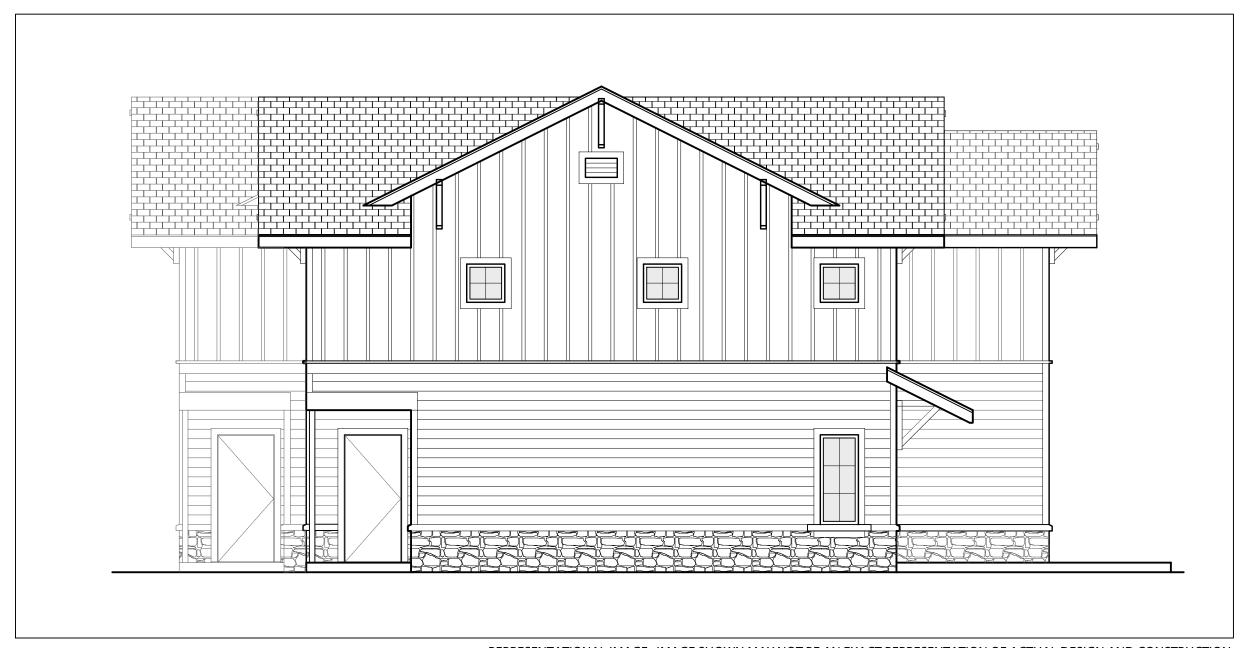
THE PAD - MULTI-FAMILY RESIDENTIAL

MULTI-FAMILY RESIDENTIAL | SANDY, OREGON

Exhibit C



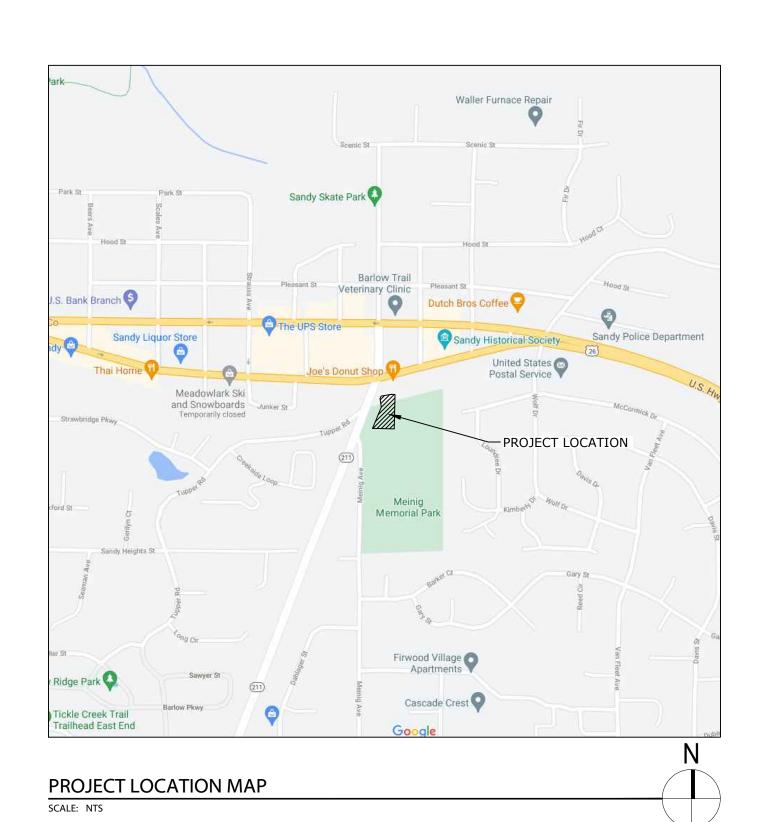


REPRESENTATIONAL IMAGE. IMAGE SHOWN MAY NOT BE AN EXACT REPRESENTATION OF ACTUAL DESIGN AND CONSTRUCTION.

-PROJECT LOCATION

VICINITY MAP

SCALE: NTS



PROJECT DESCRIPTION

REDEVELOPMENT OF AN EXISTING LOT INTO A MULTI-FAMILY COMPLEX CONSISTING OF TEN 2-STORY UNITS OCCUPYING 2 BUILDINGS. OUTDOOR RECREATIONAL AREAS AS WELL AS PARKING, AND VEHICLE AND PEDESTRIAN CIRCULATION SYSTEMS WILL ALSO BE INSTALLED.

SITE INFORMATION

ADDRESS:	17650 MEINIG ACENUE SANDY, OR 97055
PARCEL NUMBER:	00663758
TAX LOT NUMBER:	24E13DB01500
COUNTY:	CLACKAMAS COUNTY
JURISDICTION:	CITY OF SANDY
FIRE DISTRICT:	SANDY FIRE DISTRICT NO. 72
ZONING:	R3 - HIGH DENSITY RESIDENTIAL
DESCRIPTION OF USE:	MULTI-FAMILY RESIDENTIAL
AREA (APPROX.):	PROPERTY: 25,869 S.F. (0.59 ACRES)

PROJECT TEAM

LANDSCAPE:

OWNER:	OWNER NAME STREET ADDRESS CITY, STATE ZIP CODE PHONE: (###) ###-#### CONTACT: FIRST LAST NAME	
ARCHITECT:	AXIS DESIGN GROUP ARCHITECTURE & ENGINEERING, INC. 11104 S.E. STARK STREET PORTLAND, OR 97216 PHONE: (503) 284-0988 CONTACT: FIRST LAST NAME	
CIVIL:	KURAHASHI & ASSOCIATES 4470 SW HALL BLVD. SUITE C	

BEAVERTON, OR 97005

PHONE: (503) 267-8434

CONTACT: GREG KURAHASHI JOYCE JACKSON - LANDSCAPE ARCHITECT 1940 SYLVAN WAY

WEST LINN, OR 97068 PHONE: (503) 703-8607 CONTACT: JOYCE JACKSON

SHEET INDEX

		DESIGN REVIEW	MILESTONE
SHEET NUMBER	SHEET TITLE		Σ
GENERAL			
G-000	COVER SHEET, SITE INFO, SHEET INDEX	Х	
CIVIL			
C-1	EXISTING CONDITIONS	Х	
C-2	CIVIL SITE PLAN	Х	
C-3	UTILITY PLAN	Х	
C-4	Х		
C-5	TREE PRESERVATION PLAN	Х	
LANDSCAPE			
L-1	PLANTING PLAN	X	
L-2	LANDSCAPE NOTES AND DETAILS	X	
ARCHITECTURAL			
ARCHITECTURAL A-101	SITE PLAN - EXISTING/DEMO	X	
	SITE PLAN - EXISTING/DEMO SITE PLAN - PROPOSED	X X	
A-101	+		
A-101 A-102	SITE PLAN - PROPOSED	X	
A-101 A-102 A-201	SITE PLAN - PROPOSED FIRST AND SECOND FLOOR PLANS - PROPOSED	X	
A-101 A-102 A-201 A-221	SITE PLAN - PROPOSED FIRST AND SECOND FLOOR PLANS - PROPOSED EXTERIOR ELEVATIONS - BUILDING "A" - PROPOSED	X X X	

x = ISSUED AS PART OF SET $\Diamond = NOT PART OF ISSUED SET$

* = ISSUED FOR INFORMATION ONLY

CHECKED BY: DH JOB NO: 20-004 DATE: 07/16/2021

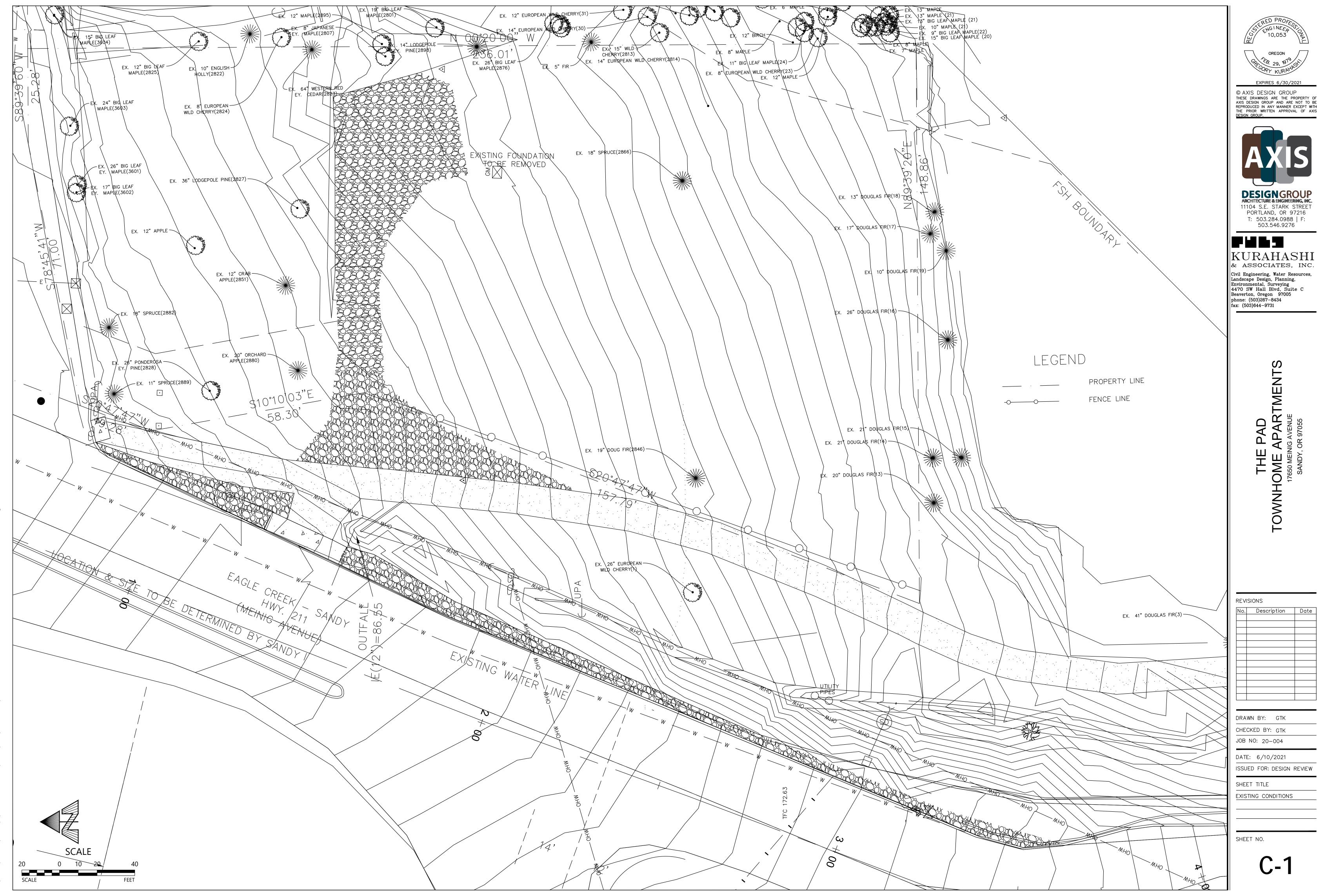
DRAWN BY: SJM

ISSUED FOR: DESIGN REVIEW SHEET TITLE

SHEET INDEX, PROJECT DESCRIPTION,

SITE INFORMATION, AND PROJECT TEAM

SHEET NO.



