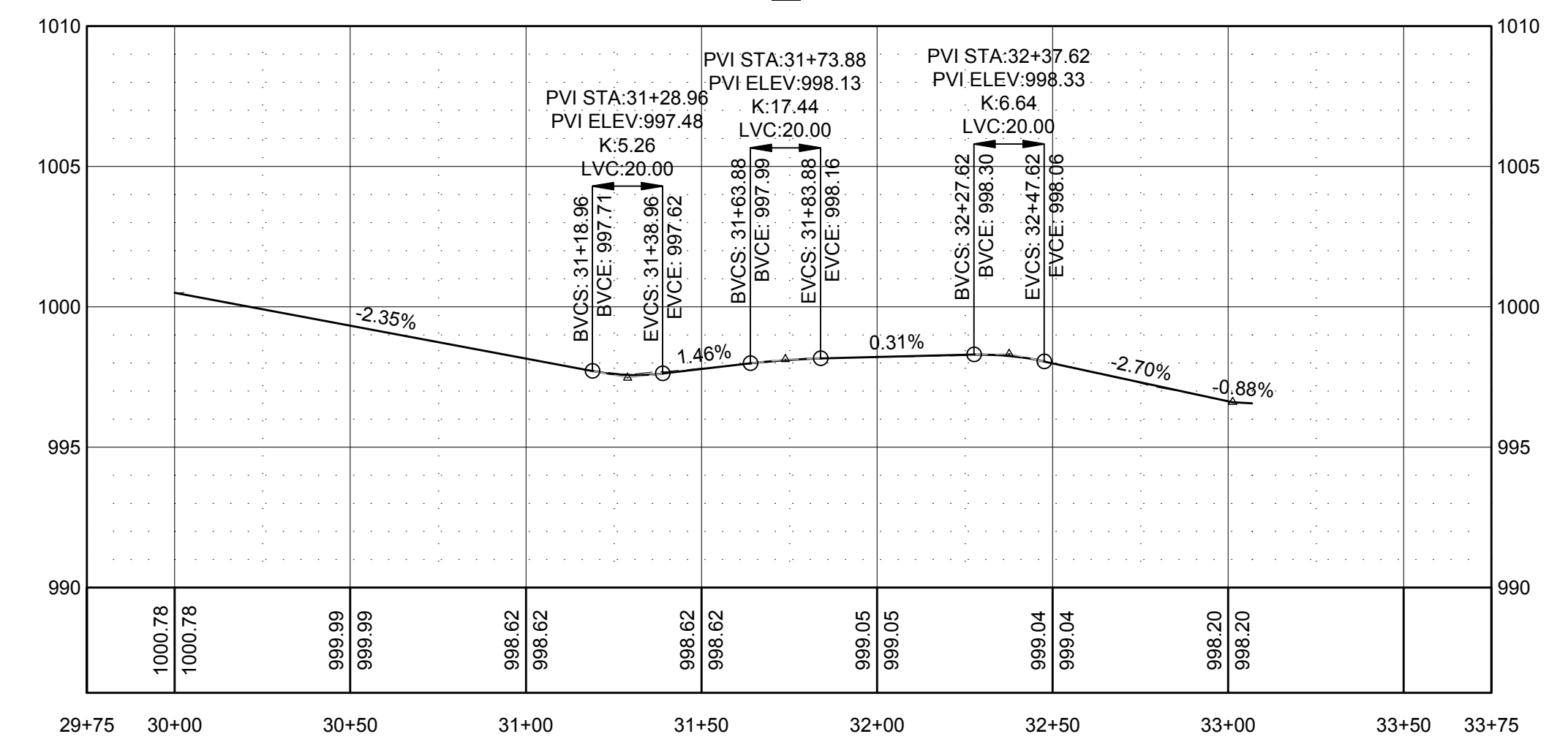
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