

DEER POINTE PARK - LAND USE SUBMITTAL

PROJECT TEAM

CLIENT

City of Sandy Parks & Recreation
38348 Pioneer Boulevard
Sandy, OR 97055

LANDSCAPE ARCHITECT

Lango Hansen Landscape Architects
1100 NW Glisan #3A
Portland, OR 97209
Contact: Brian Martin
Email: brian@langohansen.com
Phone: 503.553.9242

CIVIL ENGINEER

Firwood Design Group
359 E Hist. Columbia River Highway
Troutdale, OR 97060
Contact: Kelli Grover
Email: kg@firwooddesign.com
Phone: 503-668-3737

ELECTRICAL ENGINEER

R&W Electrical Engineering
9615 SW Allen Blvd #107,
Beaverton, OR 97005
Contact: Jonathan Lilly
Email: jlilly@rweng.com
Phone: 503.726.3337

UTILITY CONTACT

Portland General Electric
Contact: Kristi Knight
Gresham Associate Design Project Manager
Email: Kristine.Knight@pgn.com
Phone: 971.293.9807

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VICINITY MAP

PARK LOCATION: MEADOW AVE, SANDY, OR 97055

DEER POINTE PARK
CITY OF SANDY PARKS AND RECREATION
MEADOW AVE
SANDY, OR 97055

LAND USE

REVISIONS

SCALE AS NOTED
DRAWN BY XX
DATE 10.29.24
PROJECT NO. 2345

COVER SHEET

G0.01

LANDSCAPE ARCHITECTS PC

lango.hansen

1100 nw glisan #3A portland OR 97209 T 503 295.2437

LEGEND

—

LIMIT OF WORK

- - -

PROPERTY LINE/RIGHT-OF-WAY

- - -

TREE PROTECTION FENCING

EXISTING LAWN TO BE STRIPPED

CLEAR AND GRUB EXISTING VEGETATION

E

EXISTING DECIDUOUS TREE TO REMAIN

X

EXISTING DECIDUOUS TREE TO BE REMOVED

E

EXISTING EVERGREEN TREE TO REMAIN

X

EXISTING EVERGREEN TREE TO BE REMOVED

ABBREVIATIONS

B&B

CAL

CONT

DIA

DBH

EQ

HT

MIN

MAX

NO

O.C.

SIM

SL

SPECS

TYP

#

BALLED & BURLAPPED

CALIPER

CONTAINER

DIAMETER

DIAMETER AT BREAST HEIGHT

EQUAL

HEIGHT

MINIMUM

MAXIMUM

NUMBER

ON CENTER

SIMILAR

SEEDED LAWN

SPECIFICATIONS

TYPICAL

CONTAINER SIZE

DEMOLITION GENERAL NOTES

1. THIS DEMOLITION PLAN IS BASED ON A SURVEY BY ALL COUNTY SURVEYORS DATED 07/26/24. EXISTING FEATURES MAY VARY FROM WHAT IS SHOWN ON PLAN. CONTRACTOR TO VERIFY ALL SURVEY, AS-BUILT INFORMATION, EXISTING UTILITIES AND LOCATION OF MATERIALS TO BE DEMOLISHED PRIOR TO BEGINNING WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BEFORE BEGINNING WORK.

2. SEE SPECIFICATIONS FOR DEMOLITION AND STAGING REQUIREMENTS.

3. SEE SPECIFICATIONS FOR PLANT PROTECTION AND PRESERVATION REQUIREMENTS.

4. PRIOR TO CONSTRUCTION CONTACT UTILITY COMPANIES TO LOCATE AND MARK IN THE FIELD ALL UTILITY LINES SUCH AS GAS, WATER, ELECTRICAL AND COMMUNICATION LINES.

5. EXISTING FEATURES MAY VARY FROM WHAT IS SHOWN ON PLAN. CONTRACTOR TO VERIFY ALL EXISTING AS-BUILT INFORMATION, UTILITIES, AND LOCATION OF ELEMENTS TO BE DEMOLISHED PRIOR TO BEGINNING WORK.

6. UTILITY INFORMATION SHOWN FOR REFERENCE ONLY. SEE CIVIL, ELECTRICAL AND PLUMBING FOR SPECIFIC INFORMATION REGARDING THE DEMOLITION AND PROTECTION OF EXISTING UTILITIES.

7. WORK IS SHOWN FOR LANDSCAPE AREAS ONLY. PROJECT WORK RELATED TO OTHER TRADES (SUCH AS UNDERGROUND UTILITY WORK) MAY AFFECT LANDSCAPE

AREAS NOT SHOWN ON THIS DRAWING AND SHALL NOT BE CONSIDERED ADDITIONAL WORK.

8. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF ALL SURFACE MATERIALS, SUBGRADE MATERIALS, FOOTINGS AND UTILITIES NEEDED TO CONSTRUCT PROPOSED WORK.

9. PROTECT ALL EXISTING STRUCTURES, PAVEMENT, CURBS, FURNISHINGS, PLANTING AND IRRIGATION NOT SCHEDULED FOR REMOVAL.

10. PROTECT ALL EXISTING UTILITIES UNLESS NOTED FOR DEMOLITION. SEE CIVIL AND ELECTRICAL DRAWINGS FOR UTILITY DEMOLITION.

11. SEE CIVIL DRAWINGS FOR DEMOLITION INFORMATION RELATED TO THE CONNECTION TO EXISTING CATCH BASINS.

12. SEE CIVIL DRAWINGS FOR EROSION CONTROL PLAN AND DETAILS.

13. SEE CIVIL DRAWINGS FOR DEMOLITION AND PROTECTION WITHIN THE RIGHT-OF-WAY. DEMOLITION IN RIGHT-OF-WAY SHOWN FOR INFORMATION ONLY.

14. HAND CLEAR AND GRUB UNDER TREES TO REMAIN. SEE TREE PROTECTION SPECIFICATION [015639].

15. REPAIR AND RESEED ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITY, INCLUDING SOIL PREPARATION. SEE [329100]. ALL OTHER LANDSCAPE AREAS DAMAGED BY CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.

NOTES:

1. EXISTING SOIL CHEMISTRY SHALL NOT BE ALTERED BY CONSTRUCTION ACTIVITIES. CHEMICAL WASTES AT CONSTRUCTION SITE SHALL BE DISPOSED OF PROPERLY AND NOT DRAINED ONTO SOIL.

2. CONSTRUCTION FENCING SHALL BE PLACED BEFORE CONSTRUCTION STARTS AND REMAIN IN PLACE UNTIL CONSTRUCTION HAS BEEN COMPLETED.