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Civil Engineering, Water Resources, Landscape Design, Planning, Environmental, Surveying 4470 SW Hall Blvd, Suite C Beaverton, Oregon 97005 phone: (503)267-8434 fax: (503)644-9731

TI OWNHON 17650 SAI

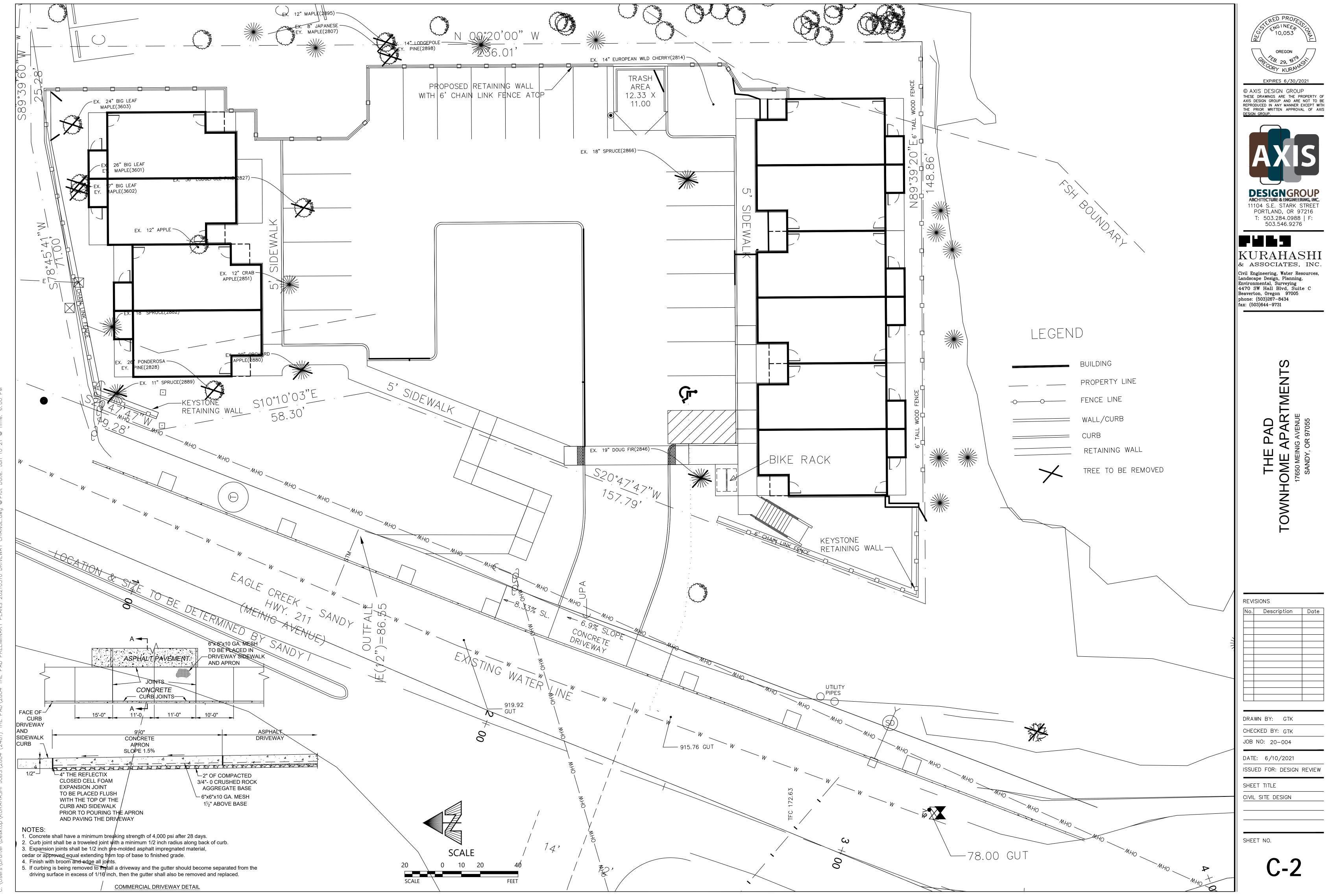
REVISIONS No. Description Date

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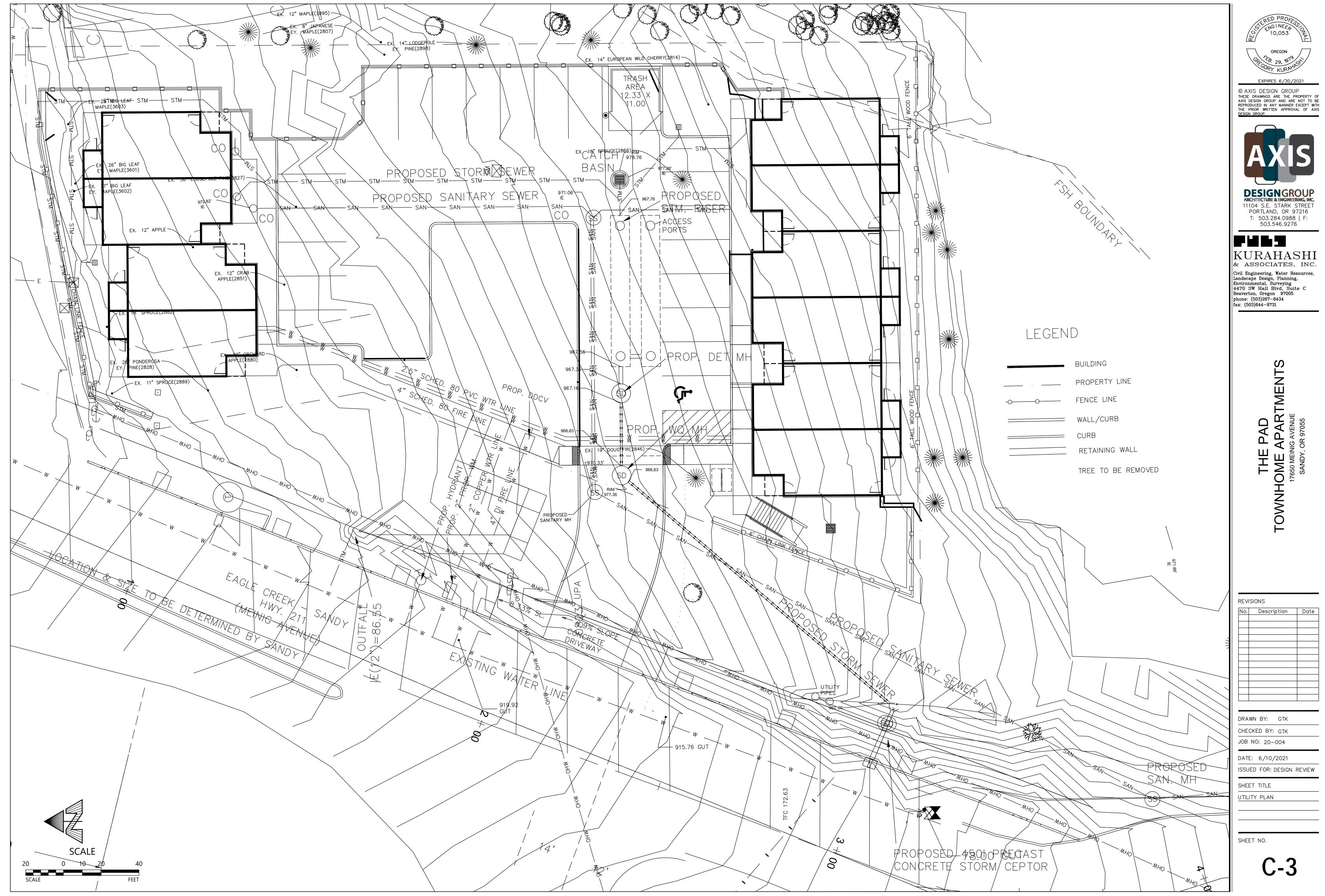
JOB NO: 20-004 DATE: 6/10/2021