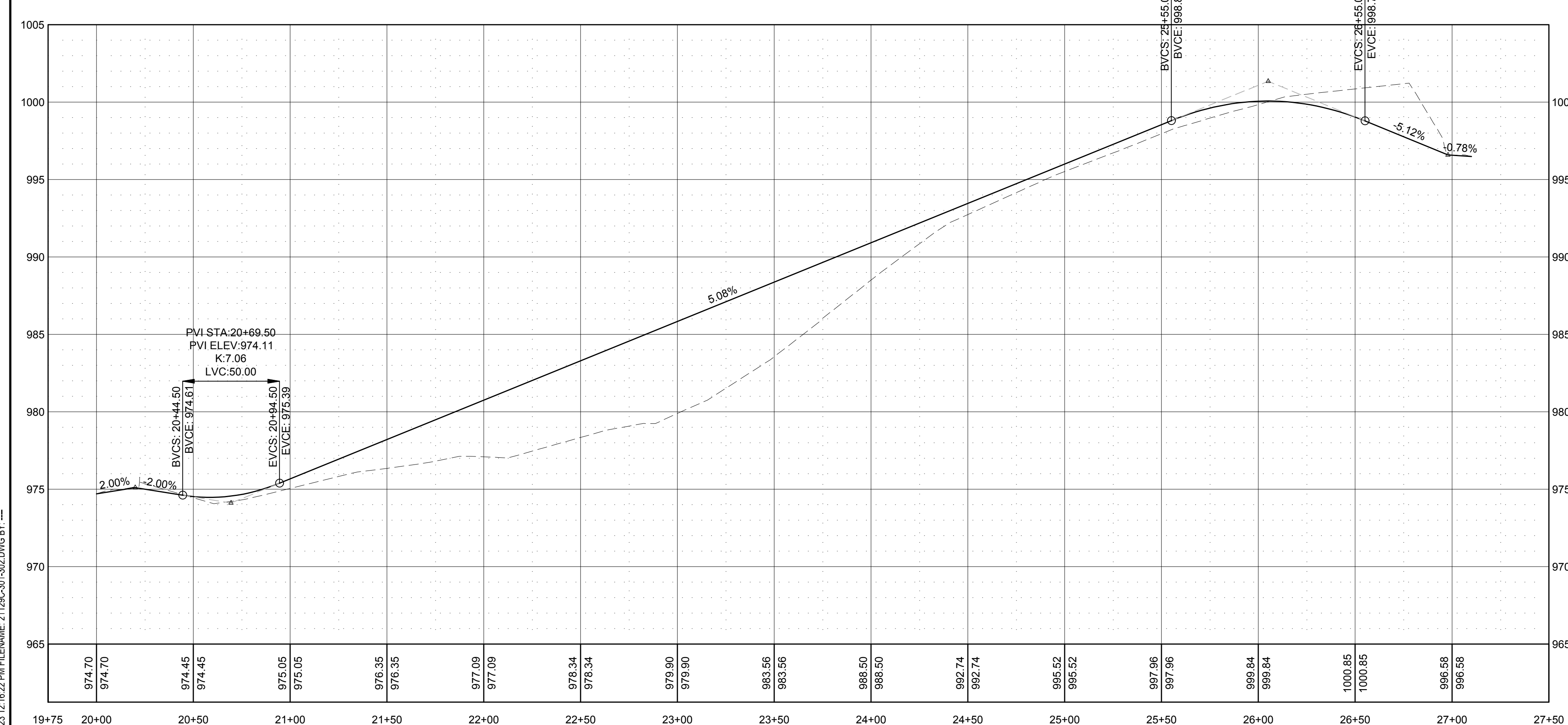
VILLAGE BLVD CL PROFILE



