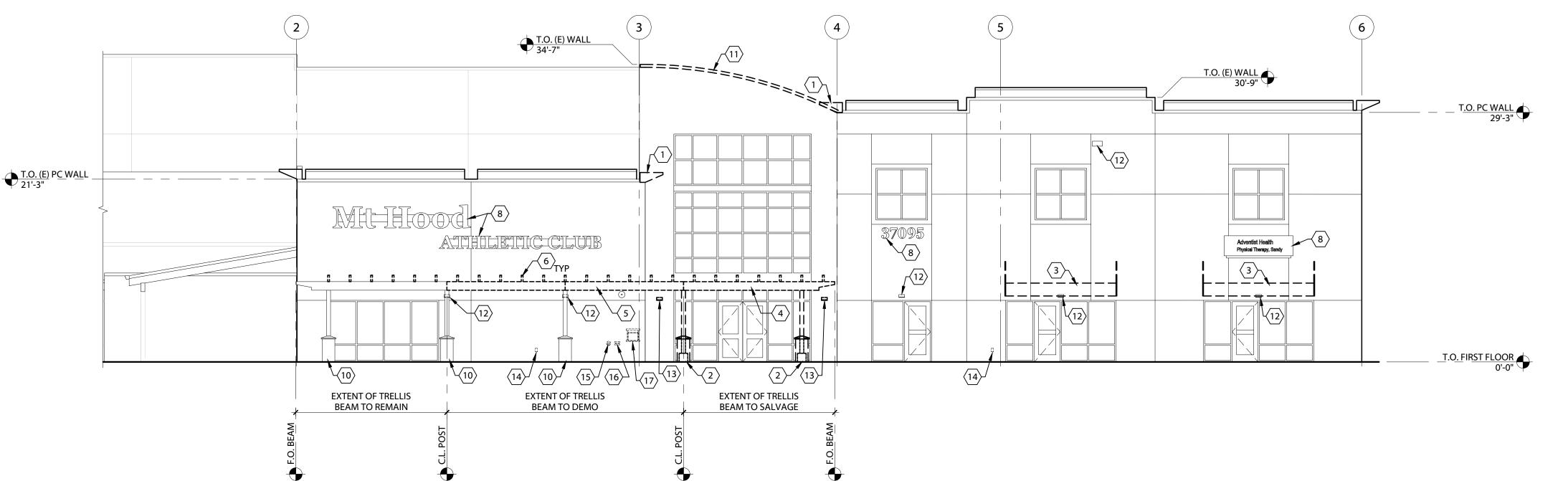
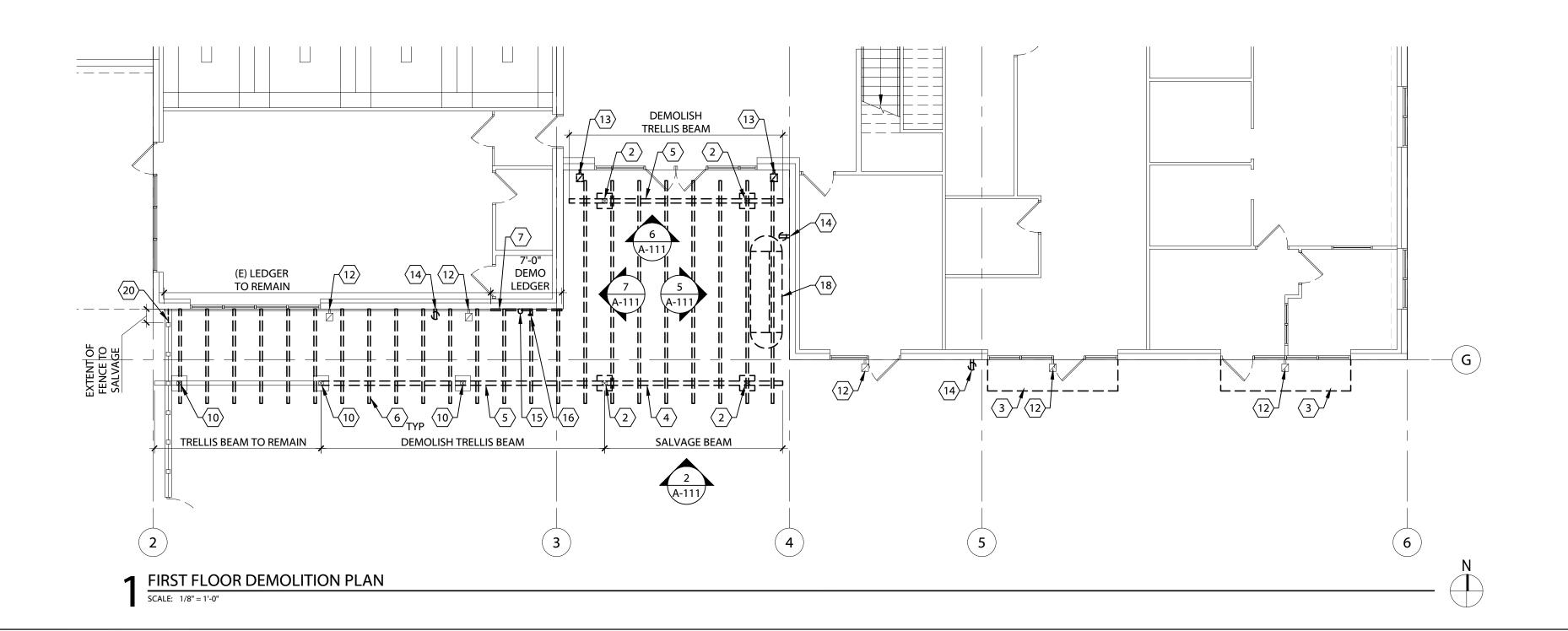
Mt. Hood Athletic Club - Facade Renovation