PLACE FENCE AT EDGE OF ROOT PROTECTION ZONE

INTERIOR OF TREE PROTECTION FENCING SHALL REMAIN FREE OF CONSTRUCTION MATERIALS AND DEBRIS

CONSTRUCTION FENCING, 6' HIGH CHAIN-LINK FENCE OR "NO JUMP" HORSE FENCE 8' METAL POST DRIVEN IN TO THE GROUND

2 TREE PROTECTION FENCING

SCALE: NTS

1 PLANTING DEMOLITION

SCALE - 1" = 20'-0"

DEER POINTE PARK
CITY OF SANDY PARKS AND RECREATION
CITY OF SANDY
MEADOW AVE
SANDY, OR 97055

LAND USE

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SCALE AS NOTED
DRAWN BY XX
DATE 10.29.24
PROJECT NO. 2345

PLANTING DEMOLITION

L0.01

LANDSCAPE ARCHITECTS PC

lango.hansen

1100 nw glisan #3A portland OR 97209 T 503 295.2437

TREE TABLE				
I.D.	BOTANICAL NAME / COMMON NAME	SIZE (DBH)	STATUS	NOTES
1	Thuja plicata / Western Red Cedar	16"	TO BE PRESERVED	
2	Thuja plicata / Western Red Cedar	6"	TO BE PRESERVED	
3	Thuja plicata / Western Red Cedar	12"	TO BE PRESERVED	
4	Thuja plicata / Western Red Cedar	18"	TO BE PRESERVED	
5	Thuja plicata / Western Red Cedar	18"	TO BE PRESERVED	
6	Thuja plicata / Western Red Cedar	6"	TO BE PRESERVED	
7	Thuja plicata / Western Red Cedar	12"	TO BE PRESERVED	
8	Thuja plicata / Western Red Cedar	12"	TO BE PRESERVED	
9	Thuja plicata / Western Red Cedar	8"	TO BE PRESERVED	
10	Thuja plicata / Western Red Cedar	8"	TO BE PRESERVED	
11	Thuja plicata / Western Red Cedar	18"	TO BE PRESERVED	
12	Thuja plicata / Western Red Cedar	16"	TO BE PRESERVED	
13	Thuja plicata / Western Red Cedar	16"	TO BE PRESERVED	
14	Thuja plicata / Western Red Cedar	16"	TO BE PRESERVED	
15	Thuja plicata / Western Red Cedar	16"	TO BE PRESERVED	
16	Thuja plicata / Western Red Cedar	16"	TO BE REMOVED	
17	Malus pumila / Apple Tree	14"	TO BE REMOVED	
18	Malus pumila / Apple Tree	10"	TO BE REMOVED	
19	Pseudotsuga menziesii / Douglas Fir	18"	TO BE REMOVED	
20	Ilex aquifolium / English Holly	8"	TO BE REMOVED	
21	Ilex aquifolium / English Holly	8"	TO BE REMOVED	
22	Malus pumila / Apple Tree	10"	TO BE REMOVED	
23	Pseudotsuga menziesii / Douglas Fir	16"	TO BE REMOVED	
24	Acer platanoides 'Crimson King / Crimson King Norway Maple	24"	TO BE REMOVED	
25	Acer macrophyllum / Big Leaf Maple	8"	TO BE REMOVED	
26	Acer macrophyllum / Big Leaf Maple	10"	TO BE REMOVED	
27	Acer macrophyllum / Big Leaf Maple	8"	TO BE REMOVED	
28	Pseudotsuga menziesii / Douglas Fir	36"	TO BE REMOVED	
29	Acer platanoides 'Crimson King / Crimson King Norway Maple	18"	TO BE REMOVED	
30	Pseudotsuga menziesii / Douglas Fir	32"	TO BE PRESERVED	
31	Pseudotsuga menziesii / Douglas Fir	12"	TO BE PRESERVED	
32	Pseudotsuga menziesii / Douglas Fir	38"	TO BE PRESERVED	
33	Pseudotsuga menziesii / Douglas Fir	14"	TO BE PRESERVED	
34	Pseudotsuga menziesii / Douglas Fir	26"	TO BE PRESERVED	
35	Pseudotsuga menziesii / Douglas Fir	18"	TO BE PRESERVED	
36	Pseudotsuga menziesii / Douglas Fir	24"	TO BE PRESERVED	
37	Pseudotsuga menziesii / Douglas Fir	16"	TO BE PRESERVED	
38	Pseudotsuga menziesii / Douglas Fir	22"	TO BE PRESERVED	
39	Pseudotsuga menziesii / Douglas Fir	12"	TO BE PRESERVED	
40	Pseudotsuga menziesii / Douglas Fir	24"	TO BE PRESERVED	
41	Pseudotsuga menziesii / Douglas Fir	36"	TO BE PRESERVED	
42	Acer platanoides 'Crimson King / Crimson King Norway Maple	20"	TO BE REMOVED	
43	Malus pumila / Apple Tree	6"	TO BE REMOVED	
44	Pseudotsuga menziesii / Douglas Fir	20"	TO BE PRESERVED	
45	Pseudotsuga menziesii / Douglas Fir	24"	TO BE PRESERVED	
46	Pseudotsuga menziesii / Douglas Fir	48"	TO BE PRESERVED	
47	Pseudotsuga menziesii / Douglas Fir	18"	TO BE PRESERVED	
48	Thuja plicata / Western Red Cedar	28"	TO BE PRESERVED	
49	Thuja plicata / Western Red Cedar	48"	TO BE PRESERVED	
50	Pseudotsuga menziesii / Douglas Fir	30"	TO BE PRESERVED	
51	Pseudotsuga menziesii / Douglas Fir	48"	TO BE PRESERVED	
52	Thuja plicata / Western Red Cedar	8"	TO BE PRESERVED	
53	Pseudotsuga menziesii / Douglas Fir	34"	TO BE PRESERVED	
54	Pseudotsuga menziesii / Douglas Fir	18"	TO BE PRESERVED	
55	Pseudotsuga menziesii / Douglas Fir	18"	TO BE PRESERVED	
56	Pseudotsuga menziesii / Douglas Fir	12"	TO BE PRESERVED	
57	Pseudotsuga menziesii / Douglas Fir	40"	TO BE PRESERVED	
58	Pseudotsuga menziesii / Douglas Fir	30"	TO BE PRESERVED	

LEGEND	
	LIMIT OF WORK - PARK IMPROVEMENTS
	PROPERTY LINE/RIGHT-OF-WAY
	PEDESTRIAN CONCRETE PAVING
	ENGINEERED WOOD FIBER SAFETY SURFACING
	ASPHALT PAVING W/ SPORT COURT SURFACING
	CONCRETE CURB
	EXISTING WOOD FENCE / GUARDRAIL
	CHAIN LINK FENCE
	BIKE RACK
	SITE LIGHT, SEE ELEC DWG
	BENCH WITH BACK
	PICNIC TABLE
	TRASH RECEPTACLE
	DRINKING FOUNTAIN
	AREA DRAIN, SEE CIVIL UTILITY DWG
	EXISTING TREE TO REMAIN

ABBREVIATIONS	
ARCH	ARCHITECTURAL
CFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
CONC	CONCRETE
DWG	DRAWINGS
ELEC	ELECTRICAL
MECH	MECHANICAL
NIC	NOT IN CONTRACT
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
PA	PLANTING AREA
SIM	SIMILAR
SP	SEEDED LAWN
SPECS	SEEDED PLANTING
STRUC	SPECIFICATIONS
TYP	STRUCTURAL
W/	TYPICAL
STM PA	WITH STORMWATER PLANTER

- MATERIALS NOTES
1. THIS PLAN IS BASED ON A SURVEY BY ALL COUNTY SURVEYORS DATED 07/26/24. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.

