



Name of Project:	Ace Hardware - Accessory Storage Building
Location or Address:	39181 Pioneer Blvd

Map & Tax Lot #	T: 24E13CA	R:	Section:	Tax Lot (s): 24E13CA00200
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Request: We are wanting to construct an accessory building for additional storage of products to meet the needs of our customers and community. The proposed building will be located in the non-parking area found on the farthest North side of the lot. The building will meet the City standards for code and design, and will be aesthetically compatible with the Ace building.

I am the (check one) owner lessee of the property listed above, and the statements and information contained herein are in all respects true, complete and correct to the best of my knowledge and belief.

Applicant (if different than owner)	Owner John Milward
Address	Address PO Box 417
City/State/Zip	City/State/Zip Sandy, OR 97055
Email	Email aceheritagehardware@gmail.com
Phone	Phone 503-702-6738
Signature	Signature

File #: 21-060DR	Date: 10.29.21	Fees: \$560 ~ 10.29.21	Planner:	
Type of review:	Type I <input checked="" type="checkbox"/>	Type II <input type="checkbox"/>	Type III <input type="checkbox"/>	Type IV <input type="checkbox"/>
Has applicant attended a pre-app?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	If yes, date of pre-app meeting: 09/30/2021	

Ace Hardware – Accessory Storage Building

October 2021

Zoning

-This accessory building is located in a C1 zone. Located in a No Parking area and there will be no change to the surface area. This building will be used for storage purposes only and not accessible to customers or the public.

-As pertaining to C1 zone restriction the building will not exceed a height of 45 feet.

-There is no minimum setback.

-There will be no removal of the current landscaping.

Building Design

-Standards - See attached copy of the architectural and engineering design.

-Elevations - See attached copy of the architectural and engineering design.

-Pedestrian - See attached copy of the architectural and engineering design.

-Building will include Sandy style architectural features to match the main Ace building. See attached copy of the architectural and engineering design.

-Construction will comply with City of Sandy requirements.

-Building Materials - See attached copy of the architectural and engineering design.

-Elevation Materials - See attached copy of the architectural and engineering design.

-Building will be painted to match the color of the main Ace building and metal roofing will be brown to match the existing roof on the main Ace building.

-Roof Pitch - See attached copy of the architectural and engineering design.

-Gable Orientation - See attached copy of the architectural and engineering design.

- Metal roofing will be used to match the existing roof on the main Ace building.

-N/A (There will be no electrical or plumbing to the building.)

-N/A (As a Type C1 design, no civic space amenities are required.)

-The dumpsters will be placed behind a fence that will mirror the materials use on the bypass doors on the building; See attached copy of the architectural and engineering design.

- Drainage will meet the standard of an approved storm drainage receptor by excavating and installing rain water drain to meet the existing rain water drain located at the NW corner of the Ace building. Plumbing inspection has been completed and evaluated by a drain camera video to insure proper function and construction of storm drainage receptor.

Improvements and Utilities

--N/A (There will be no electrical or plumbing to the building.)

Parking and Landscaping Considerations

-No parking is needed for the site: however, there is a designated ADA parking space available in front of main Ace building.

-There will be no removal of the current landscaping.

Lighting Standards

-There will be no exterior lighting.

Processing Steps

Land use application – attached

Fee – attached

Mailing labels – N/A

Project narrative – attached

Architectural drawings – attached

Garbage enclosure – see architectural design

Site plan – attached

Landscaping – N/A There will be no removal of the current landscaping.