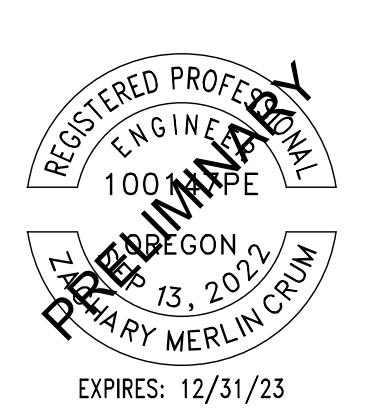
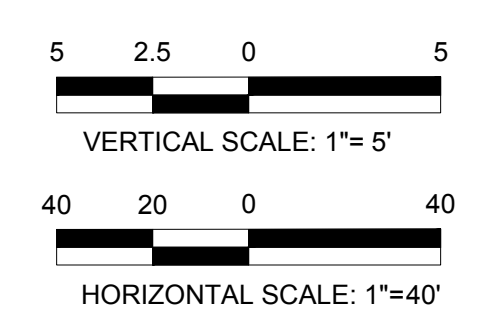
PINE STREET CL\_NORTH PROFILE



PINE STREET CL\_SOUTH PROFILE



CASCADIA VILLAGE DR CL PROFILE



PROJECT:  
SHEET SET CREATED BY RB 09.16.2022  
**CASCADE CREEK MULTI FAMILY**  
38330 HWY 211  
SANDY, OR 97055

REVISIONS

| NO. | DATE | DESCRIPTION |
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DATE: 01.09.2023  
BCRA NO: 21129  
DRAWN BY: RJB, SM DESIGNED BY: SM  
REVIEWED BY: ZMC  
SHEET TITLE: ROADWAY PROFILES

