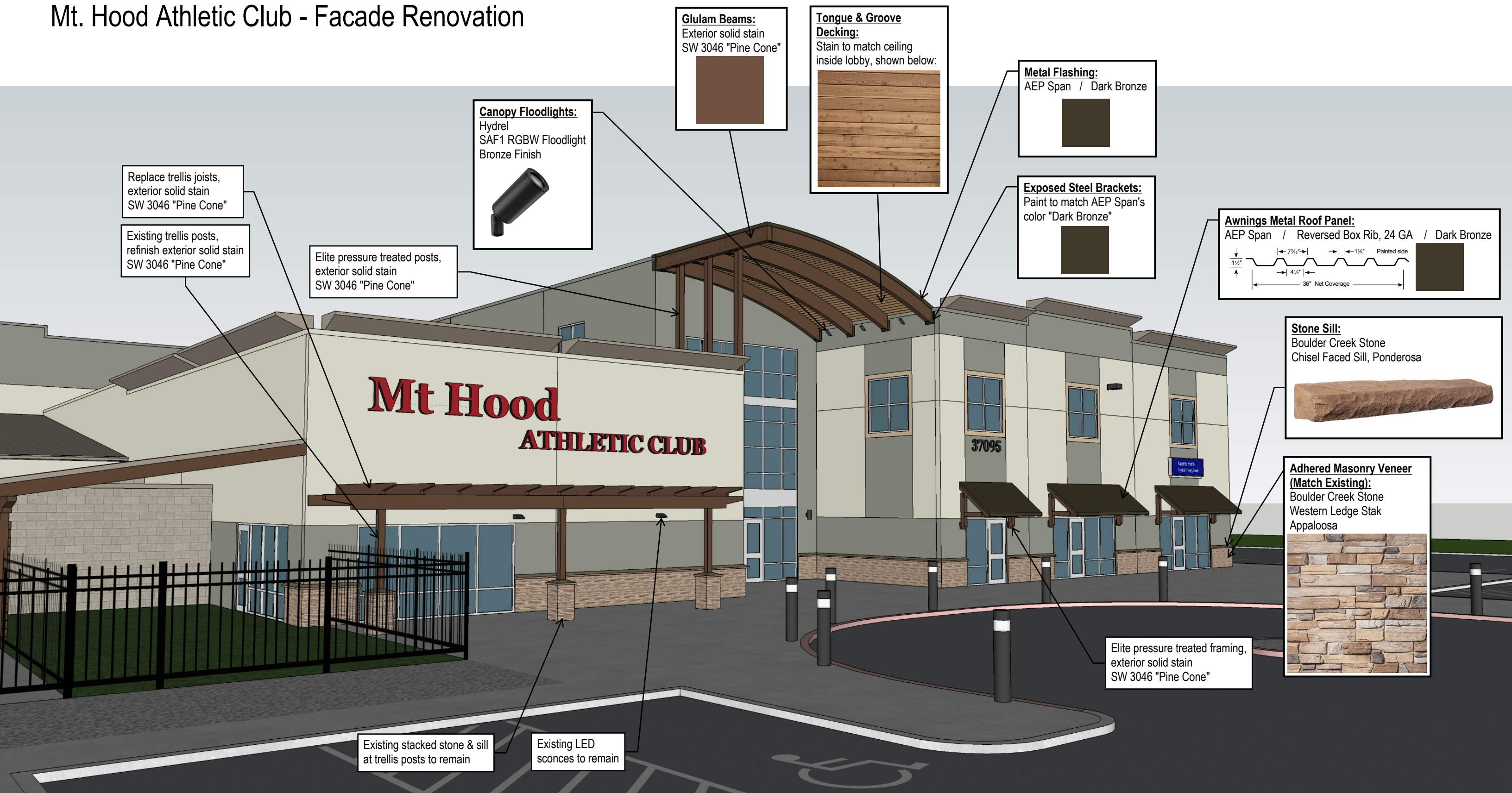


Mt. Hood Athletic Club - Facade Renovation



Glulam Beams:
Exterior solid stain
SW 3046 "Pine Cone"