SOUTH DEMO ELEVATION



DEMOLITION GENERAL NOTES:

- 1. DEMOLISH AS REQUIRED TO ACCOMPLISH WORK INDICATED IN THESE DOCUMENTS.
- 2. TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE SITE TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- 3. MAINTAIN ADEQUATE SUPPORT, INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO
- 4. INFORMATION RELATING TO THE EXISTING BUILDING IS BASED ON FIELD MEASUREMENTS. ACTUAL CONDITIONS MAY VARY AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- 5. VERIFY LIMITS OF DEMOLITION REQUIRED TO COMPLETE WORK PRIOR TO COMMENCEMENT. GRAPHIC REPRESENTATION OF AFFECTED AREAS ON DRAWINGS MAY BE SMALLER OR LARGER THAN INDICATED.
- 6. DEMOLITION WORK CANNOT PROCEED BEFORE THE INSTALLATION OF TEMPORARY BARRIERS TO PROTECT EXISTING OCCUPIED AREAS.
- 7. IN THE EVENT OF DAMAGE TO EXISTING CONSTRUCTION, CONTRACTOR SHALL REPAIR AND RESTORE THE DAMAGE TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- 8. ONLY MAJOR ITEMS OF DEMOLITION ARE SHOWN. REMOVE MISCELLANEOUS MINOR ITEMS AS REQUIRED FOR PROPER COMPLETION OF THE WORK.
- 9. THE DEMOLITION NOTES IN THE DRAWINGS REQUIRE THE REMOVAL OF A BUILDING ELEMENT OR SYSTEM OR A COMPLETE COMPONENT COMPRISED OF MULTIPLE ELEMENTS. THE CONTRACTOR SHALL DISASSEMBLE AND REMOVE FROM THE SITE EACH ITEM IN ITS ENTIRETY AS REQUIRED TO ACCOMMODATE THE INSTALLATION OF THE NEW WORK TO FOLLOW.
- 10. REMOVE ALL MISCELLANEOUS TRIM, CASEWORK, EQUIPMENT, CONDUIT, BASES, AND OTHER SURFACE-MOUNTED ITEMS WHETHER SHOWN OR NOT ON PARTITIONS TO BE DEMOLISHED.
- FINISHES AS NECESSARY AT MECHANICAL, PLUMBING, AND ELECTRICAL DEMOLITION LOCATIONS.