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EXISTING CONDITIONS







EXPIRES 6/30/2021



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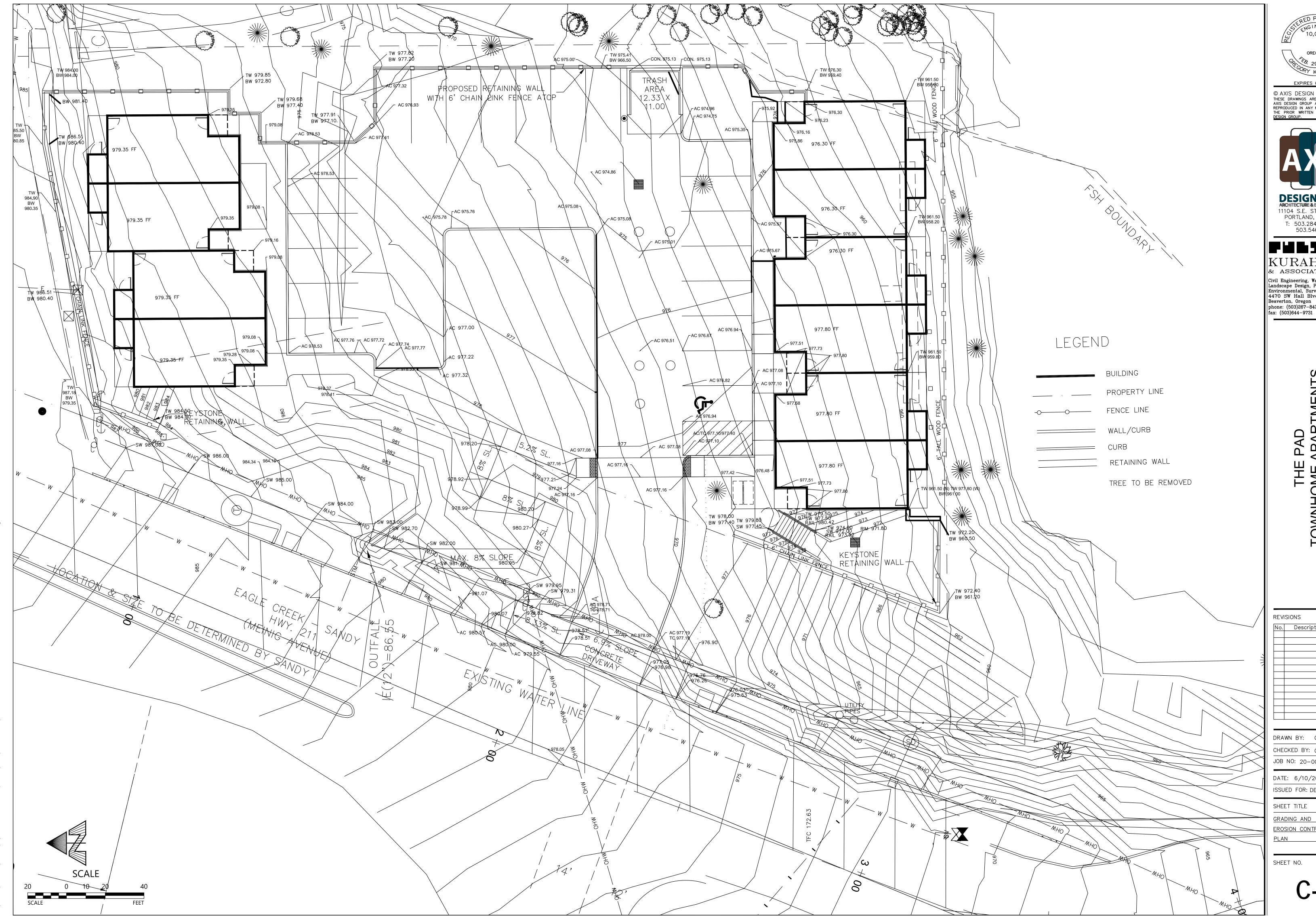
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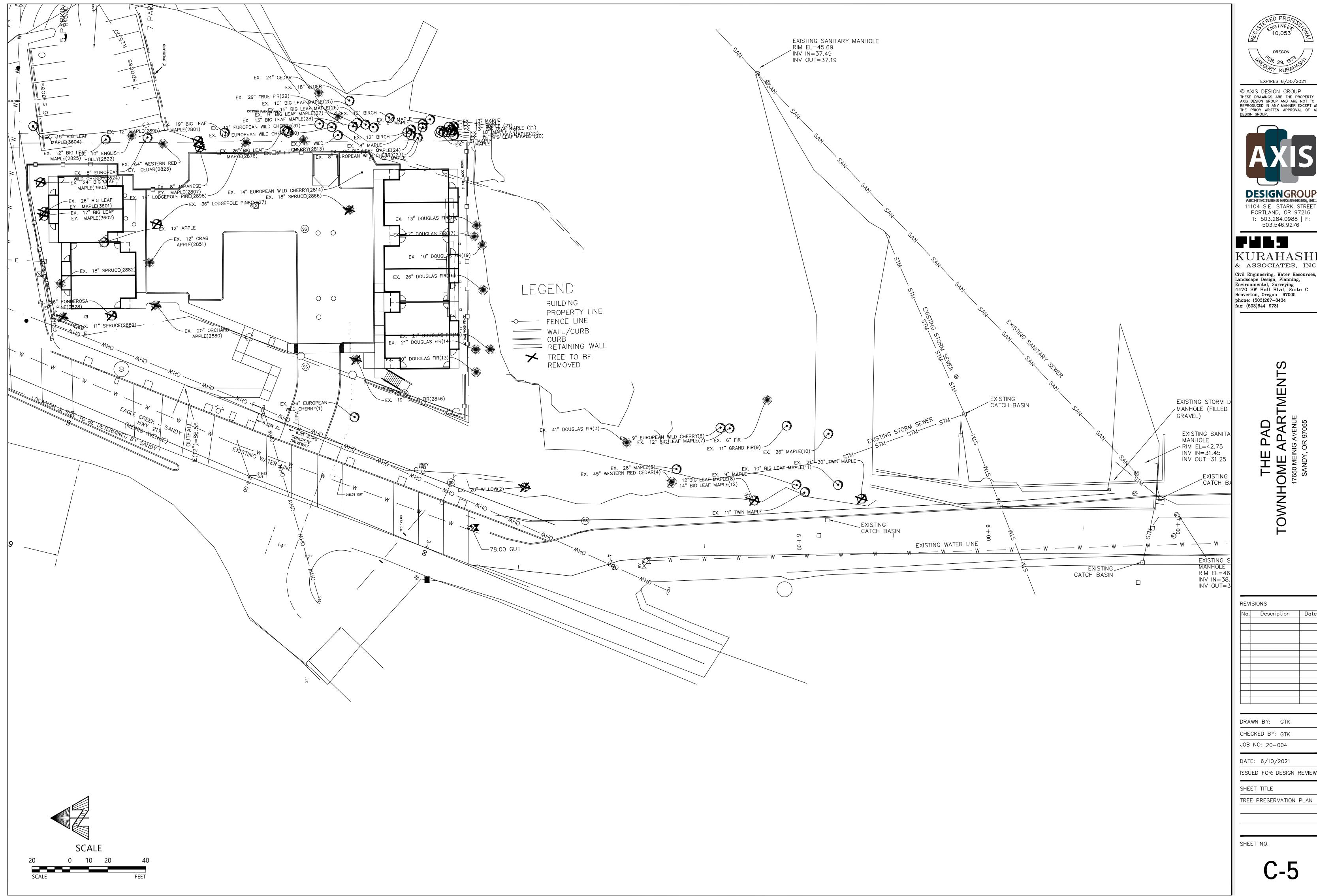
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DATE: 6/10/2021

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GRADING AND EROSION CONTROL



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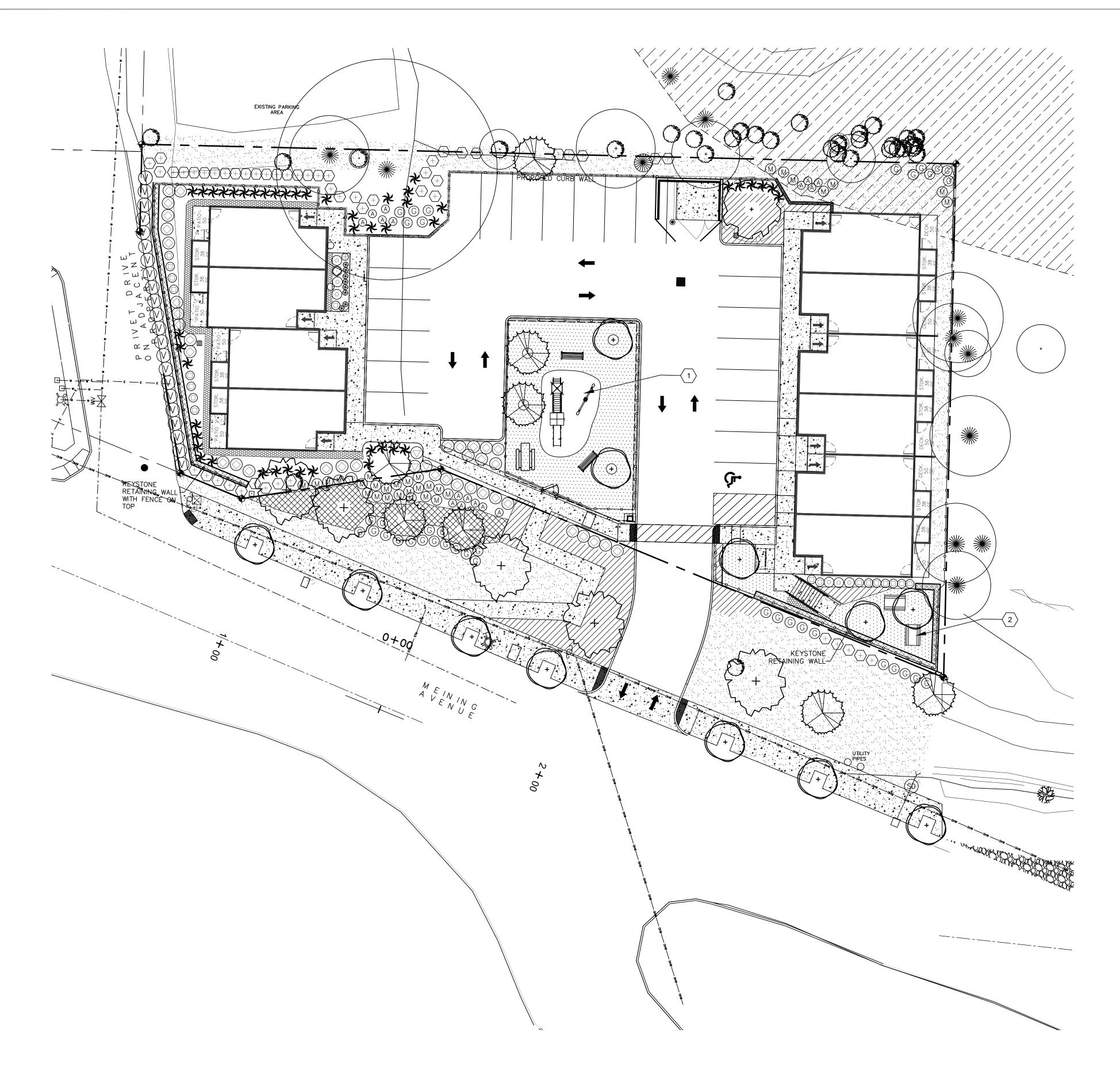
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SHEET NO.



PLANT LIST

QUAN BOTANICAL NAME/COMMON NAME ACER BUERGERIANUM - TRIDENT MAPLE 1-1/2" CAL B&B AS SHOWN CALOCEDRUS DECURRENS - INCENSE CEDAR QUERCUS FRAINETTO 'FOREST GREEN' 2" CAL B&B FOREST GREEN OAK RHAMNUS PURSHIANA 1-1/2" CAL B&B AS SHOWN

SHRUBS

	SYM	QUAN	BOTANICAL NAME	COMMON NAME	SIZE	COMMENT
		18	EUONYMOUS FORTUNEI 'EMERALD GAIETY'	EMERALD GAIETY EUONYMOUS	2 GAL	SPACE AS SHOWN
	\bigcirc	4	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	3 GAL	SPACE 42" O.C.
	AN MARKE	1	JUNIPERUS VIRGINIANA 'BLUE ARROW'	BLUE ARROW JUNIPER	48" HT.B&B	AS SHOWN
	$\langle + \rangle$	51	MAHONIA AQUIFOLIUM	OREGON GRAPE	2 GAL	FULLY BRANCHED
	\oplus	1	NANDINA DOMESTICA 'WOODS DWARF'	WOOD'S DWARF HEAVENLY BAMBO	O' 2 GAL	SPACE AS SHOWN
	M	30	PHILADELPHUS LEWISII	MOCKORANGE	2 GAL	SPACE AS SHOWN
	<u>(G</u>)	38	ROSA GYMNOCARPA	BALDHIP ROSE	2 GAL	AS SHOWN
	\triangle	20	SYMPHORICARPOS ALBUS	COMMON SNOWBERRY	2 GAL	AS SHOWN
	\odot	6	SPIRAEA X BUMALDA 'GOLDMOUND'	GOLDMOUND BUMALD SPIREA	2 GAL	AS SHOWN
	<u></u>	2	VIBURNUM DAVIDII	DAVID VIBURNUM	3 GAL	AS SHOWN
((\vee)	23	VIBURNUM TINUS	LAURUSTINUS	5 GAL	SPACE 48" O.C.
	\bigcirc	37	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	3 GAL	AS SHOWN

COMMENT

AS SHOWN

7 LBS / 1000 S.F.

REMOVE LOWEST BRANCHES

GROUNDCOVER

HELICHTOTRICHON SEMPERVIRENS - BLUE OAT GRASS

1 GAL - SPACE AS SHOWN

POLYSTICHUM MUNITUM - WESTERN SWORD FERN 1 GAL - SPACE AS SHOWN

ARCTOSTAPHYLOS UVA-URSI - KINNICKINICK 1 GAL - SPACE 2' O.C.

> MAHONIA REPENS - CREPING MAHONIA 1 GAL - SPACE 30" O.C.