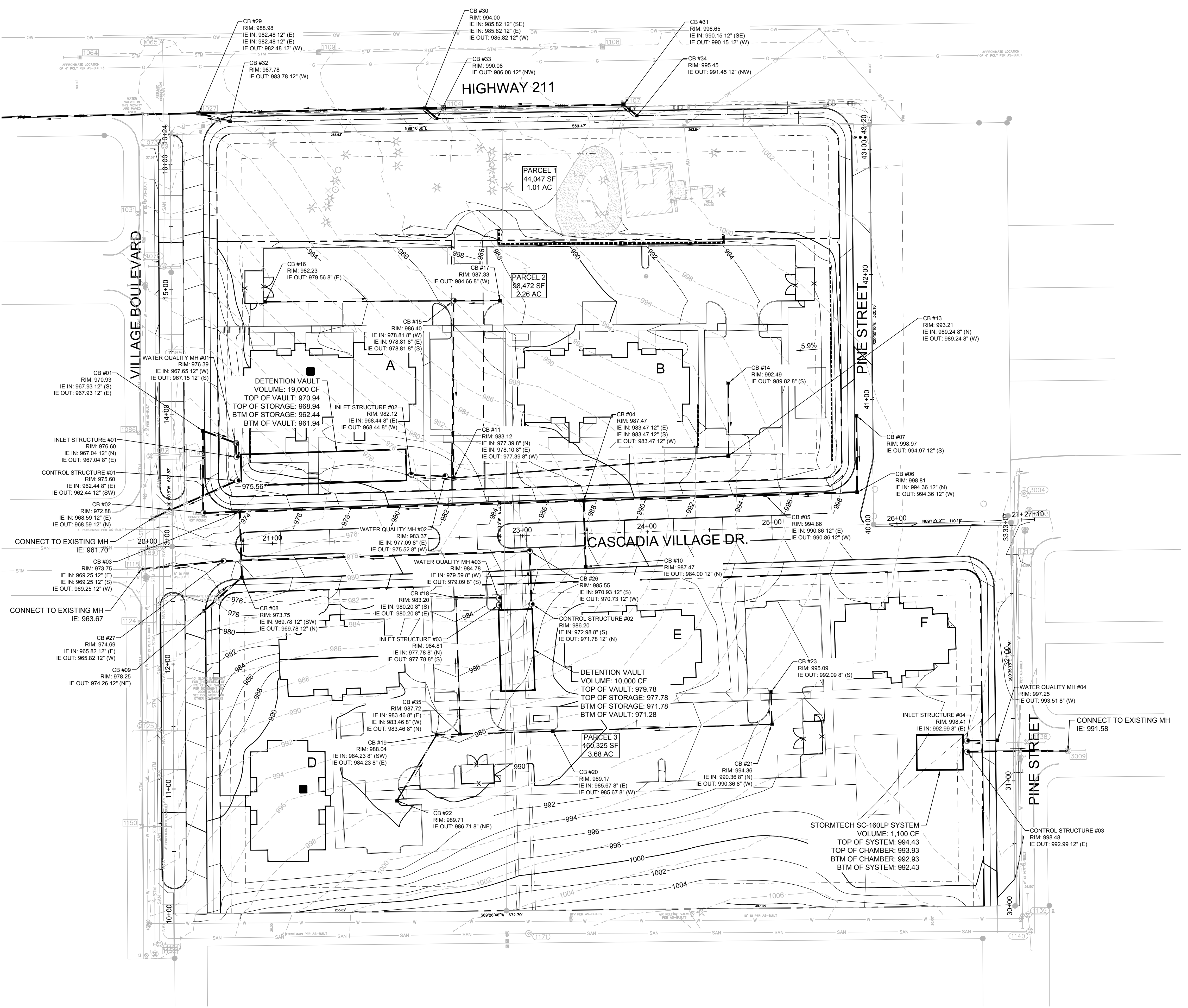


**C-302**  
LAND-USE

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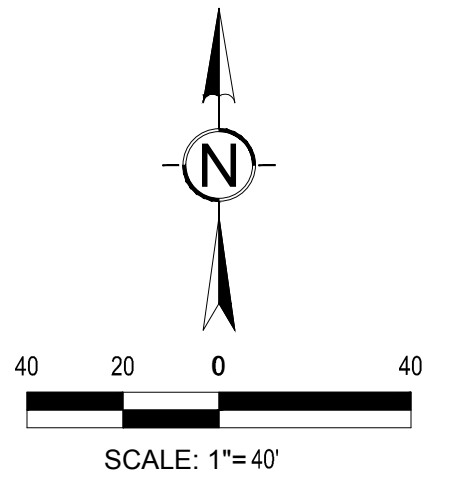
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**LEGEND**

- 210 — MAJOR CONTOUR
- 213 — MINOR CONTOUR
- 2.0% — SLOPE ARROW
- STORM DRAIN LINE
- SWALE/DITCH
- CATCH BASIN TYPE 1
- CATCH BASIN TYPE 2



T: 253.627.4367 F: 253.627.4395 WWW.BCRADDESIGN.COM  
414 STEWART STREET, SUITE 200, SEATTLE, WA 98101



PROJECT:  
SHEET SET CREATED BY RB 09.16.2022  
**CASCADE CREEK MULTI FAMILY**  
38330 HWY 211  
SANDY, OR 97055

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| NO. | DATE | DESCRIPTION |
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|     |      |             |

DATE: 01.09.2023  
BCRA NO.: 21129  
DRAWN BY: RJB, SM DESIGNED BY: SM  
REVIEWED BY: ZMC  
SHEET TITLE: STORM DRAINAGE PLAN