11. CUT AND PATCH WALL, CEILING, AND FLOOR ASSEMBLIES AND REPAIR

- 12. REMOVE ALL MISCELLANEOUS PIPE AND DUCT SUPPORTS, PARTITION TRACKS AND CLIPS NO LONGER FUNCTIONAL IN EXISTING CEILING CAVITIES OF ROOMS TO BE DEMOLISHED.
- 13. PATCH AND REPAIR ELEMENTS WHERE ITEMS WERE REMOVED AND IN AREAS DAMAGED DURING DEMOLITION.
- 14. CLEAN, PLUG, PATCH AND REPAIR ALL MATERIALS AND SURFACES AND PREPARE THEM FOR NEW WORK.
- 15. THE ARCHITECT IS NOT RESPONSIBLE FOR LOCATING, IDENTIFYING, OR SPECIFYING MEANS OF REMOVAL OF ANY HAZARDOUS MATERIALS. HAZARDOUS MATERIAL TESTING BY OWNER CONTRACTED CONSULTANT.

DEMOLITION LEGEND

NOT ALL SYMBOLS MAY BE USED. SIZES AND PROPORTIONS OF FIXTURES MAY VARY FROM WHAT IS ILLUSTRATED IN LEGEND.

- SCONCE LIGHT FIXTURE
- THRU-WALL DRAIN OUTLET
- HOSE-BIBB
- OUTDOOR-RATED SURFACE-MOUNTED ELECTRICAL OUTLET

KEYNOTES

NOT ALL KEYNOTES MAY BE USED.

- 1 DEMO (E) CORNICE (INCLUDING SHEET METAL & ANGLE IRON FRAMING)
- 2 DEMO (E) TRELLIS POST, STONE BASE, & CONCRETE BASE DOWN TO GRADE
- 3 DEMO (E) AWNING
- 4 SALVAGE (E) TRELLIS BEAM FOR RE-INSTALLATION
- (5) DEMO (E) TRELLIS BEAM
- 6 DEMO (E) TRELLIS JOISTS
- (7) DEMO (E) TRELLIS LEDGER AT WALL
- (8) (E) SIGNAGE TO REMAIN
- DEMO (E) SLAB AS REQ'D TO REMOVE CONCRETE PIER @ TRELLIS POST DOWN TO BOTTOM OF CONC. SIDWALK.
- (E) TRELLIS POST TO REMAIN
- (11) DEMO (E) COPING TO AS REQ'D FOR (N) CANOPY
- (E) WALL-MOUNTED LIGHT FIXTURE TO REMAIN, PROTECT AS REQ'D DURING CONSTRUCTION
- (13) DEMO WALL-MOUNTED LIGHT FIXTURE
- SALVAGE ELECTRICAL OUTLET & OFFER TO OWNER FOR POTENTIAL RE-USE ELSEWHERE.
- \$\langle 15 \rangle SALVAGE HOSE BIBB FOR RE-INSTALLATION LATER
- $\langle 16 \rangle$ SALVAGE DRAIN OUTLET FOR RE-INSTALLATION LATER
- $\langle 17 \rangle$ OWNER TO SALVAGE HOSE REEL FOR RE-INSTALLATION LATER
- $\langle 18 \rangle$ OWNER TO SALVAGE BENCH
- (19) OWNER TO SALVAGE (E) SECURITY CAMERA & CONDUIT
- SALVAGE FENCE FROM (E) WALL TO FIRST POST AS REQ'D TO INSTALL (N) ADHERED MASONRY VENEER