Tongue & Groove Decking:
Stain to match ceiling
inside lobby, shown below:

Metal Flashing:
AEP Span / Dark Bronze

Exposed Steel Brackets:
Paint to match AEP Span's
color "Dark Bronze"

Awnings Metal Roof Panel:
AEP Span / Reversed Box Rib, 24 GA / Dark Bronze

Painted side

Stone Sill:
Boulder Creek Stone
Chisel Faced Sill, Ponderosa

Adhered Masonry Veneer (Match Existing):
Boulder Creek Stone
Western Ledge Stak
Appaloosa

Canopy Floodlights:
Hydrel
SAF1 RGBW Floodlight
Bronze Finish

Replace trellis joists,
exterior solid stain
SW 3046 "Pine Cone"

Existing trellis posts,
refinish exterior solid stain
SW 3046 "Pine Cone"

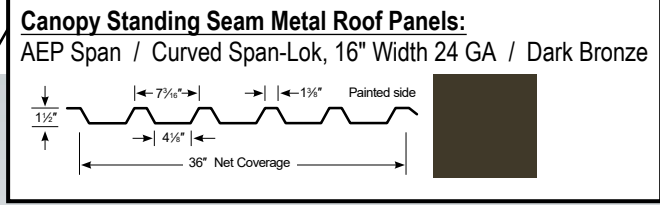
Elite pressure treated posts,
exterior solid stain
SW 3046 "Pine Cone"

Elite pressure treated framing,
exterior solid stain
SW 3046 "Pine Cone"

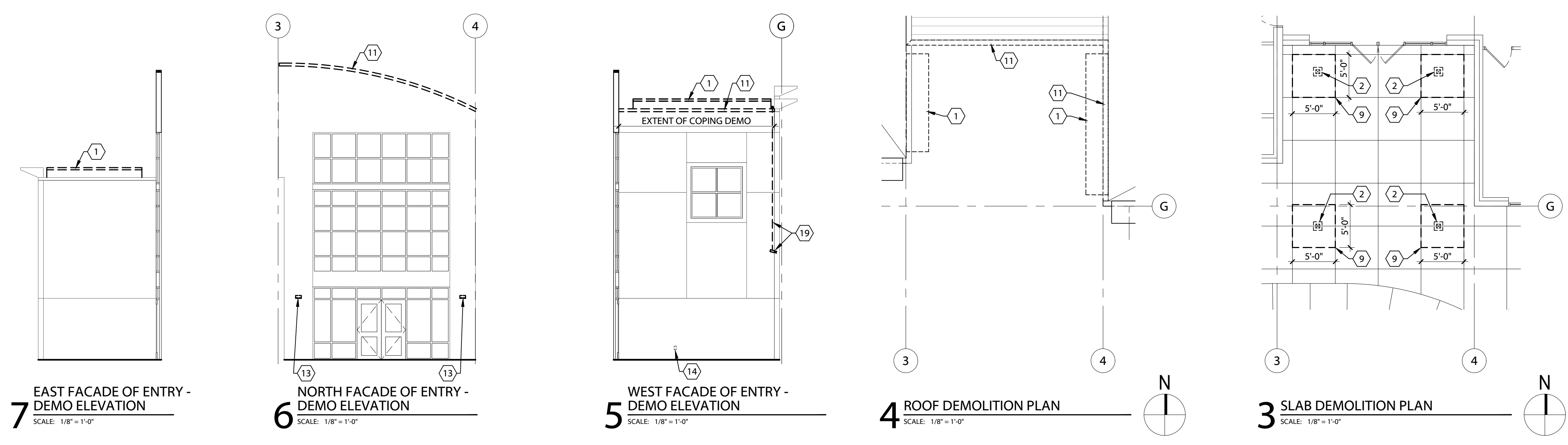
Existing stacked stone & sill
at trellis posts to remain