2. PROTECT EXISTING VEGETATION TO REMAIN. SEE SPECIFICATION SECTION 015639 FOR FENCING AND OTHER REQUIREMENTS.

3. SEE CIVIL DRAWINGS FOR LOCATION OF UTILITIES.

4. SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION REGARDING SITE LIGHTING AND ELECTRIC UTILITIES.

5. SEE SHEET L4.01 FOR LOCATIONS OF IRRIGATION SLEEVES UNDER PAVING.

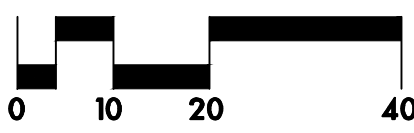
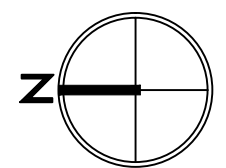
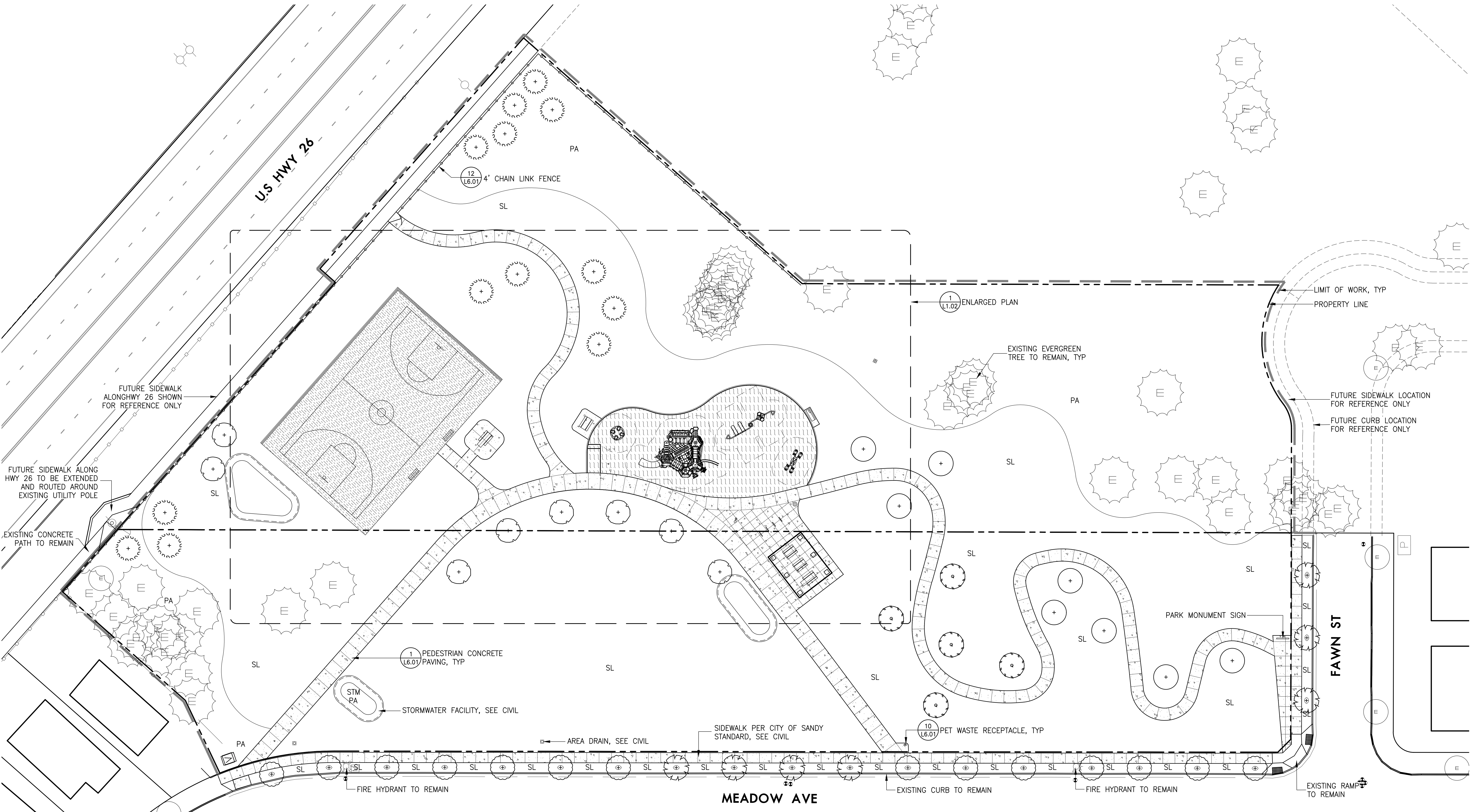
6. COORDINATE WORK WITH OTHER TRADES, INCLUDING WORK IN OTHER BID PACKAGES.

7. ALL CONCRETE PAVING TO RECEIVE LIGHT BROOM FINISH UNLESS OTHERWISE NOTED. SEE DETAILS FOR CIP CONCRETE RETAINING WALL AND CHEEK WALL FINISHES. CONTRACTOR TO PROVIDE FINISH MOCKUPS FOR APPROVAL. SEE SPECIFICATIONS.

8. CONTRACTOR TO SUBMIT PAVING MOCK-UP FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

9. SEE CIVIL DRAWINGS FOR ALL VEHICULAR AREA IMPROVEMENTS, INCLUDING PAVING, CURBS, DRIVEWAY APRONS, STRIPING AND SIGNAGE, AS WELL AS ANY VEHICULAR AND PEDESTRIAN PAVING IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.

10. LIMIT OF SPECIALTY CONTRACTOR WORK IS APPROXIMATE AND SHOWN FOR REFERENCE ONLY. GENERAL CONTRACTOR TO COORDINATE WORK INCLUDING GRADING, PAVING, PLANTING AND IRRIGATION WITHIN DESIGN-BUILD CONTRACT AREA OF WORK WITH SPECIALTY CONTRACTOR.