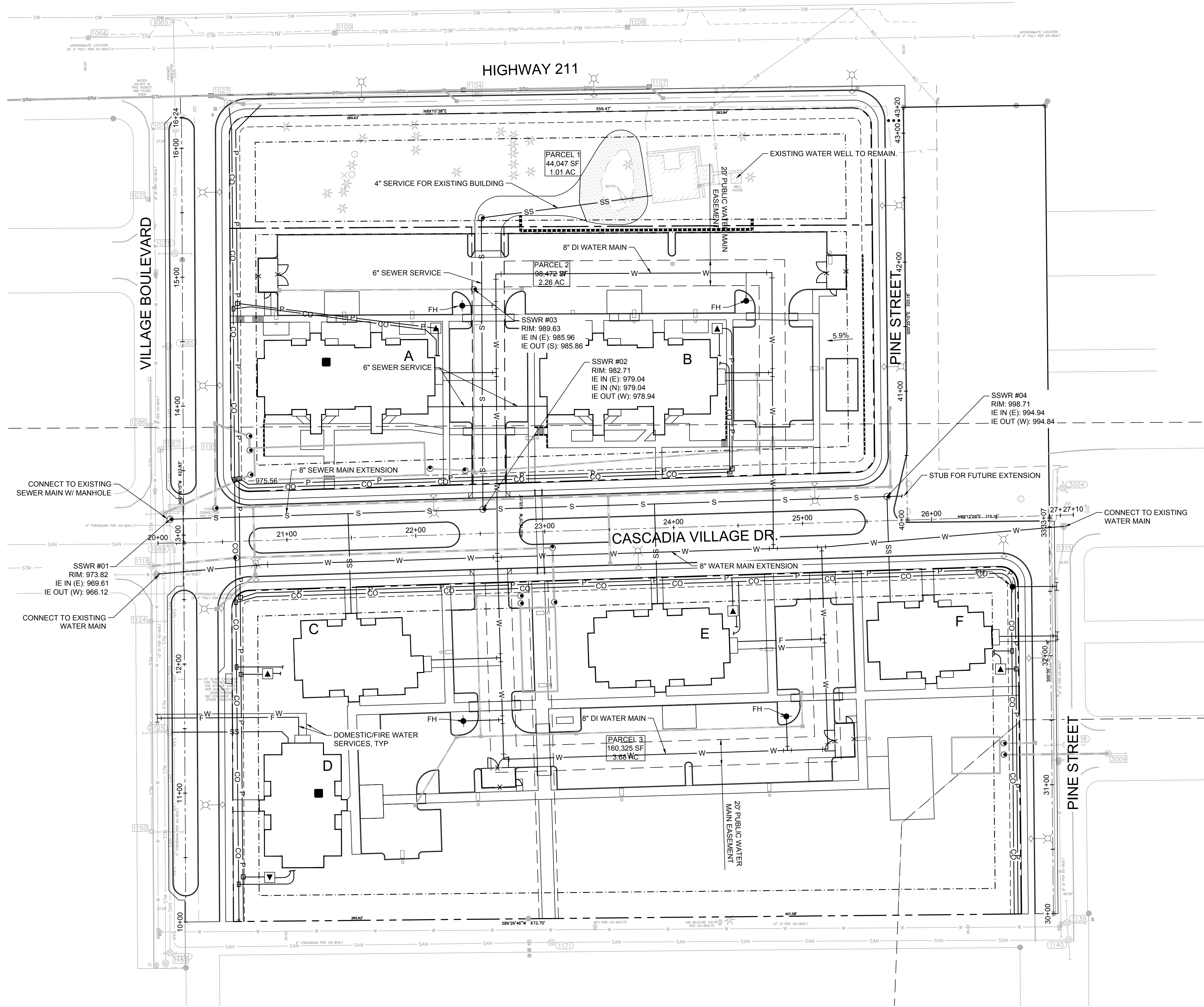
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SHEET

**C-401**

LAND-USE

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DATE PLOTTED: 3/7/2023 12:17:25 PM FILENAME: 21129C-501-402.DWG BY: ----



**LEGEND**

|    |                             |
|----|-----------------------------|
| P  | POWER LINE                  |
| ▲  | ELECTRICAL TRANSFORMER      |
| CO | COMMUNICATION LINE          |
| W  | WATER MAIN LINE             |
| +  | TEE                         |
| ●  | FIRE HYDRANT                |
| ⊘  | 90° BEND                    |
| F  | FIRE WATER LINE             |
| S  | SANITARY SEWER LINE         |
| SS | SANITARY SEWER SERVICE LINE |
| ⊙  | SANITARY SEWER MANHOLE      |



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PROJECT:  
SHEET SET CREATED BY RB 09.16.2022  
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SANDY, OR 97055

REVISIONS

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DATE: 01.09.2023  
BCRA NO: 21129  
DRAWN BY: RJB, SM DESIGNED BY: SM  
REVIEWED BY: ZMC  
SHEET TITLE: UTILITY PLAN



**C-501**  
LAND-USE

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