2340 SF PT 301- WATER SMARTER TALL FESCUE BLEND TURFWAY TALL FESCUE - FESTUCA ARUNDINACEA 'TURFWAY'

HOUNDOG 8 TALL FESCUE - FESTUCA ARUNDINACEA 'HOUNDOG 8' BLOODHOUND TALL FESCUE - FESTUCA ARUNDINACEA 'BLOODHOUND'

4635 SF PT 702 - NATIVE URBAN MEADOW 4 OZ / 1000 S.F.

LEGEND

EXISTING TREE TO REMAIN

BENCH

GRAVEL EDGING -SEE SHEET L2 FOR DETAILS

KEY NOTES

- RECREATIONAL PLAY AREA SPECIFIC PLAY EQUIPMENT TO BE DETERMINED LATER
- PICNIC AREA- PICNIC TABLES

GENERAL NOTES

- 1. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL USE DRIP IRRIGATION AND WATER CONSERVATION ROTOR IRRIGATION HEADS. NATIVE PLANTING AREAS SHALL HAVE TEMPORARY IRRIGATION THAT WILL BE REDUCED EACH YEAR UNTIL PLANTS ARE FULLY ESTABLISHED.
- 2. QUANTITIES ARE INTENDED TO ASSIST THE CONTRACTOR IN EVALUATING THEIR OWN TAKEOFFS . THE CONTRACTOR SHALL BE RESPONSIBLE FOR BID QUANTITIES AS SHOWN AND REQUIRED BY THE PLANS.
- 3. CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND COMPOST IN REQUIRED QUANTITIES TO CREATE THE PLANTING SOIL FOR PLANTED AND
- SEEDED AREAS IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS. 4. CONTRACTOR SHALL VERIFY THE LOCATIONS OF UTILITIES PRIOR TO BEGINNING EXCAVATION.
- 5. IF PLANT MATERIAL CONFLICTS WITH NEW OR EXISTING UTILITIES TO REMAIN, THE CONTRACTOR SHALL ADJUST THE PLANTING LOCATIONS IN

8,522.83 S.F.

- COORDINATION WITH THE OWNER'S REPRESENTATIVE.
- 6. PROVIDE 3" OF BARK MULCH AROUND PLANTING.
- 7. RESTORE PUBLIC RIGHT IF AREA DISTURBED BY UTILITY INSTALLATION AND SEED AREA WITH NATIVE URBAN MEADOW MIX. 8. SEE SHEET L2 FOR PLANTING DETAILS AND NOTES.

SITE DATA

TOTAL SITE AREA = 25,869 S.F. 25% OF SITE AREA = 6,467.25 S.F. REQUIRED LANDSCAPE AREA =

TOTAL LANDSCAPE AREA PROVIDED = 32.98 % = RECREATION REQUIRED = 2000 S.F. RECREATIONAL AREA PROVIDED

PICNIC AREA = 651.8 S.F. CHILDREN PLAY AREA = 2,054.1 S.F. TOTAL RECREATION AREA = 2,705.9 S.F. OREGON E

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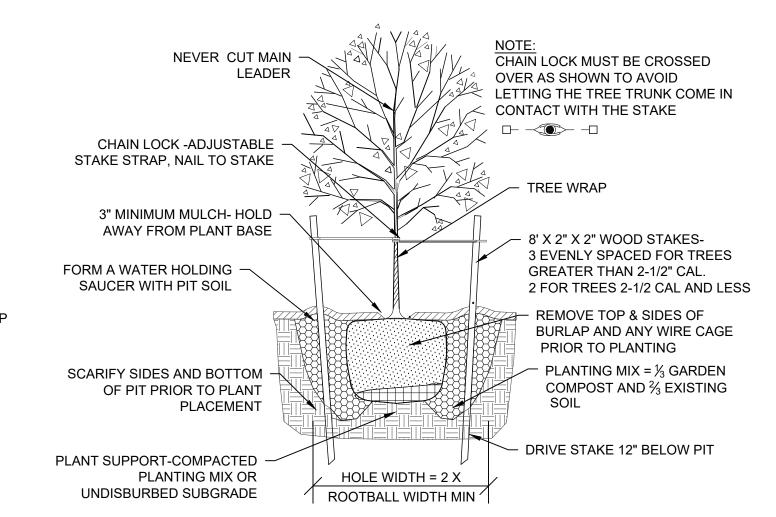
JOYCE JACKSON

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LANDSCAPE ARCHITECT 1940 SYLVAN WAY WEST LINN, OR 97068 503 703.8607 jj@joycejackson-la.com

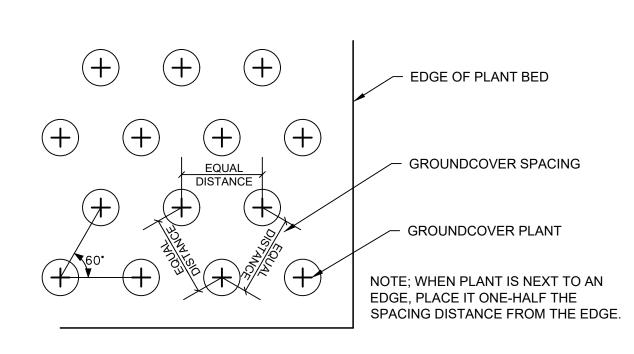
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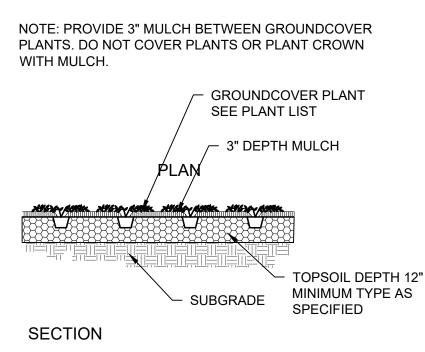
PLANTING PLAN