DEER POINTE PARK

CITY OF SANDY PARKS AND RECREATION
MEADOW AVE
SANDY, OR 97055

LAND USE

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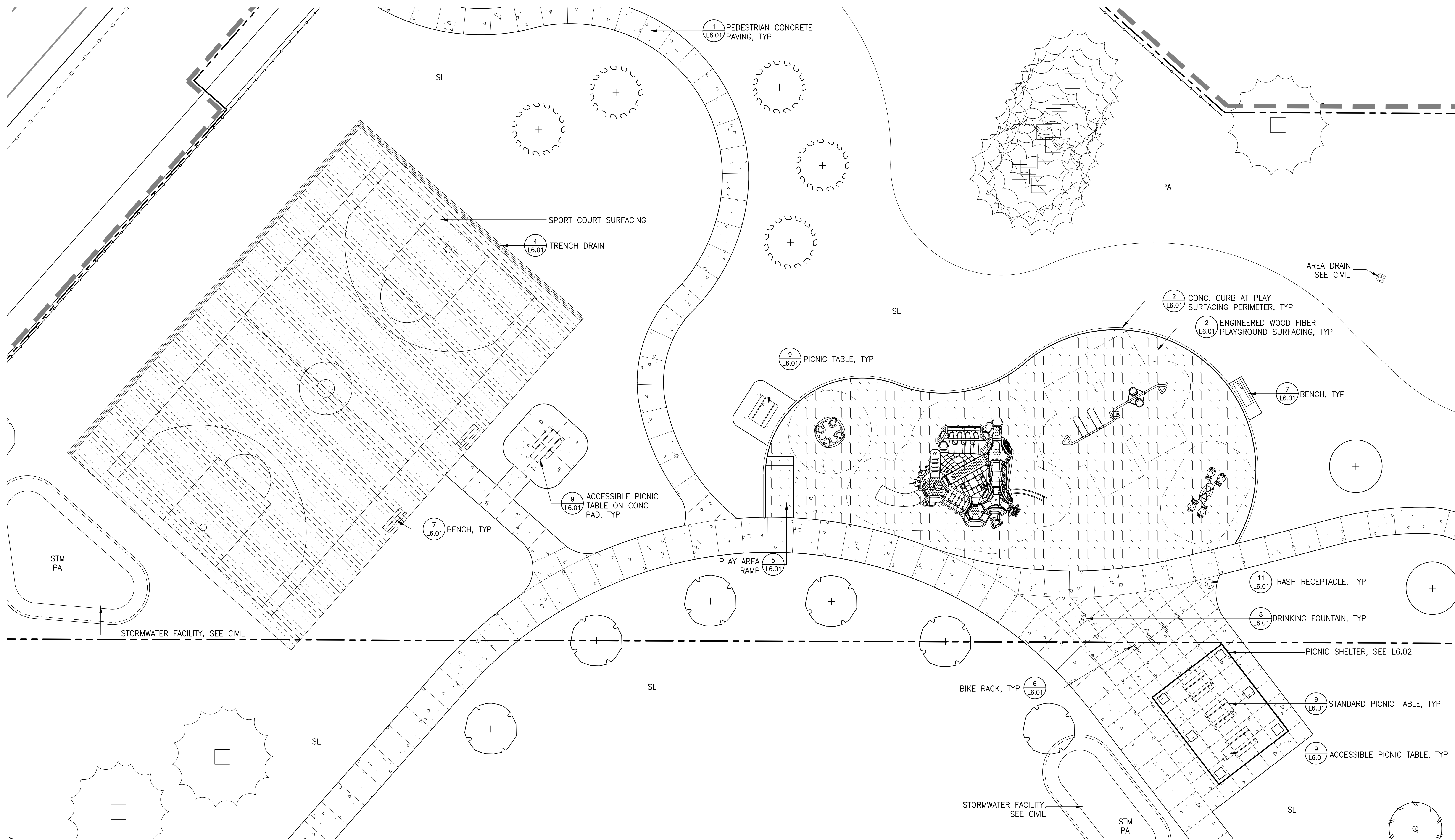
MATERIALS PLAN

L1.01

LANDSCAPE ARCHITECTS PC

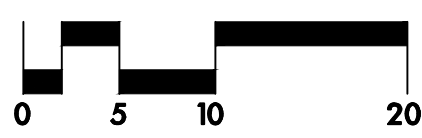
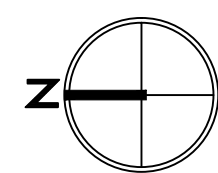
lango.hansen

1100 NW Gilman #3A Portland OR 97209 T 503.295.2437



1 ENLARGED PLAN

SCALE - 1" = 10'-0"



DEER POINTE PARK
CITY OF SANDY PARKS AND RECREATION
CITY OF SANDY
MEADOW AVE
SANDY, OR 97055

LAND USE

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SCALE	AS NOTED
DRAWN BY	XX
DATE	10.29.24
PROJECT NO.	2345

ENLARGED PLAN

L1.02

LANDSCAPE ARCHITECTS PC

lango.hansen

1100 NW GILSAN #3A PORTLAND OR 97209 T 503 295.2437

LEGEND

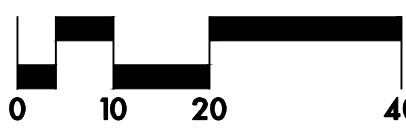
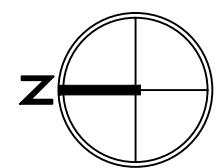
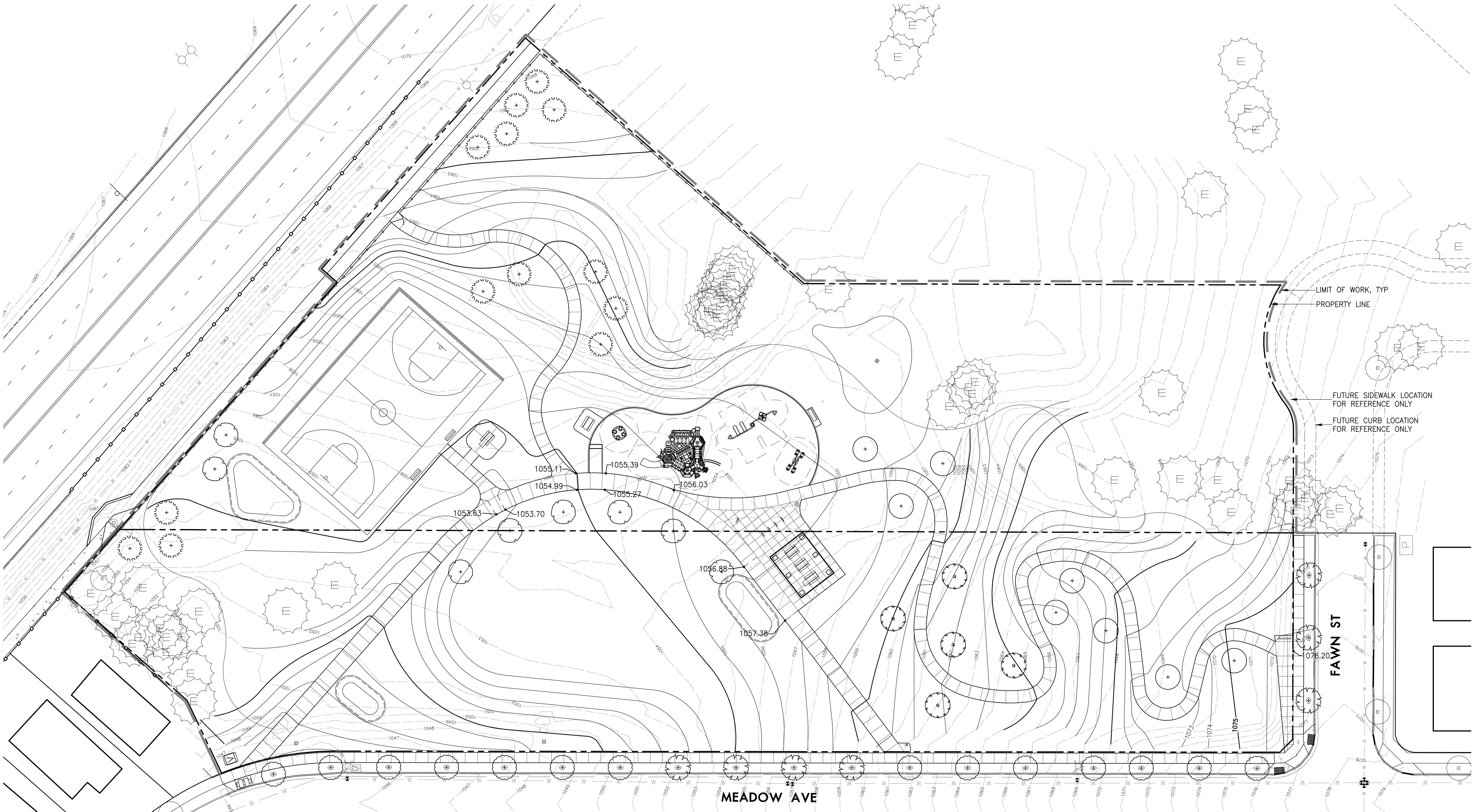
- LIMIT OF WORK — PARK IMPROVEMENTS
- 1062— EXISTING CONTOUR
- 1062— PROPOSED CONTOUR
- BOTTOM OF SWALE LINE
- GRADE BREAK LINE
- 1062.00 SPOT ELEVATION
- 4.8% — PERCENTAGE OF SLOPE
- DIRECTION OF SLOPE