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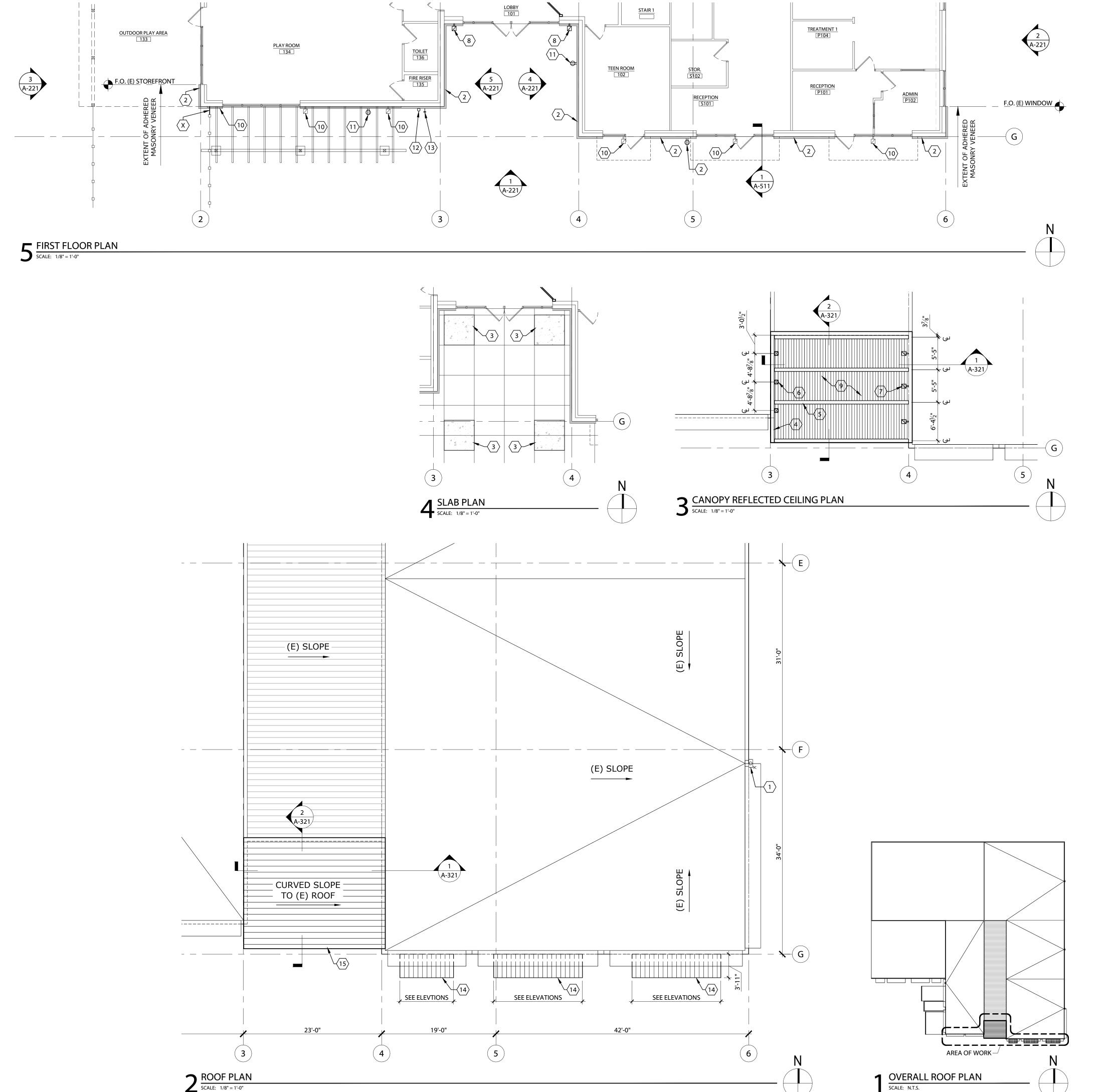
JOB NO: 19-024

DATE: 07/21/23

ISSUED FOR: GRANT APP. MEETING

SHEET TITLE **DEMOLITION PLANS & ELEVATIONS**

SHEET NO.