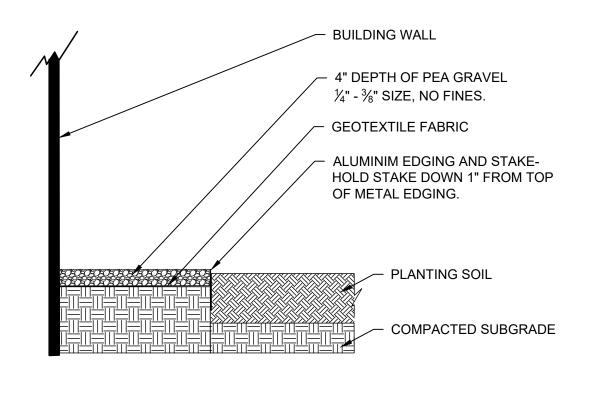


1 EVERGREEN TREE PLANTING DETAIL
L2 NOT TO SCALE

2 DECIDUOUS TREE PLANTING DETAIL
L2 NOT TO SCALE





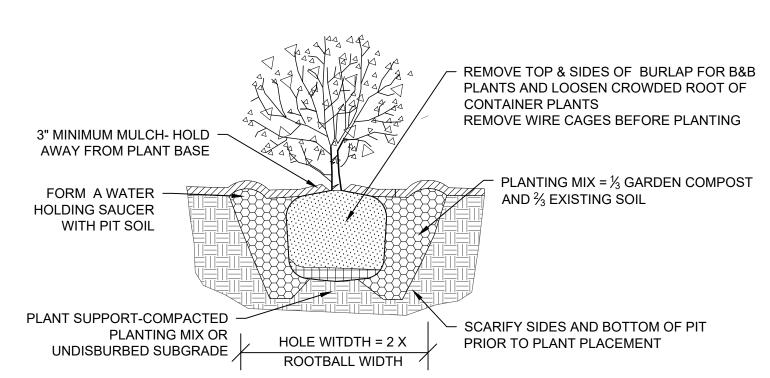


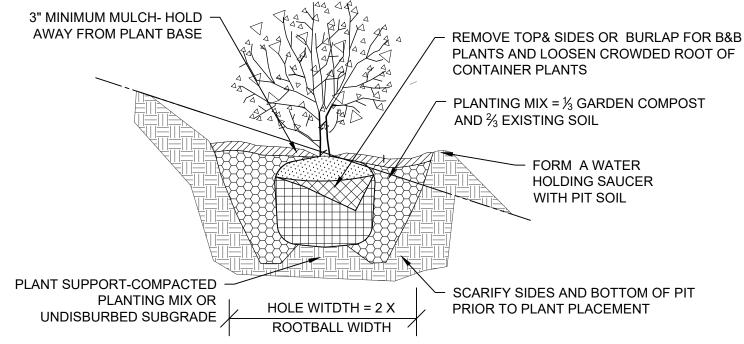
GROUNDCOVER PLANTING DETAIL

NOT TO SCALE

PEA GRAVEL EDGING DETAIL

NOT TO SCALE







6 SLOPE PLANTING DETAIL
L2 NOT TO SCALE

- 1. PROVIDE ONE PERSON WHO WILL BE PRESENT AT ALL TIMES DURING THE WORK WHO IS FAMILIAR WITH PLANT MATERIALS AND IS KNOWLEDGEABLE OF GOOD HORTICULTURAL PRACTICE.
- CONTRACTOR SHALL REMOVE EXISTING VEGETATION THAT INTERFERES WITH ACCESS TO THE NEW PLANTING LOT.
 RECENTLY PLANTED MATERIAL SHALL BE STOCKPILED AND BE RE-PLANTED IN NEW LOCATIONS INDICATED ON THE
 PLANTING PLAN.
- 3. NOTIFY THE OWNER'S REPRESENTATIVE, 48 HOURS IN ADVANCE OF WORK FOR SITE INSPECTION OF PLANT MATERIALS. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO REJECT ANY MATERIALS WHICH DO NOT MEET MINIMUM SIZE REQUIREMENTS, OR WHICH DO NOT APPEAR HEALTHY AND WELL FORMED. REMOVE UNACCEPTABLE PLANT MATERIALS FROM WORK AREA IMMEDIATELY.
- 4. VERIFY ALL QUANTITIES AND REPORT DISCREPANCIES TO OWNER'S REPRESENTATIVE FOR CLARIFICATION.
- 5. CONTACT A UTILITY LOCATES COMPANY BEFORE STARTING EXCAVATIONS.
- 6. FINAL GRADING SHALL PROVIDE DRAINAGE OF LANDSCAPE AREAS. PLANTING AREAS SHALL SLOPE AWAY FROM BUILDINGS WITH A 2% SLOPE MINIMUM. SHRUB BEDS AND LAWNS SHALL BE CROWNED WITH A 2 % SLOPE UNLESS INDICATED OTHERWISE. FINAL GRADES SHALL BE 2 INCHES BELOW ADJACENT WALKS AND CURBS FOR MULCH APPLICATIONS AND 1 INCH BELOW FOR SOD INSTALLATION.
- 7. ALL PLANTS SHALL BE HEALTHY, WELL BRANCHED, ROOTED, TRUE TO SPECIES AND VARIETY, FREE FROM DISEASE, INSECTS, PESTS AND WEEDS. THEY SHALL HAVE GOOD GROWTH HABIT FREE OF PHYSICAL DISFIGURATION, INJURY, ABRASIONS OR SUN SCALDS. PLANTS SHALL EQUAL OR EXCEED MEASUREMENTS IN THE PLANT LIST.
- 8. PLANTS WILL CONFORM TO CURRENT REQUIREMENTS OF 'AMERICAN STANDARDS FOR NURSERY STOCK' BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 9. PLANTS SHALL BE GROWN FOR THIS GENERAL LATITUDE AND ELEVATION OR SHALL BE ADEQUATELY CLIMATIZED.
- 10. PROTECT PLANTS AT ALL TIMES DURING SHIPPING, HANDLING, STORAGE AND PLANTING FROM BREAKAGE, DESICCATION, WINDBURN, SUN DAMAGE AND WEATHER EXTREMES. STORE PLANTS IN AN UPRIGHT POSITION AND ALLOW SUFFICIENT VENTILATION. PROVIDE IRRIGATION. DO NOT PICK UP CONTAINERIZED OR BALLED PLANTS BY STEMS OR TRUCKS.
- 11. ALL PLANTS WILL BE WELL FORMED AND POSSESS TOP AND ROOT GROWTH TYPICAL TO THE VARIETY AND IN HEALTHY PROPORTIONS TO EACH OTHER.
- 12. CONTAINER GROWN MATERIAL SHALL HAVE ENOUGH FIBROUS ROOT MASS TO HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. ROOT BOUND MATERIAL IS UNACCEPTABLE.
- 13. PLANTING PITS SHALL BE BACKFILLED WITH TWO-THIRDS EXISTING SOIL AND ONE-THIRD ORGANIC AMENDING MATERIAL APPROPRIATE FOR EACH SPECIES. CLEAN EXISTING SOIL OF ROOTS, PLANTS, SOD, STONES, CLODS, POCKETS OF COARSE SAND, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, ASPHALT, PLASTER, BUILDING DEBRIS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH. BACK FILL MATERIAL SHALL BE THOROUGHLY MIXED. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF AN UNUSUAL CONDITION WHICH APPEARS DETRIMENTAL TO THE NEW PLANTING IS ENCOUNTERED. PLANTING BEDS SHALL BE 4 INCHES OF AMENDING MATERIAL AND 8 INCHES EXISTING SOIL OR IF EXISTING SOIL IS INAPPROPRIATE, REMOVE IT AND REPLACE IT WITH 8 INCHES OF IMPORTED TOP SOIL AND 4 INCHES OF AMENDING MATERIAL.
- 14. AMENDING MATERIAL SHALL BE COMPOST MATERIAL, COMPOST SHALL BE FROM A PROVIDER THAT COMPLIES WITH THE US COMPOSTING COUNCIL STANDARDS FOR COMPOST PRODUCTION. THE COMPOST SHALL BE FREE OF NOXIOUS WEED SEED OR OTHER DELETERIOUS MATERIAL. IT SHALL HAVE A P.H. BETWEEN 6 AND 7.2.
- 15. TEST PLANTING SOIL TO DETERMINE FERTILIZER REQUIREMENTS PRIOR TO INSTALLING PLANTS. ADD FERTILIZER TO PLANTING SOIL AT THE RATES RECOMMENDED BY CERTIFIED SOIL LAB. DO NOT ADD FERTILIZER TO STORM WATER PLANTING AREAS.
- 16. INSTALL OR REPAIR IRRIGATION SYSTEMS PRIOR TO PLANT MATERIAL INSTALLATION.
- 17. INSTALL PLANT MATERIAL WHEN CONDITIONS ARE APPROPRIATE. DO NOT INSTALL PLANT MATERIAL DURING THE FOLLOWING CONDITIONS:
 - EXTENDED HOT WINDY WEATHER, GREATER THAN 90 DEGREES FAHRENHEIT.
- WINDY WEATHER WITH VELOCITY GREATER THAN 20 MPH.
- WHEN THE GROUND IS FROZEN AND COLDER THAN 32 DEGREES FAHRENHEIT
- 17. FIELD PLACE TREES AND SHRUBS IN LOCATIONS SHOWN ON DRAWINGS. PREPARE DEPTH OF PLANTING PIT EQUAL TO THE SIZE OF THE ROOT BALL WITH THE ROOTBALL FLUSH TO GRADE AND 1-2 INCHES HIGHER IN SLOWING DRAINING SOIL. WIDTH OF THE PLANTING PITS SHALL BE AT LEAST TWICE AS WIDE AS THE SIZE OF THE ROOT BALL.
- 18. AFTER SETTING BALLED PLANTS COMPLETELY REMOVE TWINE OR WIRE BINDING AND FOLD BACK BURLAP FROM AT LEAST ONE THIRD OF THE ROOT BALL. NON BIODEGRADABLE WRAPPING SHALL BE REMOVED. DO NOT PLANT IF THE ROOTBALL IS BROKEN OR CRACKED.
- 19. WHEN SETTING CONTAINERIZED PLANTS, LOOSEN ANY CIRCLED OR BOUND ROOTS TO INSURE STRAIGHT ROOT GROWTH INTO PLANT PIT OR BED SOIL. SEVERELY COILED AND ROOT BOUND PLANTS ARE UNACCEPTABLE.
- 20. AFTER BACKFILLING $\frac{2}{3}$ OF THE SOIL MIX THOROUGHLY WATER-IN EACH PLANT. IF RECOMMENDED PLACE FERTILIZER SLOW RELEASE TABLETS IN THE SOIL SO THEY DO NOT TOUCH THE PLANT ROOTS. TAMP IN REMAINING BACKFILL TO FINISHED GRADE AND CREATE LOW BERM WITH PLANTING SOIL AROUND PLANT TO RETAIN WATER. HOSE PLANT WITH A FINE MIST TO CLEANSE LEAVES OF DEBRIS AND REMOVE TAGS.
- 21. APPLY A COMMERCIAL GRADE, MEDIUM GRIND, NATURALLY COLORED SOFTWOOD MULCH UNIFORMLY OVER THE PLANTING AREA A MINIMUM OF TWO INCHES (2") THICK. MULCH SHALL NOT COVER THE ROOT CROWN OR BE PLACED OVER GROUND COVER PLANTINGS.
- 22. AMEND LAWN WITH A 4 INCH MINIMUM OF COMPOSTED GARDEN MULCH. ADD FERTILIZER AT RATES RECOMMENDED BY SOIL TESTING LABS. INCORPORATE AMENDING MATERIAL IN THE TOP 8 INCHES OF EXISTING SOIL AND THOROUGHLY BLEND. AFTER THE SOIL HAS BEEN PREPARED, APPLY PRILLED LIME AT A RATE DETERMINED BY TESTING, AND RAKE INTO SOIL SURFACE. FLOAT AND ROLL LAWN AREAS TO ENSURE A SMOOTH, FIRM, AND MOWABLE LAWN SURFACE.
- 23. ONLY STAKE TREES IF ADDITIONAL SUPPORT IS NECESSARY AS IN THE FOLLOWING CONDITIONS: ROOT BALLS CONTAIN VERY SANDY SOIL OR VERY WET CLAY OR TREES ARE LOCATED IN A PLACE OF EXTREMELY WINDY CONDITIONS. IF STAKING IS DETERMINED NECESSARY, STAKE SHALL BE 2" X 2" WWPA NO.2 GRADE DOUGLAS FIR, EIGHT FEET LONG. TREE TIES SHALL BE POLY CHAIN LOCK MATERIAL AND LEAVE SLACK IN THE TIE. STAKES SHOULD NOT CONTACT THE TREE ROOTS OR ROOTBALL AND SHOULD BE EMBEDDED 12" BELOW THE PLANT PIT. REMOVE THE TREE TIES AND STAKES AFTER ONE YEAR.
- 24. IRRIGATE WHEN NECESSARY TO AVOID DRYING OUT OF MATERIAL AND TO PROMOTE HEALTHY GROWTH UNTIL FINAL APPROVAL.
- 25. AT JOB COMPLETION, ALL DEBRIS, EXTRA MATERIALS, SUPPLIES AND EQUIPMENT SHALL BE REMOVED FROM THE SITE. ALL SURFACES SHALL BE SWEPT CLEAN AND MULCH AREAS CLEARED OF SOIL. ALL AREAS OF THE PROJECT SHALL BE CLEAN, ORDERLY AND COMPLETE.

Joyce & Jackson & OREGON PE ARCHITECTURE ARC

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NNHOME APARTMENTS

17650 MEINIG AVENUE

No. Description Date

DRAWN BY: JLJ CHECKED JJ BY:

JOB NO:20-004

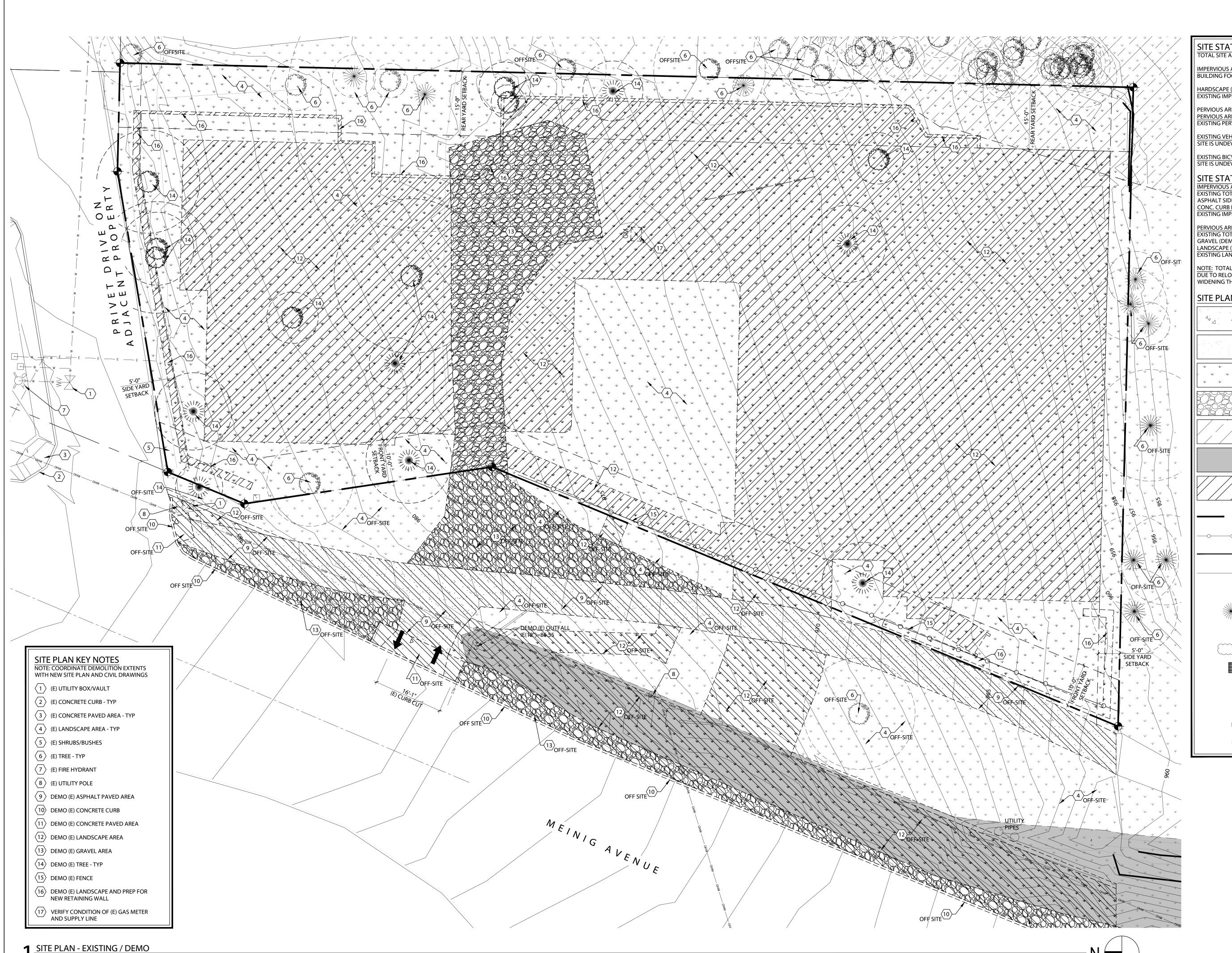
DATE: 07/7/2021

FOR: DESIGN REVIEW

LANDSCAPE NOTES
AND DETAILS

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SITE STATISTICS - EXISTING (ON SITE) TOTAL SITE AREA (AS SURVEYED): 25,869 SF 100% (0.59 ACRES) IMPERVIOUS AREA: **BUILDING FOOTPRINT (EXISTING):** 0 SF HARDSCAPE (EXISTING) **EXISTING IMPERVIOUS AREA:** PERVIOUS AREA (GRAVEL): 1,620 SF (6%) 24,249 SF (94%) 25,869 SF 100% PERVIOUS AREA (LANDSCAPE): **EXISTING PERVIOUS AREA: EXISTING VEHICLE PARKING COUNTS:** SITE IS UNDEVELOPED AND NO VEHICLE PARKING EXISTS EXISTING BICYCLE PARKING : SITE IS UNDEVELOPED AND NO BICYCLE PARKING EXISTS SITE STATISTICS - EXISTING (OFF SITE) IMPERVIOUS AREA: **EXISTING TOTAL PERVIOUS AREA:** 2,156 SF ASPHALT SIDEWALK (DEMO): <2,022 SF> CONC. CURB RAMP (DEMO): <134 SF> EXISTING IMPERVIOUS TO REMAIN: PERVIOUS AREA: EXISTING TOTAL PERVIOUS AREA: 8,243 SF GRAVEL (DEMO) <1,882 SF> LANDSCAPE (DEMO) <2,690 SF> **EXISTING LANDSCAPE TO REMAIN** NOTE: TOTAL ADJACENT OFF-SITE AREA IS ALSO REDUCED DUE TO RELOCATION OF THE STREET CURB AS A RESULT OF WIDENING THE ROAD. SITE PLAN LEGEND (E) CONCRETE (E) ASPHALT (E) LANDSCAPE V V V V (E) GRAVEL (E) FLOOD SLOPE HAZARD ZONE (E) DRAINAGE DITCH (E) FENCE LINE (E) BUILDING FOOTPRINT (E) CONTOUR LINE - SEE CIVIL (E) SIGN (E) TREE - EVERGREEN (E) TREE - DECIDUOUS (E) SHRUBBERY (E) STORMWATER INLET