ABBREVIATIONS

- AD AREA DRAIN (RIM ELEVATION)
- BC BOTTOM OF CURB
- BF BOTTOM OF FOOTING
- BW BOTTOM OF WALL (FINISHED GRADE)
- CB CATCH BASIN (RIM ELEVATION)
- CTV CONTRACTOR TO VERIFY
- EL ELEVATION
- EQ EQUAL
- EX EXISTING
- FFE FINISH FLOOR ELEVATION
- FS FINISH SURFACE
- HP HIGH POINT
- IE INVERT ELEVATION
- LP LOW POINT
- MATCH MATCH EXISTING GRADE
- MAX MAXIMUM
- MIN MINIMUM
- RIM RIM ELEVATION
- SIM SIMILAR
- TC TOP OF CURB
- TF TOP OF FOOTING
- TW TOP OF WALL (FINISHED)
- TYP TYPICAL

GRADING NOTES

1. THIS PLAN IS BASED ON A SURVEY BY ALL COUNTY SURVEYORS DATED 07/26/24. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. PROTECT EXISTING VEGETATION TO REMAIN; SEE SPECIFICATION SECTION 015639 FOR FENCING AND OTHER REQUIREMENTS.
3. SET STRAIGHT GRADES BETWEEN GIVEN ELEVATIONS UNLESS OTHERWISE INDICATED.
4. GRADE BREAK LINES ARE SHOWN GRAPHICALLY TO ILLUSTRATE DRAINAGE PATTERNS, AND ARE NOT INTENDED TO BE ACTUAL JOINT LINES, UNLESS THEY FALL ON EXPANSION JOINT LOCATIONS.
5. SEE CIVIL DRAWINGS FOR UNDERGROUND UTILITIES AND DRAINAGE FEATURES.
6. ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AT 1% MIN.
7. SPOT ELEVATIONS TAKE PRECEDENCE OVER LANDSCAPE CONTOURS.
8. PROVIDE 1.5% CROSS SLOPE ON ALL PAVED WALKS, TYP, EXCEPT AS SHOWN. DO NOT EXCEED 1.8% CROSS SLOPE, EXCEPT AS SHOWN.
9. DO NOT DISTURB AREAS NOT TO BE GRADED.
10. ALL GIVEN SPOT ELEVATIONS BETWEEN .00' AND .00' IN ELEVATION HAVE BEEN ABBREVIATED FOR CLARITY (EG., 60.50 EQUALS 1060.50).
11. THIS GRADING PLAN IS TO BE COORDINATED WITH THE CIVIL PLANS. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCIES.
12. SEE CIVIL DRAWINGS FOR ALL VEHICULAR AREA IMPROVEMENTS, INCLUDING PAVING, CURBS, CURB RAMPS, DRIVEWAY APRONS, WHEEL STOPS, STRIPING AND SIGNAGE, AS WELL AS VEHICULAR AND PEDESTRIAN PAVING IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.
13. BOTTOM OF WALL (BW) ELEVATIONS EQUAL FINISH SURFACE OF PAVING OR FINISH GRADE, NOT TOP OF FOOTING ELEVATION.
14. CONTRACTOR TO VERIFY EXISTING GRADES AT ALL LOCATIONS WHERE NEW PAVING IS MATCHING EXISTING PAVING AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
15. CONCRETE PAVING ELEVATIONS AT BACK OF CURB TO MATCH TOP OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED, SEE CIVIL DRAWINGS FOR CURB ELEVATIONS.
16. ALL ADA PARKING STALL AND WALKWAYS TO MEET LOCAL, STATE AND FEDERAL ADA REQUIREMENTS. PRIOR TO FORMING HARD SURFACE MATERIALS, CONTRACTOR TO VERIFY GRADES FOR CURB RAMPS AND PARKING LOT SPACES MEET ADA REQUIREMENTS.
17. CONTRACTOR TO PERFORM A CUT AND FILL ANALYSIS FOR EARTHWORK OPERATIONS. THE DESIGN INTENT IS FOR ALL CUT AND FILL MATERIAL TO BE BALANCED ON-SITE. IF ADDITIONAL CUT OR FILL IS REQUIRED, THE LANDSCAPE ARCHITECT WILL ADJUST THE GRADES WITHIN THE OPEN LAWN AREA TO REDUCE CUT/FILL REQUIREMENTS TO ACHIEVE A BALANCED SITE. WORK TO ACHIEVE A BALANCED SITE SHALL BE COMPLETED AT NO COST TO THE OWNER.