PLAN SHEET NOTES

NOT ALL SYMBOLS MAY BE USED. SIZES AND PROPORTIONS OF FIXTURES MAY VARY FROM WHAT IS ILLUSTRATED IN LEGEND.

- FLOOR PLAN FOR GENERAL PURPOSE ONLY. FLOOR AREA SHOWN ARE APPROXIMATE, FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF AREAS OF BIDDING
- AND CONSTRUCTION PURPOSES. INFORMATION RELATING TO THE EXISTING BUILDING IS BASED ON CASUAL OBSERVATION. ACTUAL CONDITIONS SHALL BE FIELD VERIFIED BY THE
- GRAPHIC PRESENTATION OF THE AFFECTED AREAS ON DRAWINGS MAY BE
- SMALLER OR LARGER THAN INDICATED. ONLY MAJOR ELEMENTS ARE SHOWN.
- 6. SEE ENLARGED PLANS FOR ADDITIONAL SCOPE OF WORK ITEMS.

LEGEND

NOT ALL SYMBOLS MAY BE USED. SIZES AND PROPORTIONS OF FIXTURES MAY VARY FROM WHAT IS ILLUSTRATED IN LEGEND.

- ADHERED MASONRY VENEER
- SCONCE LIGHT FIXTURE
- THRU-WALL DRAIN OUTLET
- HOSE-BIBB
- OUTDOOR-RATED SURFACE-MOUNTED ELECTRICAL OUTLET

SIZING DOWNSPOUT (2023 OPSC TABLE 1103.1)

SIZE OF (E) DOWNSPOUT	FLOW	MAXIMUM ALLOWABLE HORIZONTAL PROJECTED ROOF AREA (SF)			
INCHES	GPM	2 IN/HR*			
6	563	27,000 SF			
*PER 2023 OPSC TABLE D 101.1, PORTLAND OREGON HAS					

MAX RAINFALL OF 1.3"/HR, WHICH IS ROUNDED UP TO 2".

KEYNOTES

NOT ALL KEYNOTES MAY BE USED.

(N) CANOPY INCREASES THE AREA OF RAINWATER DIRECTED TOWARD THE DOWNSPOUT NEAR GRIDLINE F-6 AS SHOWN BELOW:

EXISTING	4,730
(N) CANOPY	415
FINAL AREA	5,145

BECAUSE THE DOWNSPOUT IS 6" Ø, IT HAS CAPACITY FOR THE ADDITIONAL 415 SF (SEE TABLE ABOVE.)

- (N) ADHERED MASONRY VENEER (MV-1) AT (E) TILT-UP PRECAST WALL, REFER TO ELEVATIONS
- POUR (N) CONCRETE SLAB AT AREAS SAWCUT TO DEMOLISH THE TRELLIS POSTS
- (N) STRAIGHT 6 3/4" X 18" GLULAM BEAM, STAIN ST-1
- (N) CURVED 6 3/4" X 18" CURVED GLULAM BEAM, STAIN ST-1
- (N) ELITE PRESSURED TREATED 8X8 TIMBER COLUMN, STAIN ST-1
- $\langle 7 \rangle$ (N) FLOODLIGHT (L-2)
- $\langle 8 \rangle$ (N) UP/DOWN SCONCE (L-1)
- $\langle 9 \rangle$ (N) T&G CEILING, STAIN ST-2
- $\langle 10 \rangle$ (E) WALL-MOUNTED LIGHT FIXTURE TO REMAIN
- PROVIDE (N) OUTLET EXTENSION AT (E) ELECTRICAL OUTLET PRIOR TO INSTALLING ADHERED MASONRY VENEER. INSTALL (N) RECESSED OUTDOOR-RATED ELECTRICAL OUTLET IN MASONRY VENEER.
- EXTEND PIPING AT (E) DRAIN OUTLET THRU ADHERED MASONRY VENEER AND RE-INSTALL DRAIN FIXTURE
- (13) EXTEND PIPING AT (E) HOSEBIBB THRU ADHERED MASONRY VENEER AND RE-INSTALL HOSEBIBB FIXTURE
- (N) AWNNG W/ REVERSE BOX RIB METAL ROOF (MT-3)
- (N) CANOPY W/ STANDING SEAM METAL ROOF (MT-4)