(E) FIRE HYDRANT - OR - FDC

(E) GAS METER

VEHICLE CIRCULATION

BUILDING ENTRY/EXIT

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DESIGNGROUP ARCHITECTURE & ENGINEERING, INC. 11104 S.E. STARK STREET

11104 S.E. STARK STREET PORTLAND, OR 97216 T: 503.284.0988 | F: 503.546.9276

THE PAD
OWNHOME APARTMENT

REVISIONS

No. Description Date

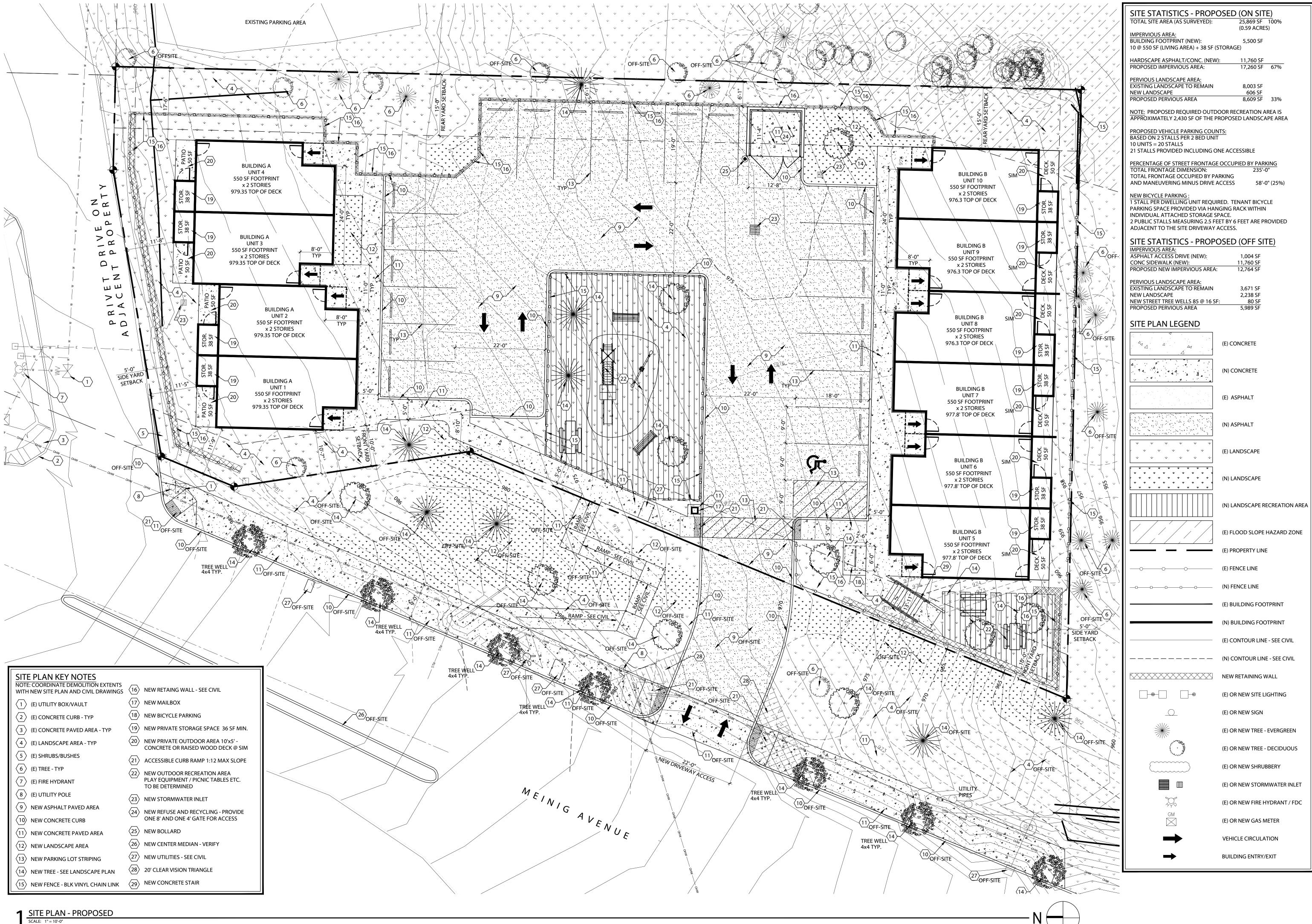
DRAWN BY: SJM
CHECKED BY: DH

JOB NO: 20-004

DATE: 07/16/2021
ISSUED FOR: DESIGN REVIEW

SHEET TITLE
SITE PLAN - EXISTING / DEMO

SHEET NO.



PALAND, OREGON
OF OREGON

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OWNHOME APARTMENTS

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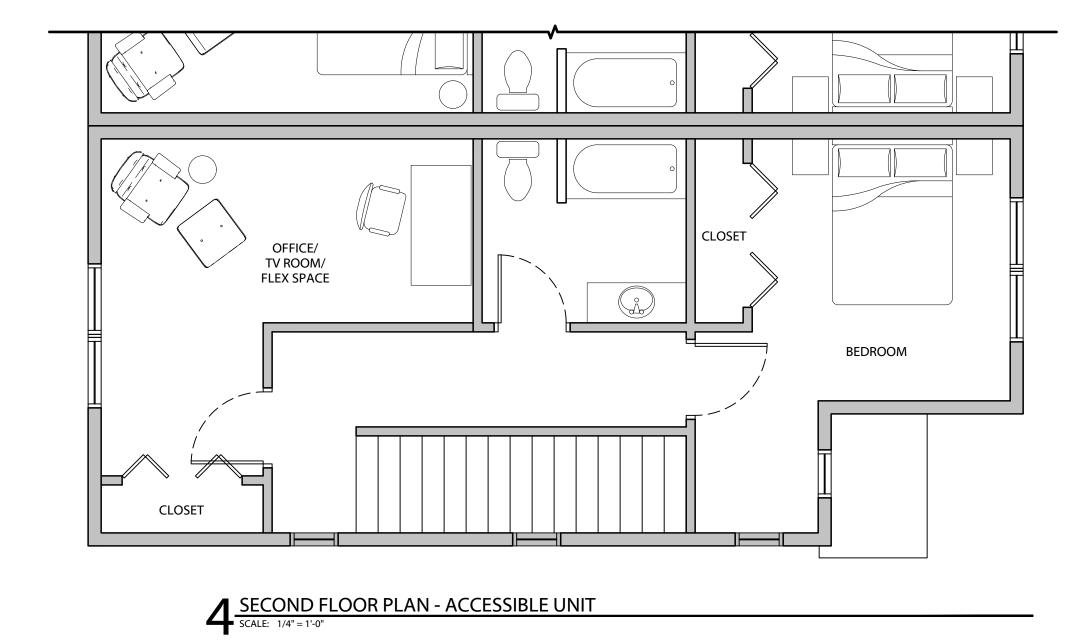
DATE: 07/16/2021