Existing LED
sconces to remain

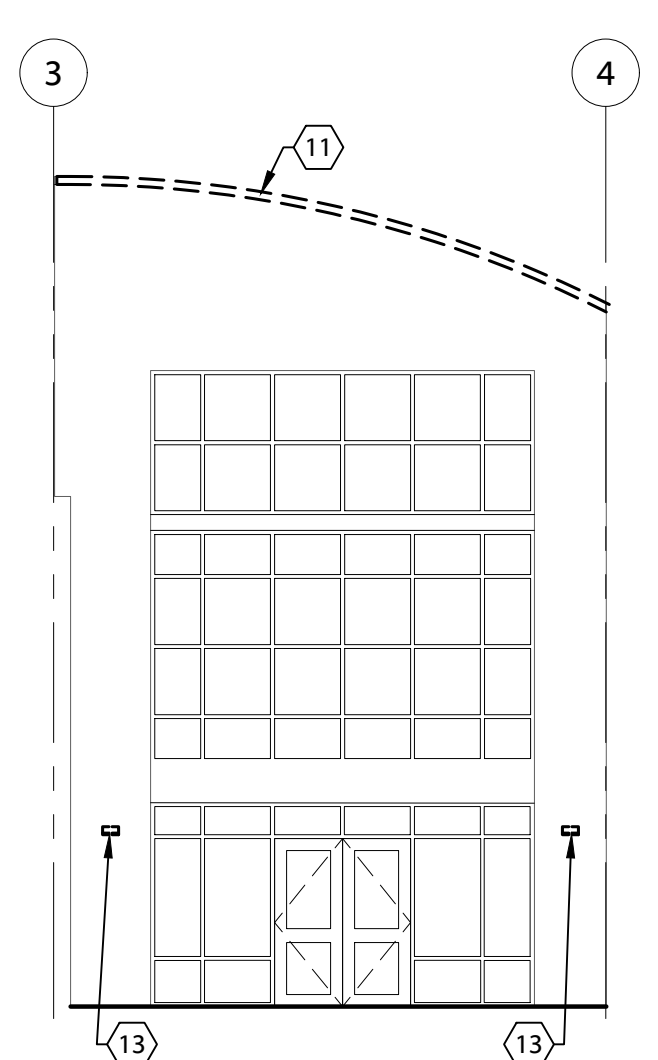
Mt. Hood Athletic Club - Facade Renovation



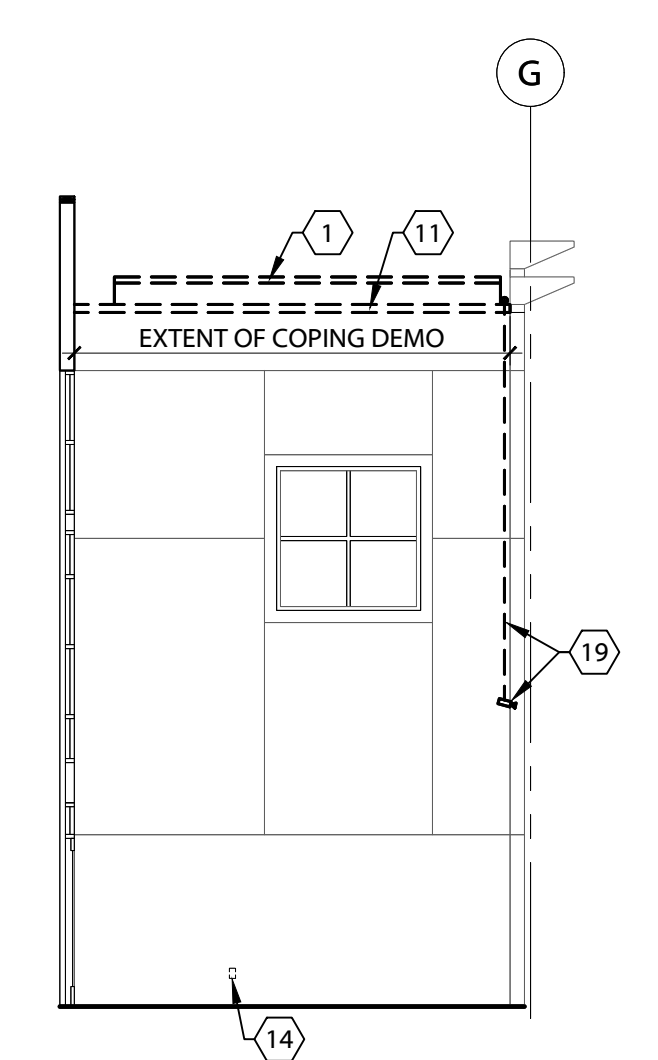
\\AXIS-SVR-02\Share\Projects\2019\Projects\19-024_Mt_Hood_Athletic_Club_Facade_F_ Drawings\F2_Current\CAD\A-111 - DEMOLITION PLANS & ELEVATIONS.dwg © Plot Date: Nov 20 23 @ Time: 9:56 AM