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GRADING PLAN

L3.01

LEGEND

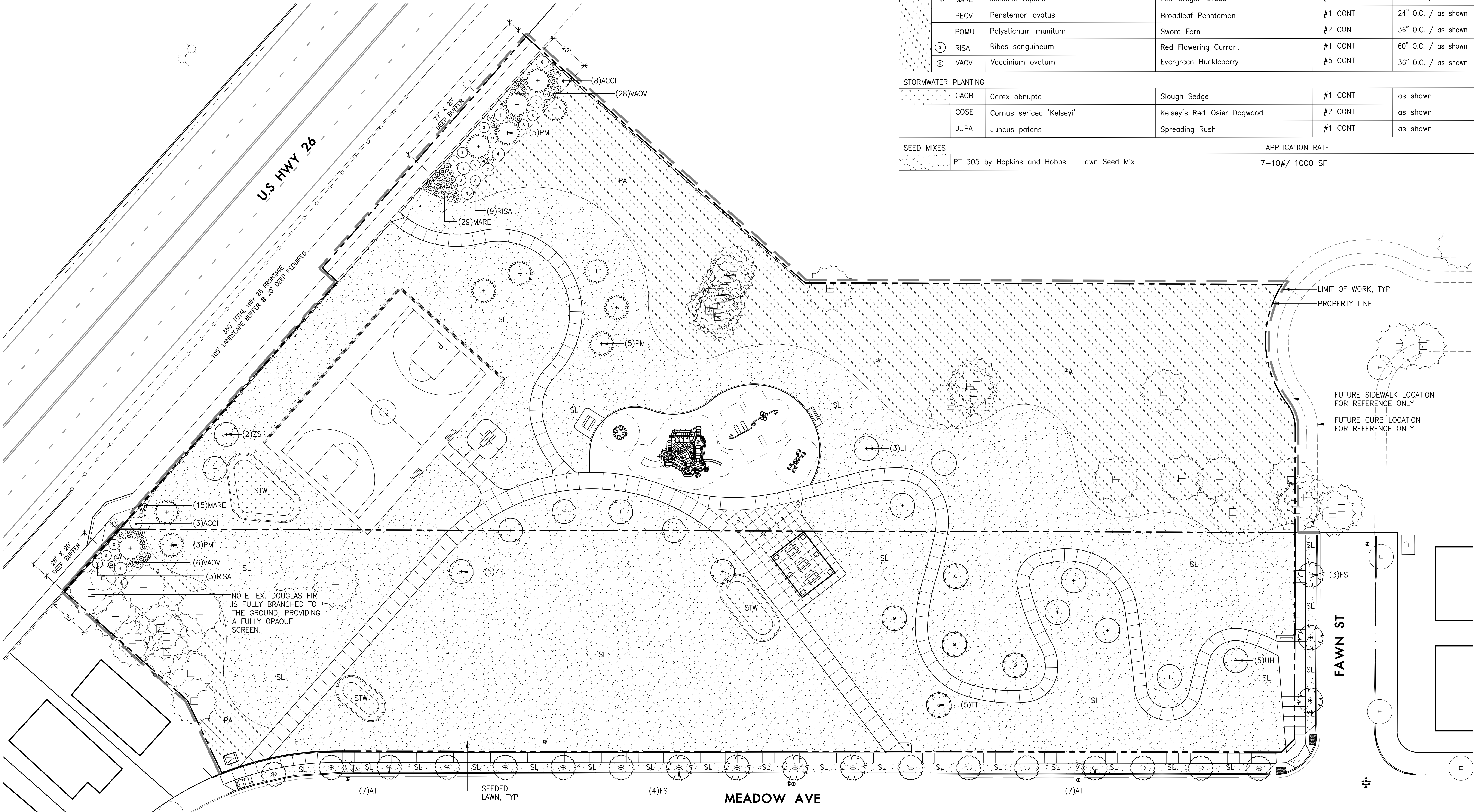
- PROPERTY LINE/RIGHT-OF-WAY
- CHAIN LINK FENCE
- CONCRETE CURB
- BIKE RACK
- SITE LIGHT, SEE ELEC DWG
- BENCH WITH BACK
- PICNIC TABLE
- TRASH RECEPTACLE
- DRINKING FOUNTAIN
- AREA DRAIN, SEE CIVIL UTILITY DWG
- EXISTING TREE TO REMAIN

ABBREVIATIONS

B&B	BALLED & BURLAPPED
CAL	CALIPER
CONT	CONTAINER
DIA	DIAMETER
DBH	DIAMETER AT BREAST HEIGHT
EQ	EQUAL
HT	HEIGHT
MIN	MINIMUM
MAX	MAXIMUM
NO	NUMBER
O.C.	ON CENTER
SIM	SIMILAR
SL	SEEDED LAWN
SPECS	SPECIFICATIONS
TYP	TYPICAL
#	CONTAINER SIZE

- PLANTING NOTES
- THIS PLAN IS BASED ON A SURVEY BY ALL COUNTY SURVEYORS DATED 07/26/24. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
 - PROTECT EXISTING VEGETATION TO REMAIN; SEE SPECIFICATION SECTION 015639 FOR FENCING AND OTHER REQUIREMENTS.
 - ALL PLANT MATERIAL SHALL BE NURSERY GROWN, WELL ROOTED, AND WELL BRANCHED. ALL TREES MUST BE FREE OF INSECTS, DISEASES, MECHANICAL INJURY, AND OTHER OBJECTIONABLE FEATURES WHEN PLANTED. ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STOCK STANDARDS" LATEST EDITION.
 - ALL PLANT MATERIAL TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. SEE SPECIFICATIONS.
 - PLANT SPACING SHALL TAKE PRECEDENCE OVER VALVE BOX LOCATIONS. INSTALLED VALVE BOXES THAT CONFLICT WITH ACCEPTED PLANT LAYOUT SHALL BE MOVED TO POSITION BETWEEN PLANTS.
 - PLANT COUNTS FOR TREES AND SHRUBS ARE SUPPLIED FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR RESPONSIBLE FOR INSTALLING ALL PLANTS IN LOCATIONS AND QUANTITIES SHOWN. FOR GROUNDCOVER PLANTING, SEE DETAIL 5/L6.10.
 - CLEAR PLANT BEDS OF ALL GRAVEL AND DEBRIS PRIOR TO SOIL PREPARATION AND PLANTING, FOR APPROVAL BY OWNER'S REPRESENTATIVE.
 - REPAIR AND RESEED ALL LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITY, INCLUDING SOIL PREPARATION. SEE 329100 AND 329300.
 - ALL LANDSCAPE AREAS THAT HAVE A SLOPE GREATER THAN 1 VERTICAL FOOT IN 3 HORIZONTAL FEET SHALL RECEIVE JUTE MATTING, SEE SPECIFICATIONS.
 - ALL PARKING LOT AND STREET TREES MUST HAVE 6' CLEAR HEIGHT TO LOWEST BRANCHES.
 - ALL PLANTING AREAS TO BE IRRIGATED WITH A PERMANENT IRRIGATION SYSTEM EXCEPT FOR AREAS TO BE SEEDED WITH RESTORATION SEED MIX. THESE AREAS TO BE MANUALLY WATERED TO ENSURE ESTABLISHMENT.