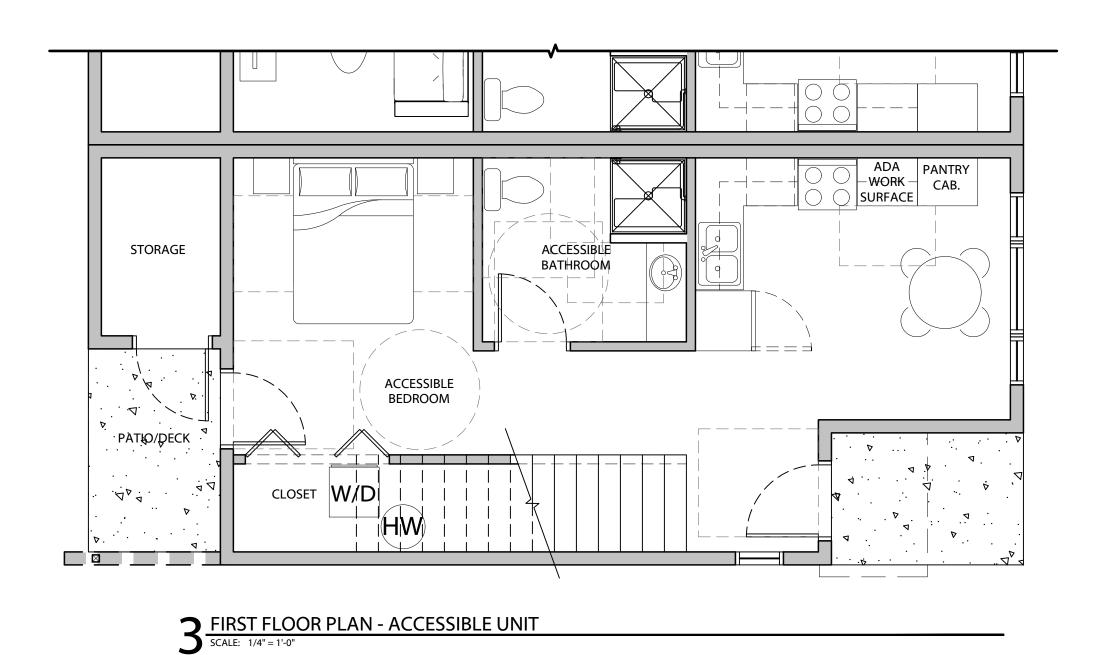
ISSUED FOR: DESIGN REVIEW

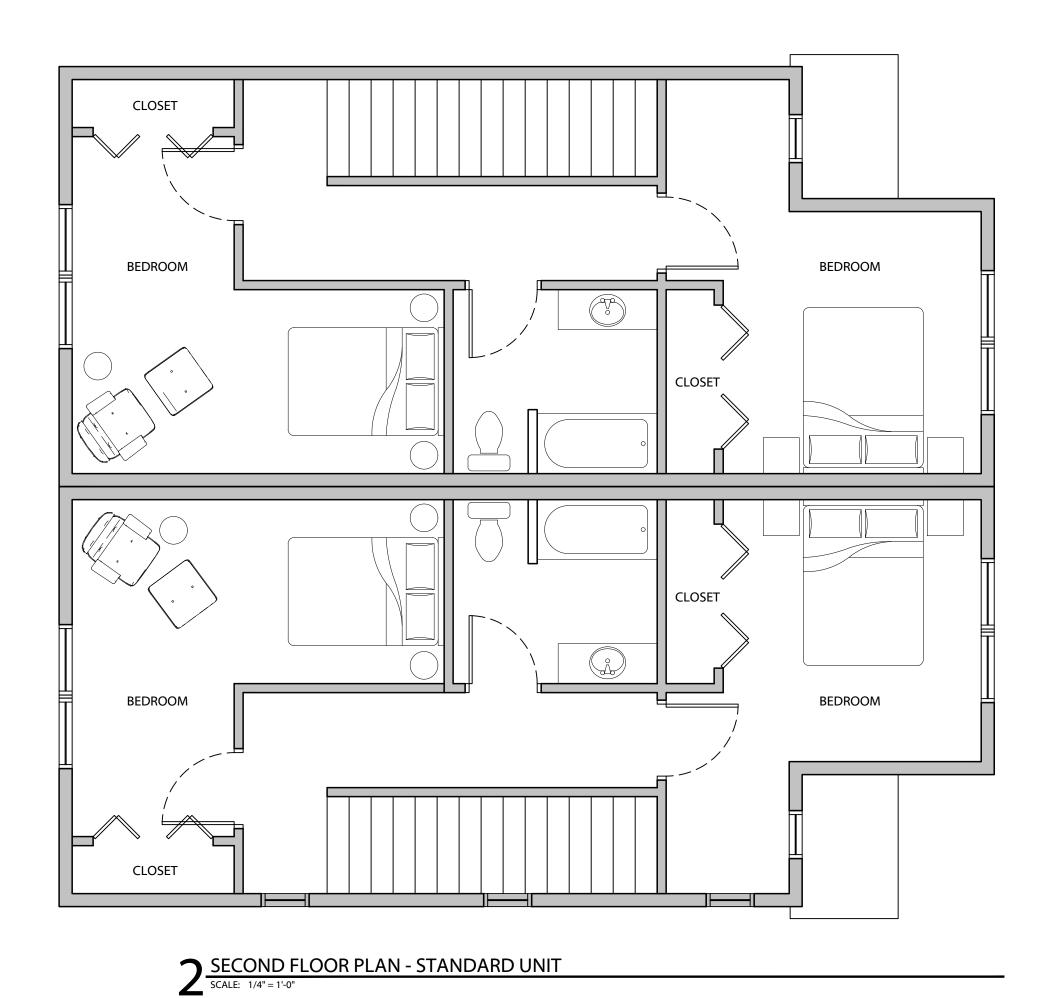
SHEET TITLE
SITE PLAN - PROPOSED

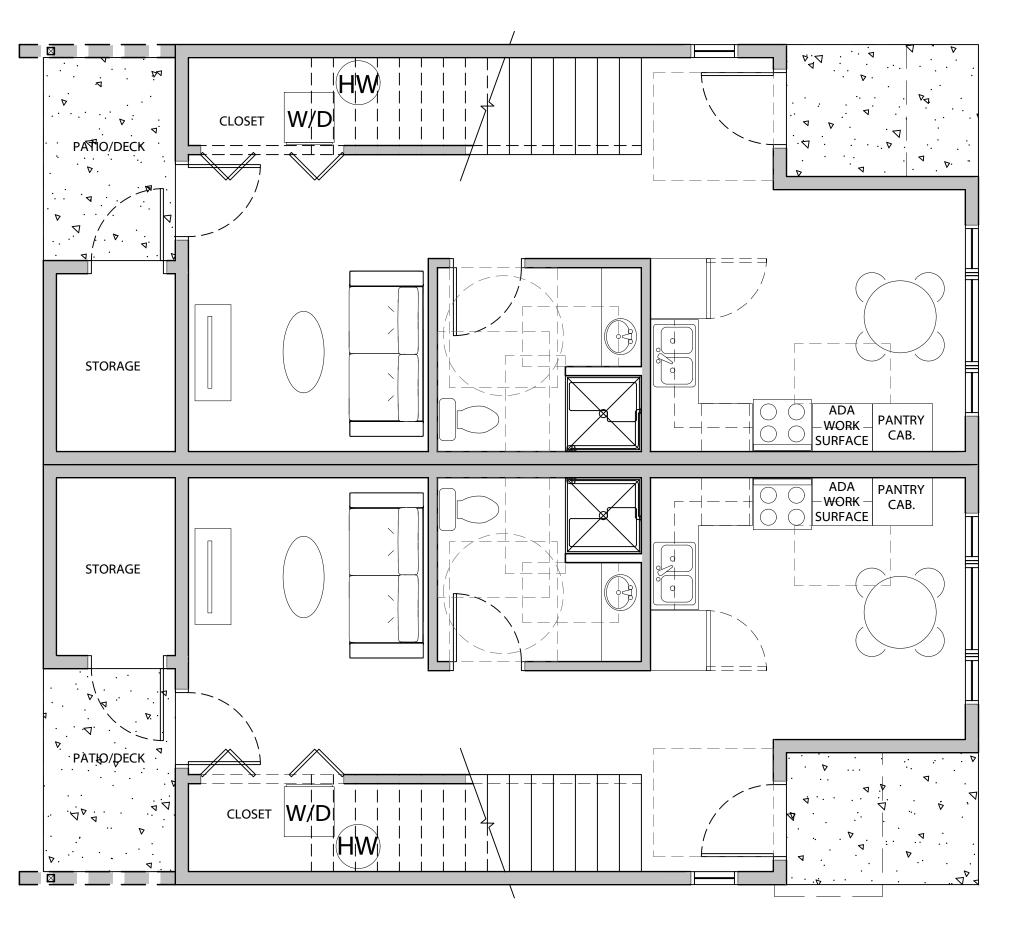
SHEET NO.

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FIRST FLOOR PLAN - STANDARD UNIT

SCALE: 1/4" = 1'-0"

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REVISIONS Description

DRAWN BY: SJM CHECKED BY: DH JOB NO: 20-004

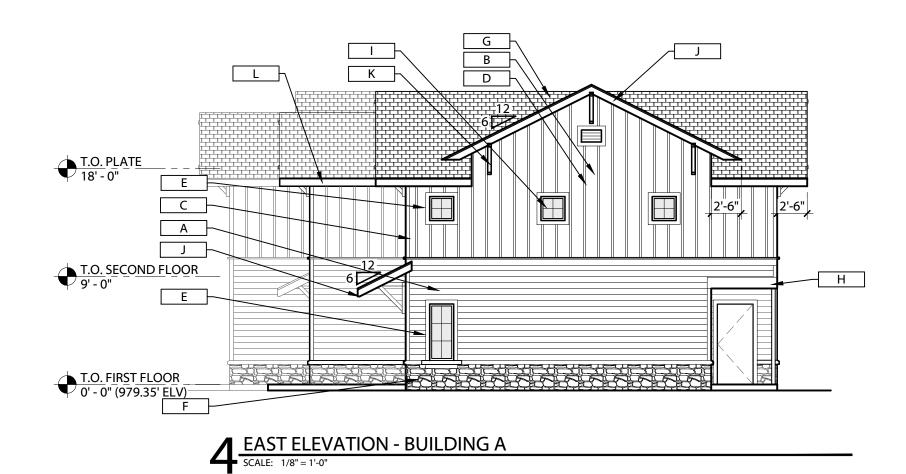
DATE: 07/16/2021

ISSUED FOR: DESIGN REVIEW

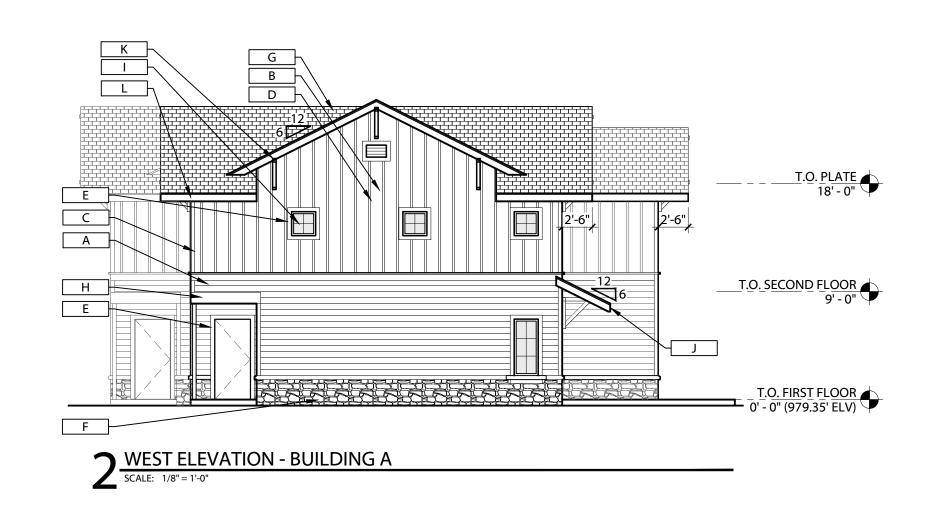
SHEET TITLE

FIRST AND SECOND FLOOR PLANS PROPOSED

SHEET NO.









				DESCRIPTIO	N	
CODE	MATERIAL	MFG	PRODUCT	COLOR	DIM.	ADDITIONAL INFO
Α	LAP SIDING	JAMES HARDIE	SELECT CEDAR MILL	WARM WHISKY	8 ½" (7" EXPOSURE)	
В	HARDIE PANEL	JAMES HARDIE	SELECT CEDAR MILL	COBBLE STONE	PANEL	
С	HARDIE TRIM	JAMES HARDIE	5/4 ROUGH SAWN	ARCTIC WHITE	5.5"	
D	HARDIE TRIM	JAMES HARDIE	RUSTIC GRAIN BATTEN BOARDS	COBBLE STONE	2.5"	
E	HARDIE TRIM	JAMES HARDIE	₹ ROUGH SAWN	ARCTIC WHITE	3.5"	
F	CULTURED STONE	MUTUAL MATERIALS	COUNTRY LEDGE STONE	SKYLINE	VARIES	
G	ASPHALT SHINGLES	OWENS CORNING	OAKRIDGE	BROWNWOOD		
Н	HARDIE TRIM	JAMES HARDIE	5/4 ROUGH SAWN	ARCTIC WHITE	11.25"	
ı	VINYL WINDOWS	TBD	TBD	WHITE	VARIES	LOW-E, INSULATED GLASS

EXTERIOR FINISH MATERIAL LEGEND									
				DESCRIPTIO	N				
CODE	MATERIAL	MFG	PRODUCT	COLOR	DIM.	ADDITIONAL INFO			
J	WOOD RAKE	N/A	RAKE BOARD	ARCTIC WHITE	2 X 8	DIMENSIONAL LUMBER			
К	WOOD BRACKET	EKENA MILLWORK	WOOD BRACKET	ARCTIC WHITE	32" X 32"	4"X4" ROUGH SAWN LUMBER - WRC OR DF			
L	WOOD FASCIA	N/A	WOOD FASCIA	ARCTIC WHITE	2 X 8	DIMENSIONAL LUMBER			

ELEVATIONS GENERAL NOTES - MATERIAL MANUFACTURERS AND FINISH TO

- MATERIAL MANUFACTURERS AND FIN BE DETERMINED.