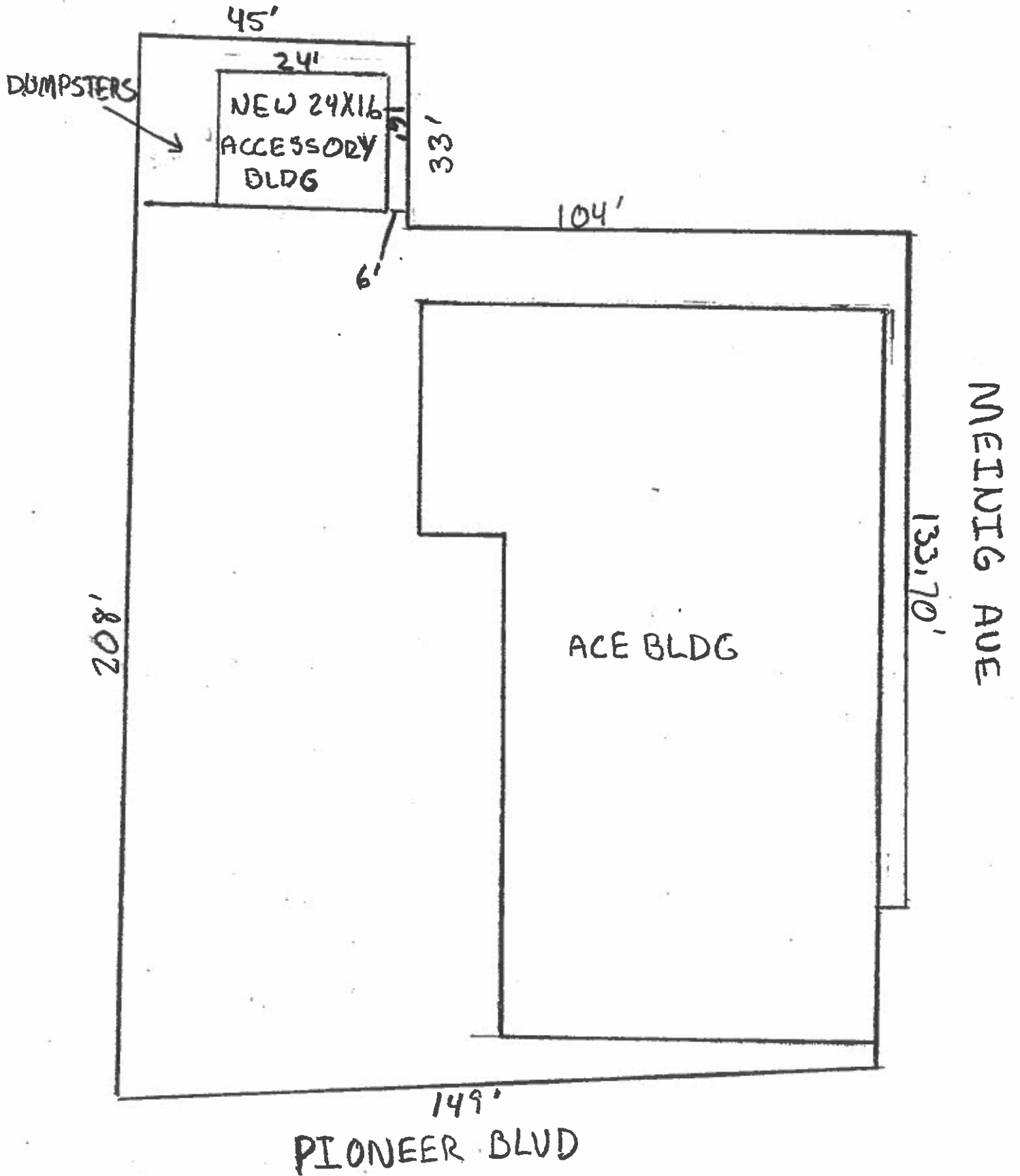
Utility plan – N/A There will be no electrical or plumbing to the building.