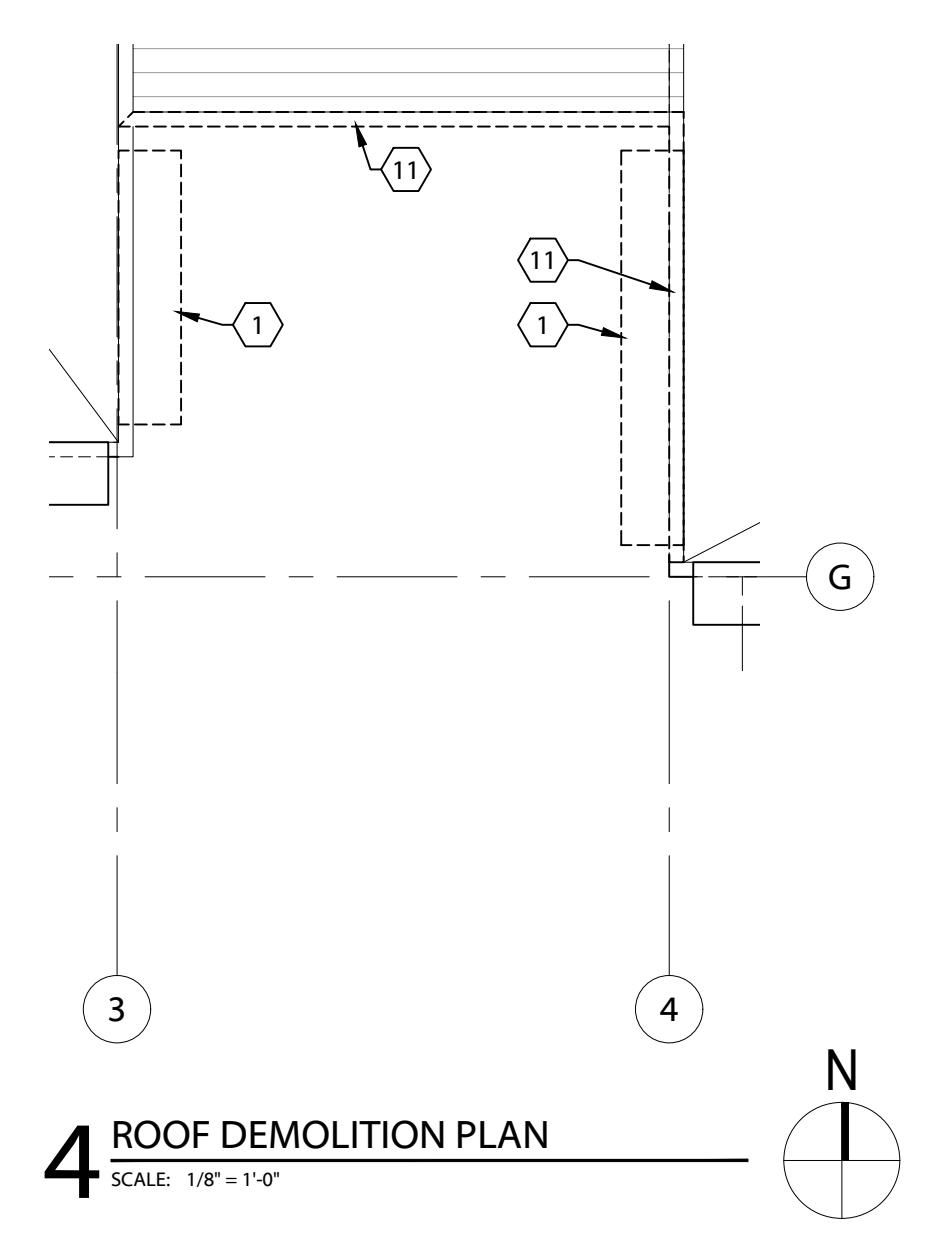
7 EAST FACADE OF ENTRY - DEMO ELEVATION
SCALE: 1/8" = 1'-0"