SYMBOL	ABBR	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION	SPACING
TREES					
	AT	Acer truncatum x A. platanoides 'Warrenred'	Pacific Sunset Maple	3" CAL., B&B	as shown
	FS	Fagus sylvatica	European Beech	1" CAL., B&B	as shown
	PM	Pseudotsuga menziesii	Douglas Fir	8' HT., B&B	as shown
	TT	Tilia tomentosa 'Sterling'	Sterling Silver Linden	3" CAL., B&B	as shown
	UH	Ulmus 'Homestead'	Homestead Elm	3" CAL., B&B	as shown
	ZS	Zelkova serrata 'Village Green'	Village Green Zelkova	3" CAL., B&B	as shown
ORNAMENTAL SHRUBS AND GROUNDCOVERS					
	Ⓢ ACCI	Achillea x 'Moonshine'	Moonshine Yarrow	#1 CONT	24" O.C. / as shown
	ACMO	Achillea x 'Moonshine'	Moonshine Yarrow	#1 CONT	24" O.C. / as shown
	ARUV	Arctostaphylos uva-ursi 'Vancouver Jade'	Kinnikinnick 'Vancouver Jade'	#1 CONT	18" O.C. / as shown
	COSE	Cornus sericea 'Kelseyi'	Kelsey's Dwarf Red-Osier Dogwood	#1 CONT	36" O.C. / as shown
	Ⓢ MARE	Mahonia repens	Low Oregon Grape	#1 CONT	24" O.C. / as shown
	PEOV	Penstemon ovatus	Broadleaf Penstemon	#1 CONT	24" O.C. / as shown
	POMU	Polystichum munitum	Sword Fern	#2 CONT	36" O.C. / as shown
	Ⓢ RISA	Ribes sanguineum	Red Flowering Currant	#1 CONT	60" O.C. / as shown
	Ⓢ VAOV	Vaccinium ovatum	Evergreen Huckleberry	#5 CONT	36" O.C. / as shown
STORMWATER PLANTING					
	CAOB	Carex obnupta	Slough Sedge	#1 CONT	as shown
	COSE	Cornus sericea 'Kelseyi'	Kelsey's Red-Osier Dogwood	#2 CONT	as shown
	JUPA	Juncus patens	Spreading Rush	#1 CONT	as shown
SEED MIXES				APPLICATION RATE	
	PT 305 by Hopkins and Hobbs - Lawn Seed Mix			7-10#/ 1000 SF	



LEGEND

LIMIT OF WORK - PARK IMPROVEMENTS

PROPERTY LINE/RIGHT-OF-WAY

CONCRETE CURB

BIKE RACK

SITE LIGHT, SEE ELEC DWG

BENCH WITH BACK

PICNIC TABLE

TRASH RECEPTACLE

DRINKING FOUNTAIN

AREA DRAIN, SEE CIVIL UTILITY DWG

EXISTING TREE TO REMAIN

- IRRIGATION NOTES
1. THIS PLAN IS BASED ON A SURVEY BY ALL COUNTY SURVEYORS DATED 07/26/24 NOTIFY ARCHITECT OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.

2. INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.

3. PRIOR TO COMMENCEMENT OF ANY IRRIGATION WORK, VERIFY MINIMUM FLOW RATE OF 60 GPM AND MINIMUM DYNAMIC (WORKING) PRESSURE OF 60 PSI WHEN FLOWING AT THE POINT OF CONNECTION.

4. ALL TRENCHING WITHIN ROOT PROTECTION ZONES SHALL COMPLY WITH THE REQUIREMENTS SPECIFIED IN THE TREE PROTECTION PLANS AND SECTION 015639.

5. COORDINATE ALL IRRIGATION WORK WITH OTHER TRADES AS REQUIRED, INCLUDING POINT(S)-OF- CONNECTION AND CONTROLLER INSTALLATION.

6. IRRIGATION PLANS ARE DIAGRAMMATIC. ALL VALVES AND IRRIGATION HEADS SHALL BE LOCATED IN PLANTED AREAS. FIELD ADJUST LINES TO AVOID CONFLICTS WITH STRUCTURES AND UTILITIES.

7. ALL PIPES AND EQUIPMENT SHOWN IN PAVED AREAS IS FOR GRAPHIC CLARITY ONLY. ALL PIPES AND EQUIPMENT SHALL BE IN PLANTING AREAS UNLESS OTHERWISE NOTED.

8. PROVIDE SLEEVES UNDER ALL PAVED AREAS FOR IRRIGATION MAINLINE AND LATERALS.

9. ALL VALVES (EXCEPT FOR MANUAL DRAIN VALVES ON DRIP ZONES) AND THE MAINLINE MUST BE LOCATED WITHIN PROPERTY LINE.

10. COORDINATE IRRIGATION POINTS OF CONNECTION AND LOCATION OF REMOTE CONTROL VALVE ASSEMBLIES AND SLEEVES. COORDINATE ALL WORK WITH OTHER TRADES INVOLVED.

11. PLACE ALL VALVES IN VALVE BOXES AND IN A MANNER THAT FACILITATES ACCESS FOR MAINTENANCE. SIZE BOXES TO ACCOMMODATE COMPLETE VALVE ASSEMBLY. MAINTAIN MIN. 12" BETWEEN VALVE BOXES AND PAVEMENT.

12. IRRIGATION LATERALS ARE SIZED STARTING AT VALVE AND CONTINUING IN DIRECTION OF FLOW. REDUCTIONS IN PIPE SIZE ARE LABELED BEGINNING DOWNSTREAM OF NEAREST FITTING. ALL LATERALS NOT SIZED ARE MINIMUM 3/4" OR SAME SIZE AS NEAREST ADJACENT PIPE.

13. CONTRACTOR TO MARK LAYOUT OF TRENCHES AND VALVE LOCATIONS FOR PREVIEW BY OWNER IN FIELD PRIOR TO CONSTRUCTION.

14. INSTALL AND ADJUST ALL COMPONENTS OF IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF ALL PLANTING AREAS AND MINIMIZE OVERSPRAY ONTO BUILDINGS AND PAVING AREAS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE WORKING SYSTEM.

15. PROVIDE 12" POP-UP SPRINKLER BODIES FOR ALL SHRUB AND GROUNDCOVER BEDS, AND 6" SPRINKLER BODIES FOR LAWN AREAS AND SHRUB BEDS IMMEDIATELY ADJACENT TO PARKING AREAS.