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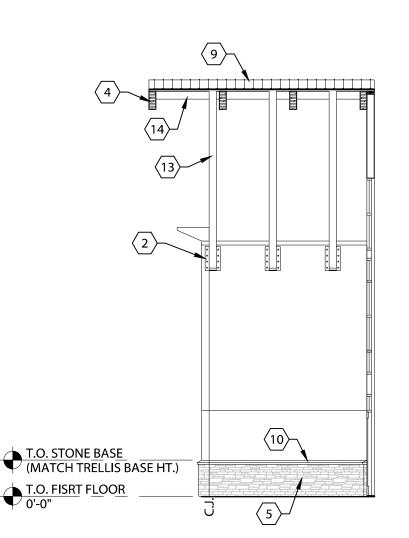
DATE: 07/21/23

ISSUED FOR: GRANT APP. MEETING

SHEET TITLE PLANS

SHEET NO.

A-121



T.O. STONE BASE (MATCH TRELLIS BASE HT.)

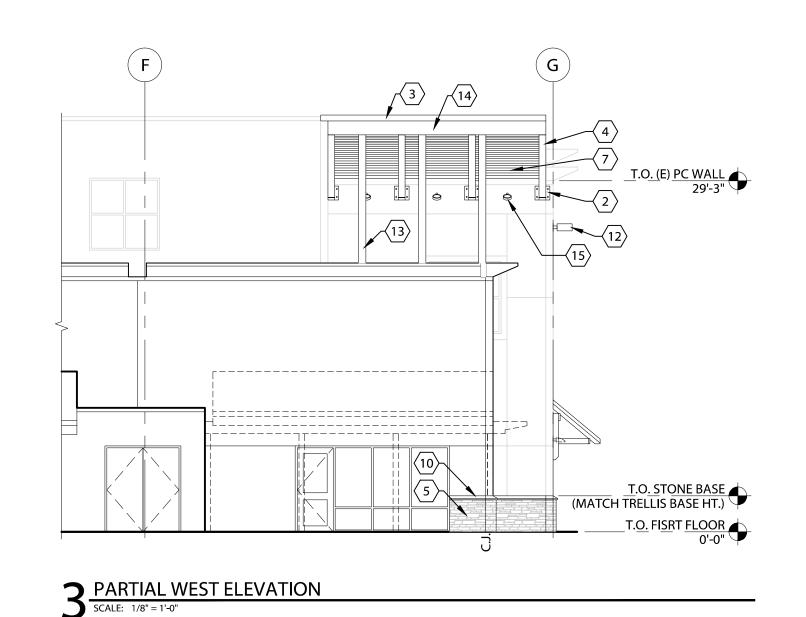
T.O. FISRT FLOOR O'-0"