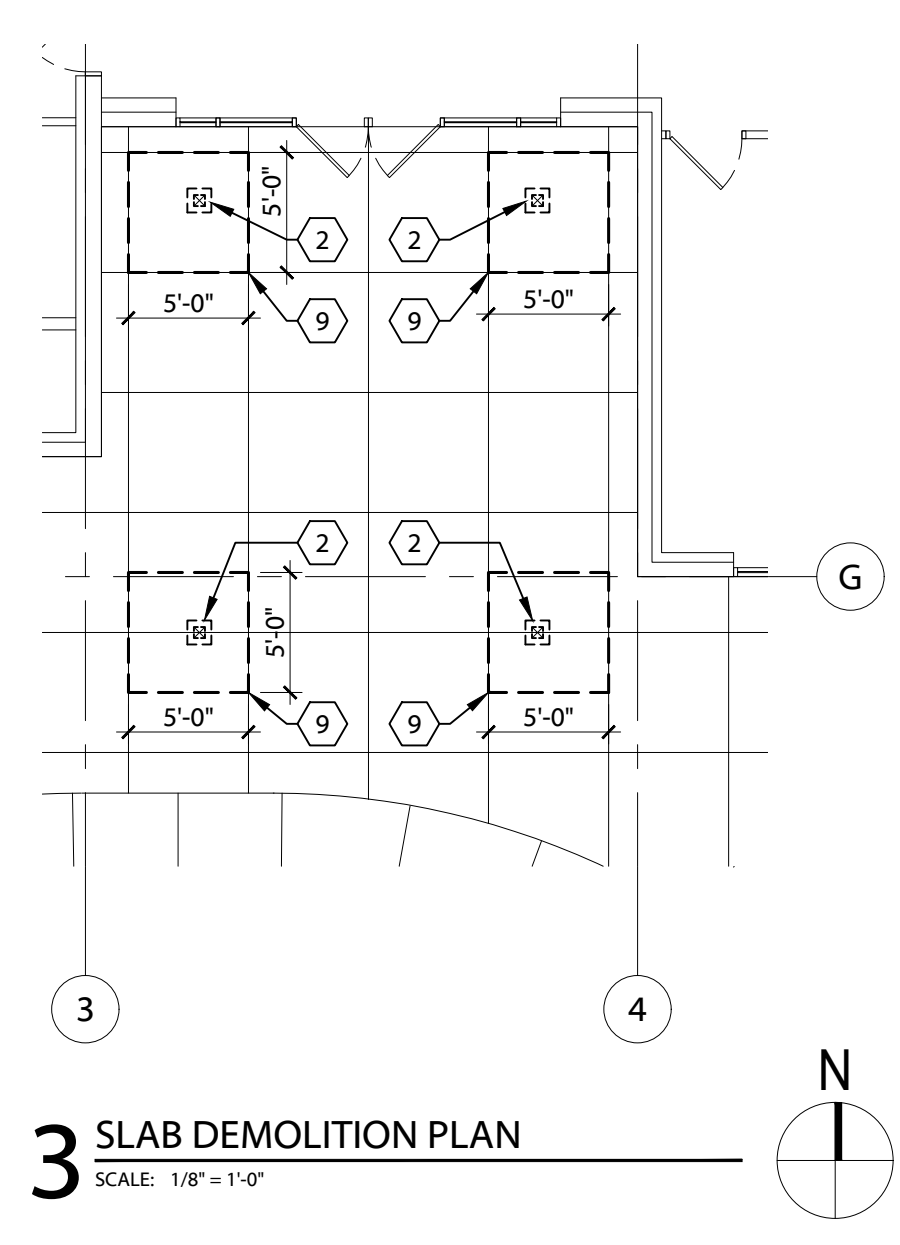
6 NORTH FACADE OF ENTRY - DEMO ELEVATION
SCALE: 1/8" = 1'-0"