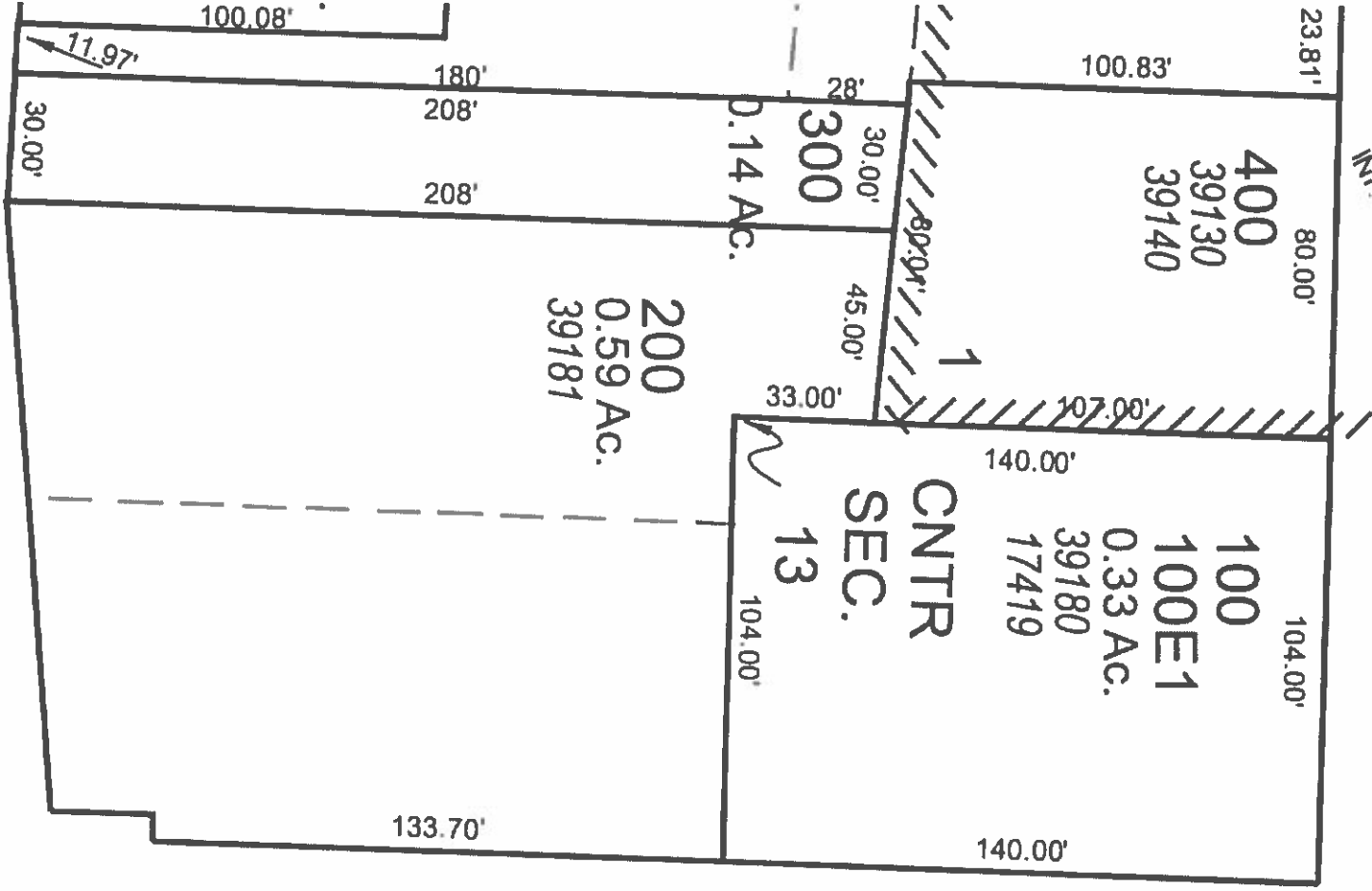
Civic space – N/A Type I

Line of sight -N/A

Photometric analysis -N/A

Lighting fixtures – N/A





400
39130
39140

200
0.59 Ac.
39181

100
100E1
0.33 Ac.
39180
17419

CNTR
SEC.
13

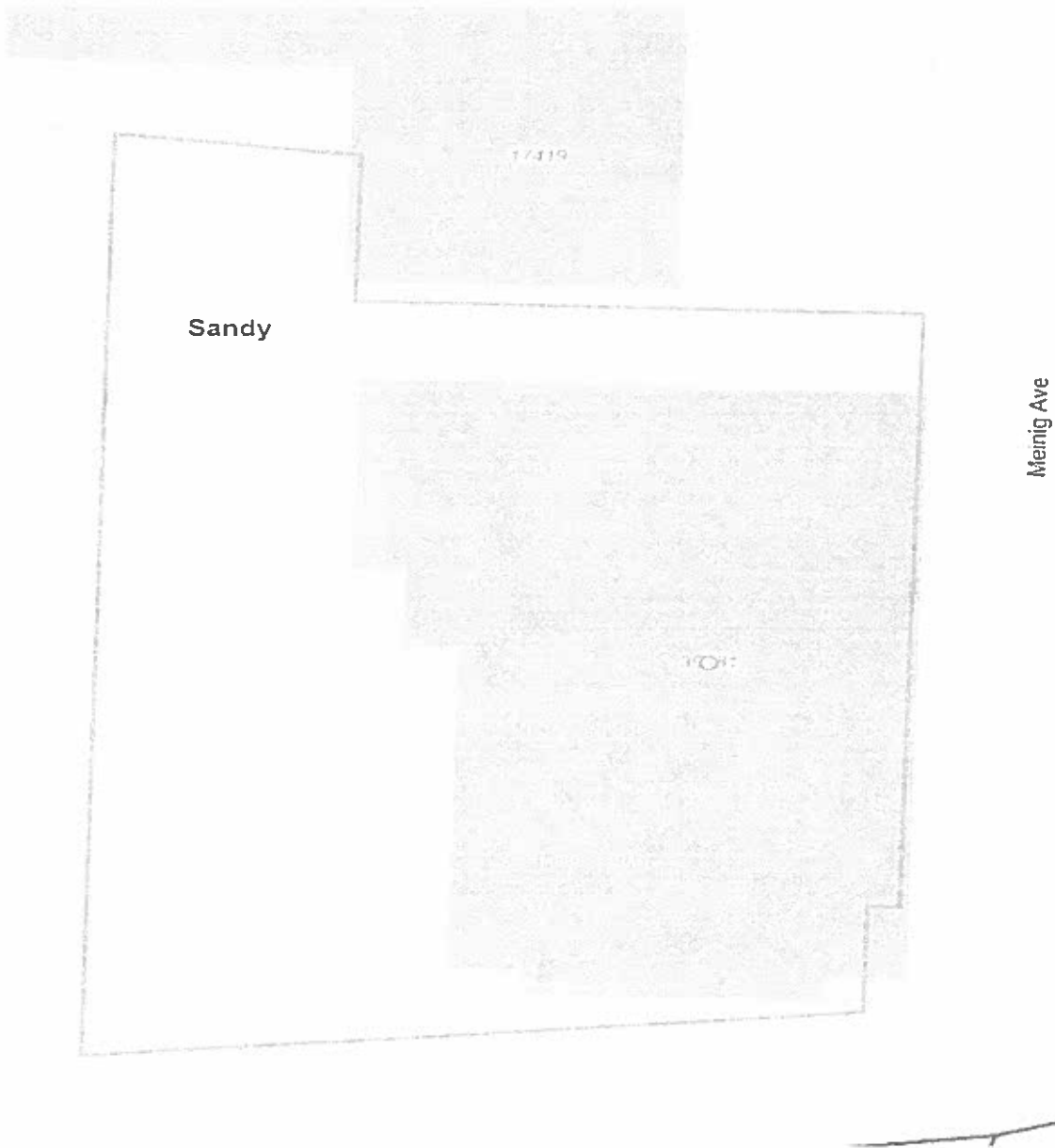
0.14 Ac.

104.00'

133.70'

N

N



Objectid: 29673

Primary Address: 39181 Pioneer Blvd, Sandy, 97055

Jurisdiction: Sandy (<https://www.ci.sandy.or.us>)

Map Number: 24E13CA

Taxlot Number: 24E13CA00200

Parcel Number: 00658586

Document Number: 2011-050884

Census Tract: 023404

Landclass: 201

Assessment

Schools