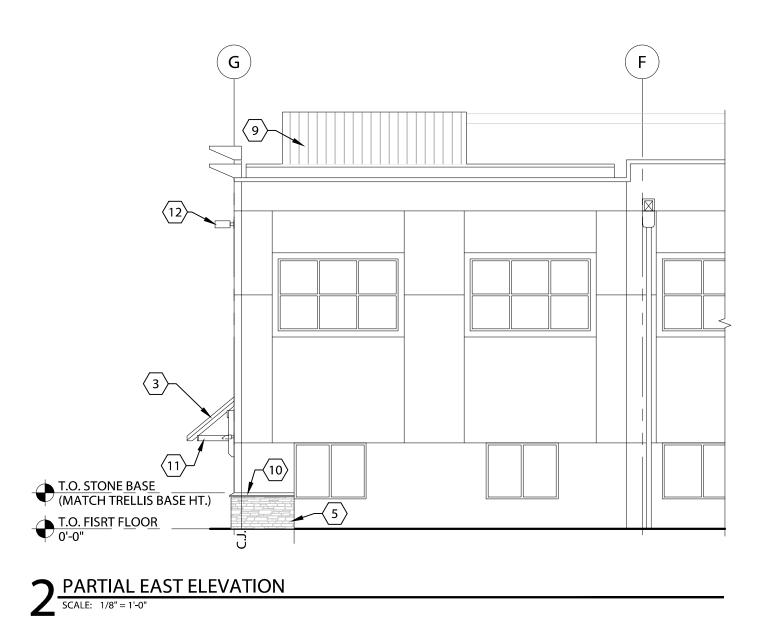
WEST ELEVATION AT MAIN ENTRANCE

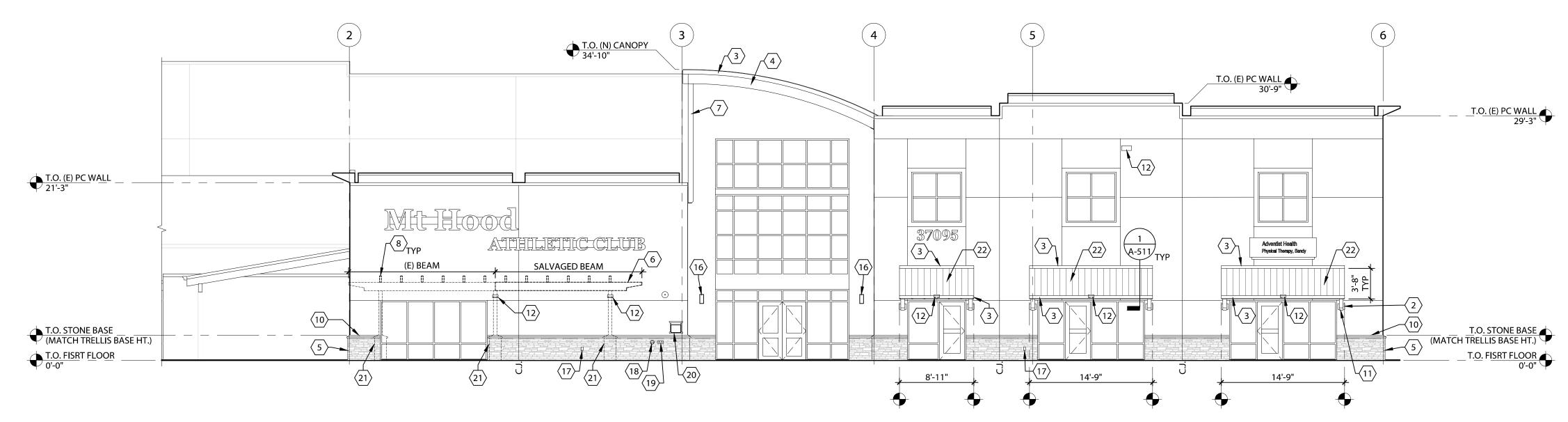
SCALE: 1/8" = 1'-0"

EAST ELEVATION AT MAIN ENTRANCE

SCALE: 1/8" = 1'-0"