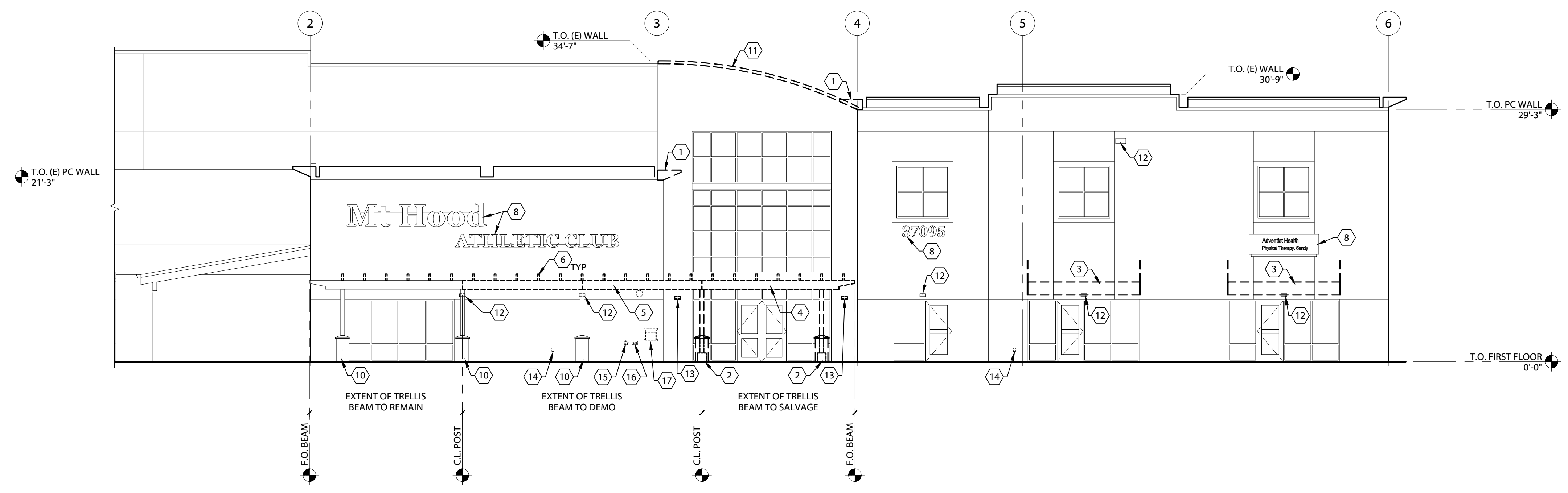
5 WEST FACADE OF ENTRY - DEMO ELEVATION
SCALE: 1/8" = 1'-0"