- COLORS SHALL BE IN MUTED EARTH TONE
PALETTE AS SUGGESTED BY SANDY STYLE
DEVELOPMENT CODE - SEE COLOR RENDERS
INCLUDED WITH THIS SUBMISSION

ETERED ARE
TIMOPHY PORTINGER TO
POLLAND, OREGON
OF OREGO

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THE PAD
WNHOME APARTMENTS
17650 MEINIG AVENUE

REVISIONS

No. Description Date

CHECKED BY: DH

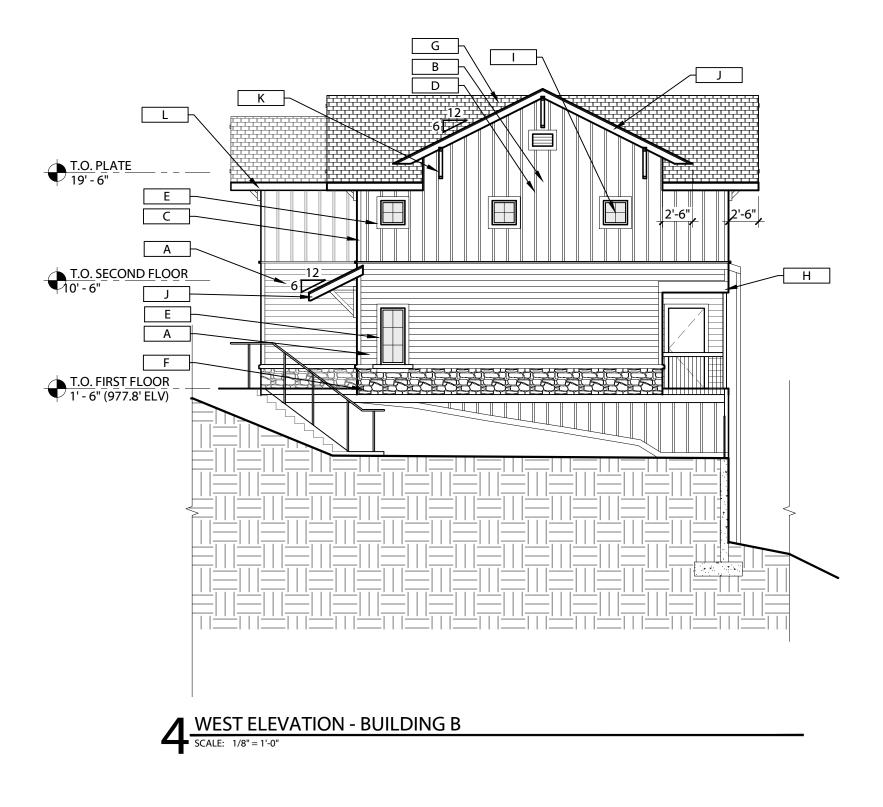
JOB NO: 20-004

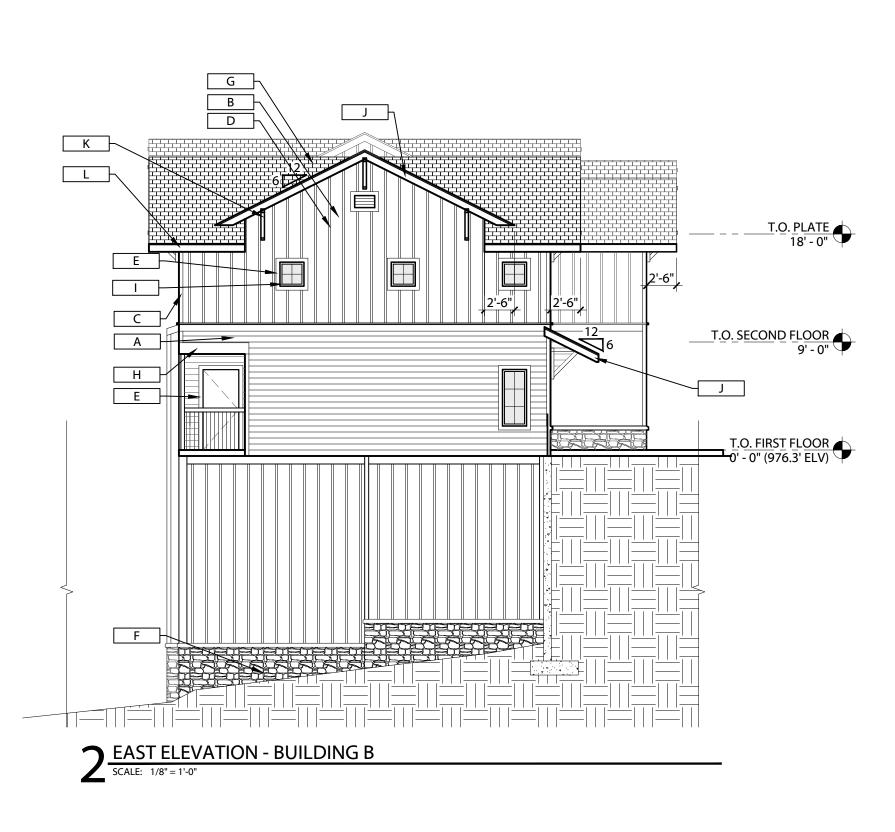
DATE: 07/16/2021
ISSUED FOR: DESIGN REVIEW

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EXTERIOR ELEVATIONS
PROPOSED NORTH BUILDING "A"

SHEET NO.









NORTH ELEVATION - BUILDING B

SCALE: 1/8" = 1'-0"

				DESCRIPTIO	N	
CODE	MATERIAL	MATERIAL MFG	PRODUCT	COLOR	DIM.	ADDITIONAL INFO
Α	LAP SIDING	JAMES HARDIE	SELECT CEDAR MILL	WARM WHISKY	8 ¹ / ₄ " (7" EXPOSURE)	
В	HARDIE PANEL	JAMES HARDIE	SELECT CEDAR MILL	COBBLE STONE	PANEL	
С	HARDIE TRIM	JAMES HARDIE	₹ ROUGH SAWN	ARCTIC WHITE	5.5"	
D	HARDIE TRIM	JAMES HARDIE	RUSTIC GRAIN BATTEN BOARDS	COBBLE STONE	2.5"	
E	HARDIE TRIM	JAMES HARDIE	₹ ROUGH SAWN	ARCTIC WHITE	3.5"	
F	CULTURED STONE	MUTUAL MATERIALS	COUNTRY LEDGE STONE	SKYLINE	VARIES	
G	ASPHALT SHINGLES	OWENS CORNING	OAKRIDGE	BROWNWOOD		
Н	HARDIE TRIM	JAMES HARDIE	5/4 ROUGH SAWN	ARCTIC WHITE	11.25"	
ı	VINYL WINDOWS	TBD	TBD	WHITE	VARIES	LOW-E, INSULATED GLASS

EXTERIOR FINISH MATERIAL LEGEND								
				DESCRIPTIO	N			
CODE	MATERIAL	MFG	PRODUCT	COLOR	DIM.	ADDITIONAL INFO		
J	WOOD RAKE	N/A	RAKE BOARD	ARCTIC WHITE	2 X 8	DIMENSIONAL LUMBER		
К	WOOD BRACKET	EKENA MILLWORK	WOOD BRACKET	ARCTIC WHITE	32" X 32"	4"X4" ROUGH SAWN LUMBER - WRC OR DF		
L	WOOD FASCIA	N/A	WOOD FASCIA	ARCTIC WHITE	2 X 8	DIMENSIONAL LUMBER		

ELEVATIONS GENERAL NOTES

- MATERIAL MANUFACTURERS AND FINISH TO BE DETERMINED.

- COLORS SHALL BE IN MUTED EARTH TONE PALETTE AS SUGGESTED BY SANDY STYLE DEVELOPMENT CODE - SEE COLOR RENDERS INCLUDED WITH THIS SUBMISSION PER LAND, OREGON
OF OREGON

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THE PAD

OWNHOME APARTMENTS

17650 MEINIG AVENUE

No.	Description	Da

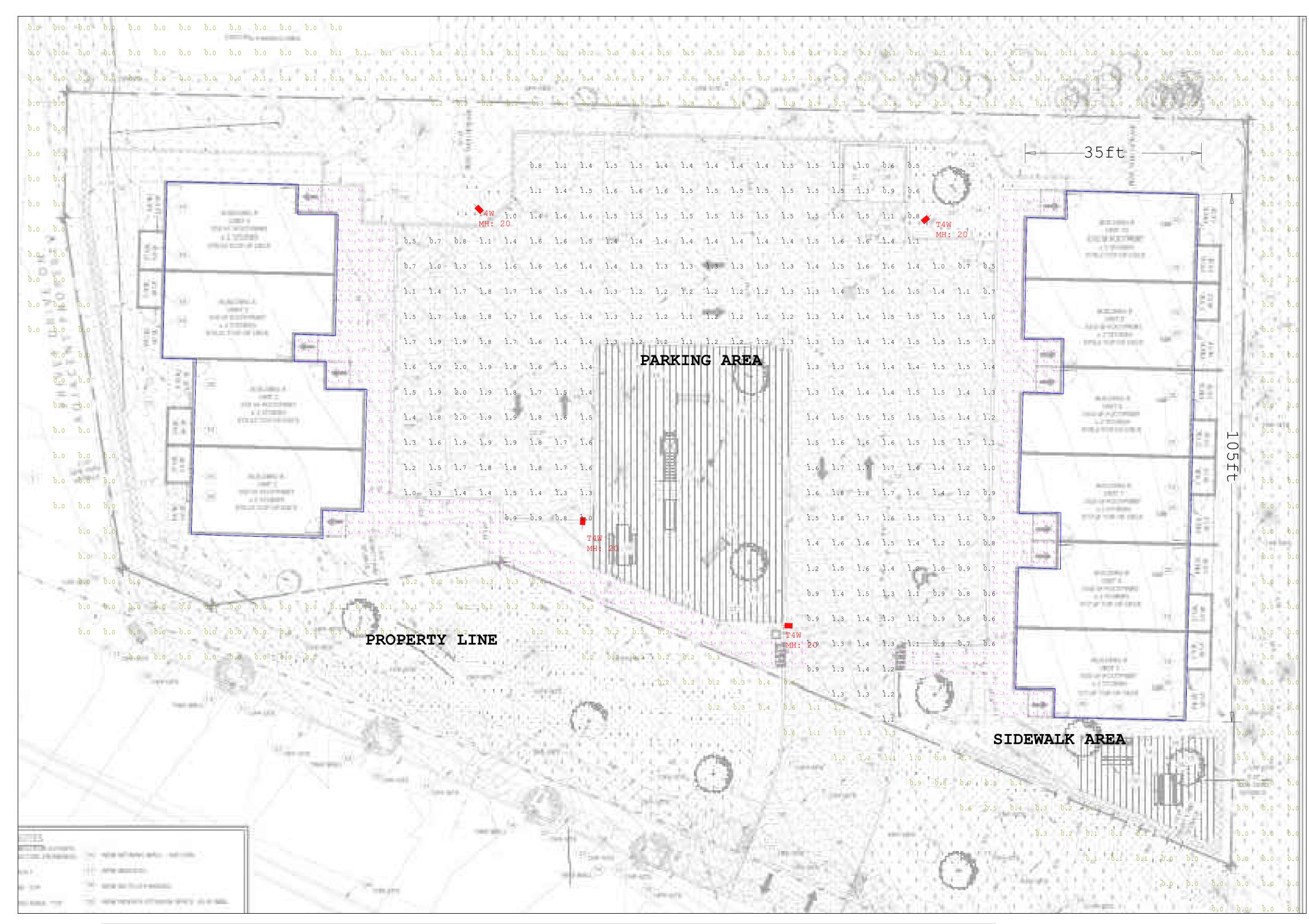
CHECKED BY: DH
JOB NO: 20-004

DATE: 07/16/2021
ISSUED FOR: DESIGN REVIEW

SHEET TITLE

EXTERIOR ELEVATIONS
PROPOSED SOUTH BULDING "B"

SHEET NO.



Luminaire Schedule								
Symbol	Label	Qty	Lum. Watts	Lum. Lumens	LLF	Arrangement	Description	
	T4W	4	49.8	6245	0.850	SINGLE	RAR1-80L-50-4K7-4W	

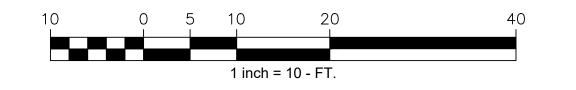
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking area	Illuminance	Fc	1.37	2.0	0.5	2.74	4.00
Property line	Illuminance	Fc	0.16	1.3	0.0	N.A.	N.A.
Sidewalk area	Illuminance	Fc	0.58	1.5	0.0	N.A.	N.A.

Note:

Calculation Grid (5ft \times 5ft) @ Ground Level.

SidewalkGrid (2ft x 2ft) @ Ground Level.

Luminaire mounting heights are noted on each Luminaire Label.



LT-1

THIS LIGHTING DESIGN IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO HUBBELL LIGHTING. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION RITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.

LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.

PHOTOMETRIC PLAN
The Pad Townhouses Sandy OR

EVISED FROM DRAWING NUMBER(S):	®	DN BY:
6577	HUBBELL	Harish
6577R1		REV. BY:
	Hubbell Lighting, Inc. 701 MILLENNIUM BLVD. GREENVILLE, SC 29607	QUOTE: N/A

DN BY:
Harish

REV. BY:

DATE:
05-27-2021

CHK BY:

DATE:
AS NOTED

DRAWING / DESIGN NO.:

N/A

DATE:
AS NOTED

DRAWING / DESIGN NO.:
20-26577R2