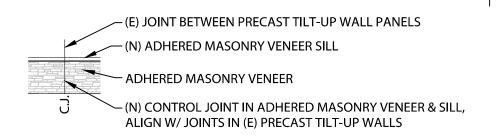


ELEVATION SHEET NOTES

- 1. ELEVATIONS ARE FOR GENERAL PURPOSE ONLY.
- INFORMATION RELATING TO THE EXISTING BUILDING IS BASED ON CASUAL OBSERVATION ACTUAL CONDITIONS VARY AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- 3. GRAPHIC PRESENTATION OF THE AFFECTED AREAS ON DRAWINGS MAY BE SMALLER OR LARGER THAN INDICATED.
- 2. ONLY MAJOR ELEMENTS ARE SHOWN.
- 3. FOR GENERAL DEMOLITION INFORMATION SEE NO. 6 UNDER GENERAL NOTES ON SHEET G-001.

ELEVATION LEGEND

NOT ALL SYMBOLS MAY BE USED. SIZES AND PROPORTIONS OF FIXTURES MAY VARY FROM WHAT IS ILLUSTRATED IN LEGEND.



KEYNOTES

NOT ALL KEYNOTES MAY BE USED.

- (1) (N) PREFINISHED METAL FLASHING (MT-1) BETWEEM GLULAM BEAMS
- (N) STRUCTURAL CONNECTION, HOT-DIP GALVANIZE & PAINT PT-1
- (N) PREFINISHED METAL FLASHING (MT-2)
- (N) CURVED 6 3/4" X 18" GLULAM BEAM, STAIN ST-1
- (N) ADHERED MASONRY VENEER (MV-1)
- 6 INSTALL SALVAGED TRELLIS BEAM (SEE DEMOLITION ELEVATIONS) IN LOCATION SHOWN. REFINISH W/ ST-1
- $\overline{7}$ (N) T&G DECKING, STAIN ST-2
- (8) (N) TRELLIS JOISTS, STAIN ST-1
- $\langle 9 \rangle$ (N) STANDING SEAM METAL ROOF (MT-4)
- $\langle 10 \rangle$ (N) ADHERED MASONRY VENEER SILL (MV-2)
- $\langle 11 \rangle$ (N) ELITE PRESSURE-TREATED DIMENSIONAL LUMBER FRAMING, STAIN ST-1
- $\langle 12 \rangle$ (E) WALL-MOUNTED LIGHT FIXTURE TO REMAIN
- $\langle 13 \rangle$ (N) ELITE PRESSURE TREATED 8X8 TIMBER COLUMN, STAIN ST-1
- (N) 6 2 /4" V 10" STDAIGHT GILLI AM DEAM STAINIST 1
- (N) 6 3/4" X 18" STRAIGHT GLULAM BEAM, STAIN ST-1
- $\langle 15 \rangle$ (N) FLOODLIGHT (L-2)
- $\langle 16 \rangle$ (N) UP/DOWN SCONCE (L-1)
- PROVIDE (N) OUTLET EXTENSION AT OUTLET PRIOR TO INSTALLING ADHERED MASONRY VENEER. INSTALL RECESSED OUTDOOR-RATED ELECTRICAL OUTLET.
- EXTEND PIPING AT (E) OVERFLOW DRAIN THRU ADHERED MASONRY VENEER AND RE-INSTALL OVERFLOW DRAIN FIXTURE
- EXTEND PIPING AT (E) HOSEBIBB THRU ADHERED MASONRY VENEER AND RE-INSTALL HOSEBIBB FIXTURE
- RE-INSTALL HOSEBIBB FIXTURE

 (20) OWNER TO RE-INSTALL HOSE REEL
- $\langle 21 \rangle$ (E) TRELLIS POST IN FOREGROUND, SAND POSTS & REFINISH W/ ST-1
- (N) METAL ROOF PANELS (MT-3)

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DATE: 07/21/23

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SHEET TITLE EXTERIOR ELEVATIONS,

FINISH & LIGHT FIXTURE SCHEDULE

SHEET NO.

A-221