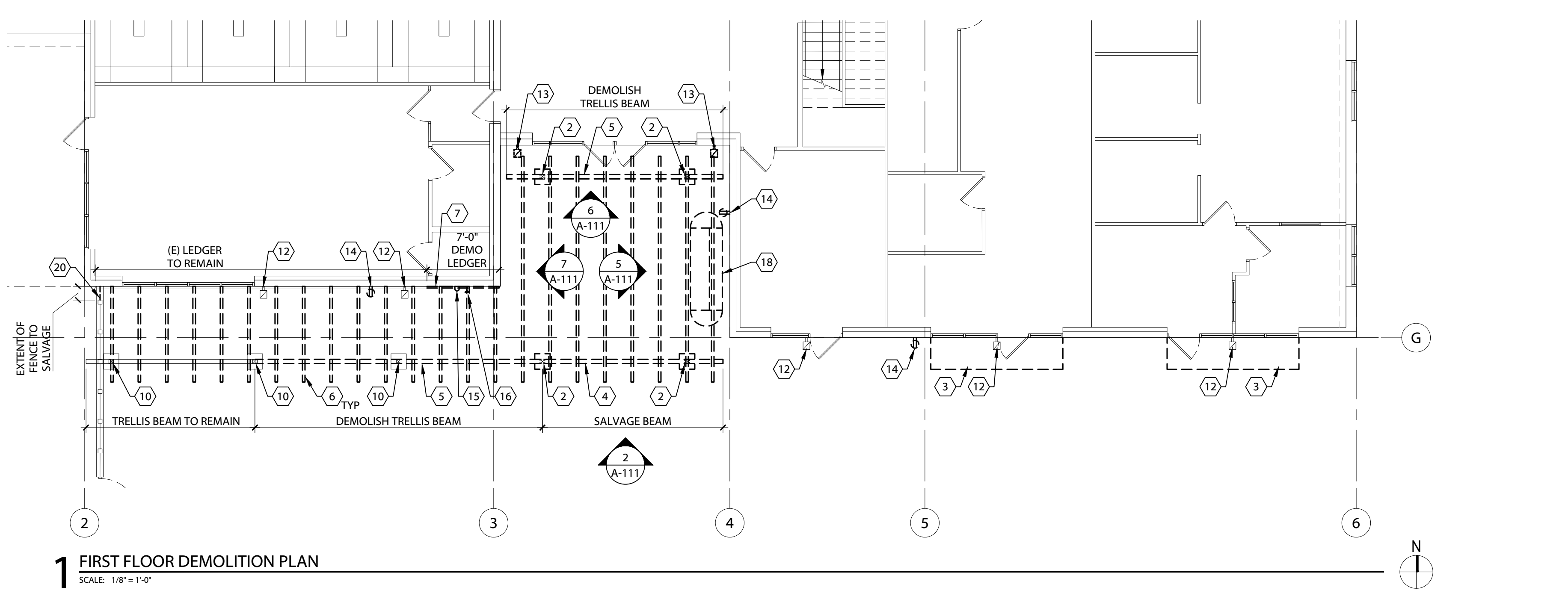
4 ROOF DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



3 SLAB DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



2 SOUTH DEMO ELEVATION
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

DEMOLITION GENERAL NOTES:

- DEMOLISH AS REQUIRED TO ACCOMPLISH WORK INDICATED IN THESE DOCUMENTS.
- TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE SITE TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- MAINTAIN ADEQUATE SUPPORT, INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.
- INFORMATION RELATING TO THE EXISTING BUILDING IS BASED ON FIELD MEASUREMENTS. ACTUAL CONDITIONS MAY VARY AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- VERIFY LIMITS OF DEMOLITION REQUIRED TO COMPLETE WORK PRIOR TO COMMENCEMENT. GRAPHIC REPRESENTATION OF AFFECTED AREAS ON DRAWINGS MAY BE SMALLER OR LARGER THAN INDICATED.
- DEMOLITION WORK CANNOT PROCEED BEFORE THE INSTALLATION OF TEMPORARY BARRIERS TO PROTECT EXISTING OCCUPIED AREAS.
- IN THE EVENT OF DAMAGE TO EXISTING CONSTRUCTION, CONTRACTOR SHALL REPAIR AND RESTORE THE DAMAGE TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ONLY MAJOR ITEMS OF DEMOLITION ARE SHOWN. REMOVE MISCELLANEOUS MINOR ITEMS AS REQUIRED FOR PROPER COMPLETION OF THE WORK.
- THE DEMOLITION NOTES IN THE DRAWINGS REQUIRE THE REMOVAL OF A BUILDING ELEMENT OR SYSTEM OR A COMPLETE COMPONENT COMPRISED OF MULTIPLE ELEMENTS. THE CONTRACTOR SHALL DISASSEMBLE AND REMOVE FROM THE SITE EACH ITEM IN ITS ENTIRETY AS REQUIRED TO ACCOMMODATE THE INSTALLATION OF THE NEW WORK TO FOLLOW.
- REMOVE ALL MISCELLANEOUS TRIM, CASEWORK, EQUIPMENT, CONDUIT, BASES, AND OTHER SURFACE-MOUNTED ITEMS WHETHER SHOWN OR NOT ON PARTITIONS TO BE DEMOLISHED.
- CUT AND PATCH WALL, CEILING, AND FLOOR ASSEMBLIES AND REPAIR FINISHES AS NECESSARY AT MECHANICAL, PLUMBING, AND ELECTRICAL DEMOLITION LOCATIONS.
- REMOVE ALL MISCELLANEOUS PIPE AND DUCT SUPPORTS, PARTITION TRACKS AND CLIPS NO LONGER FUNCTIONAL IN EXISTING CEILING CAVITIES OF ROOMS TO BE DEMOLISHED.
- PATCH AND REPAIR ELEMENTS WHERE ITEMS WERE REMOVED AND IN AREAS DAMAGED DURING DEMOLITION.
- CLEAN, PLUG, PATCH AND REPAIR ALL MATERIALS AND SURFACES AND PREPARE THEM FOR NEW WORK.
- THE ARCHITECT IS NOT RESPONSIBLE FOR LOCATING, IDENTIFYING, OR SPECIFYING MEANS OF REMOVAL OF ANY HAZARDOUS MATERIALS. HAZARDOUS MATERIAL TESTING BY OWNER CONTRACTED CONSULTANT.

DEMOLITION LEGEND

- NOT ALL SYMBOLS MAY BE USED. SIZES AND PROPORTIONS OF FIXTURES MAY VARY FROM WHAT IS ILLUSTRATED IN LEGEND.
- SCISSOR LIGHT FIXTURE
 - THRU-WALL DRAIN OUTLET
 - HOSE-BIBB
 - OUTDOOR-RATED SURFACE-MOUNTED ELECTRICAL OUTLET

KEYNOTES

- NOT ALL KEYNOTES MAY BE USED.
- DEMO (E) CORNICE (INCLUDING SHEET METAL & ANGLE IRON FRAMING)
 - DEMO (E) TRELLIS POST, STONE BASE, & CONCRETE BASE DOWN TO GRADE
 - DEMO (E) AWNING
 - SALVAGE (E) TRELLIS BEAM FOR RE-INSTALLATION
 - DEMO (E) TRELLIS JOISTS
 - DEMO (E) TRELLIS LEDGER AT WALL
 - (E) SIGNAGE TO REMAIN
 - DEMO (E) SLAB AS REQ'D TO REMOVE CONCRETE PIER @ TRELLIS POST DOWN TO BOTTOM OF CONC. SIDEWALK.
 - (E) TRELLIS POST TO REMAIN
 - DEMO (E) COPING TO AS REQ'D FOR (N) CANOPY
 - (E) WALL-MOUNTED LIGHT FIXTURE TO REMAIN, PROTECT AS REQ'D DURING CONSTRUCTION
 - DEMO WALL-MOUNTED LIGHT FIXTURE
 - SALVAGE ELECTRICAL OUTLET & OFFER TO OWNER FOR POTENTIAL RE-USE ELSEWHERE.
 - SALVAGE HOSE BIBB FOR RE-INSTALLATION LATER
 - SALVAGE DRAIN OUTLET FOR RE-INSTALLATION LATER
 - OWNER TO SALVAGE HOSE REEL FOR RE-INSTALLATION LATER
 - OWNER TO SALVAGE BENCH
 - OWNER TO SALVAGE (E) SECURITY CAMERA & CONDUIT
 - SALVAGE FENCE FROM (E) WALL TO FIRST POST AS REQ'D TO INSTALL (N) ADHERED MASONRY VENEER

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FRONT FACADE UPGRADE**
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REVISIONS

No.	Description	Date

DRAWN BY: ECU
CHECKED BY: TRB
JOB NO: 19-024
DATE: 07/21/23
ISSUED FOR: GRANT APP. MEETING
SHEET TITLE
DEMOLITION PLANS & ELEVATIONS
SHEET NO.