16. GENERAL CONTRACTOR TO COORDINATE ALL IRRIGATION WORK WITHIN DESIGN-BUILD CONTRACT AREA WITH DESIGN BUILD CONTRACTOR.

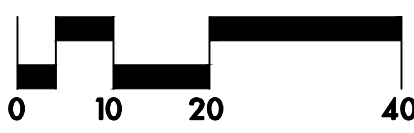
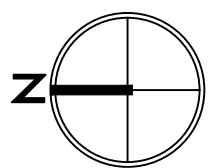
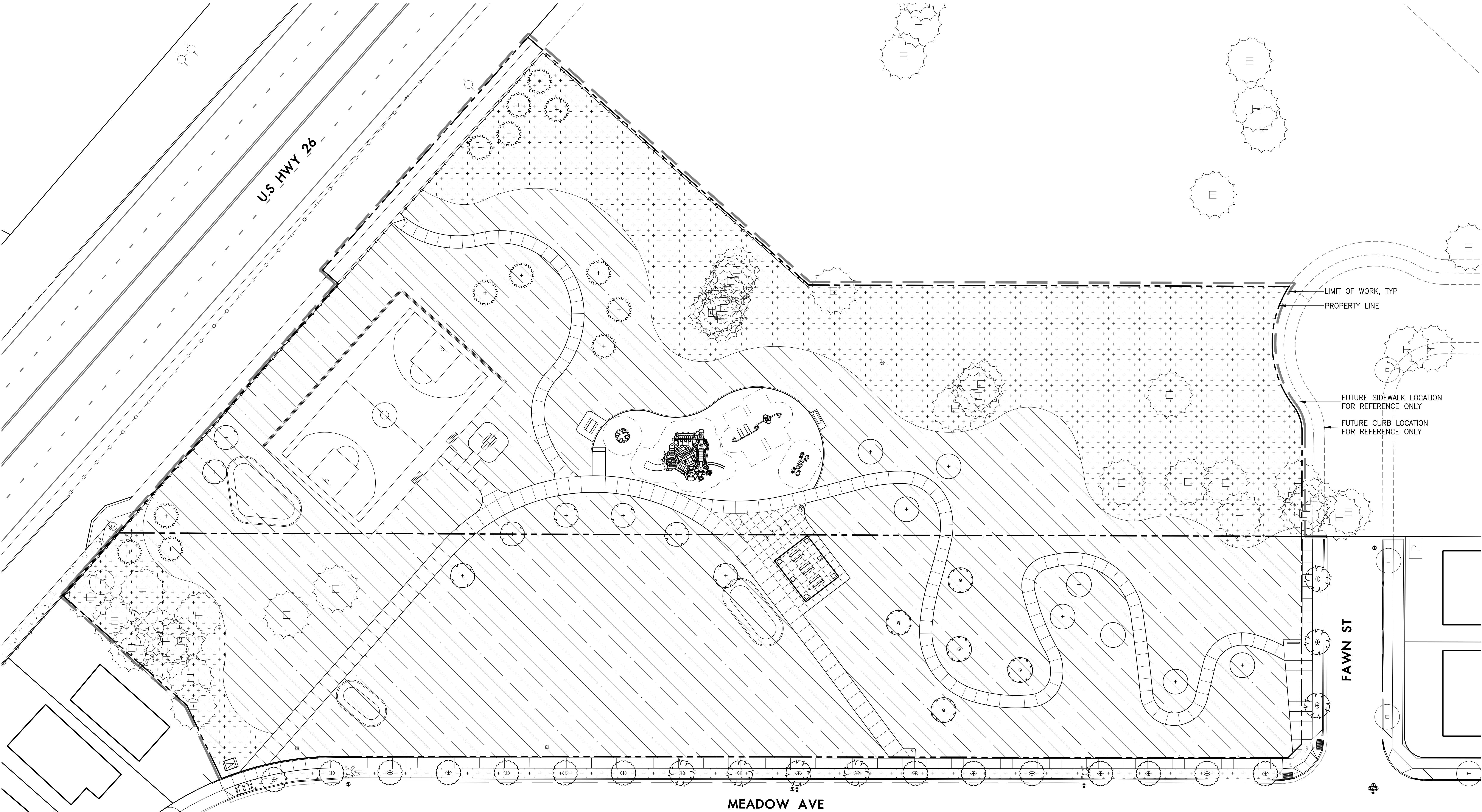
IRRIGATION LEGEND

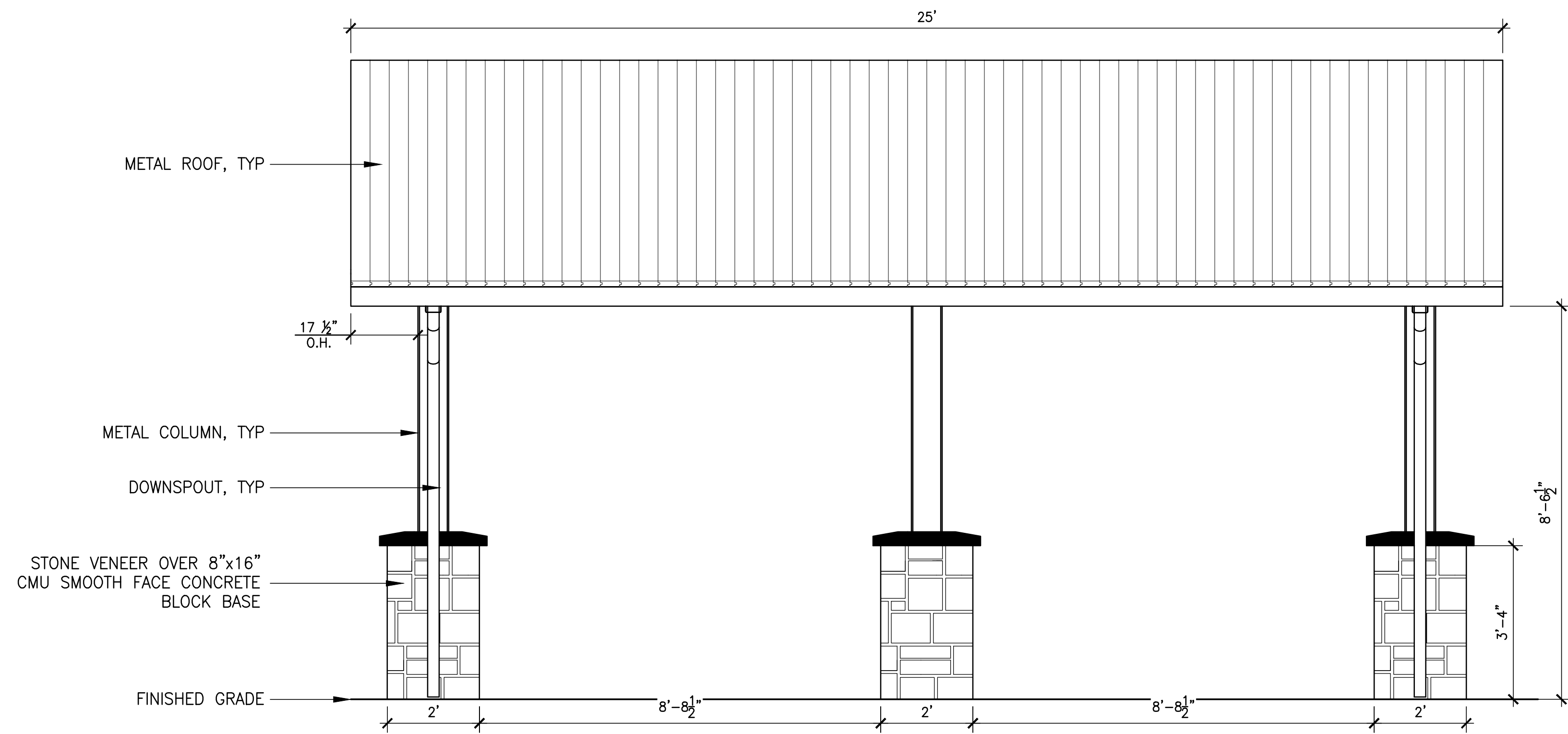
EQUIPMENT	
Symbol	Description
	REMOTE CONTROL VALVE
	ISOLATION VALVE
	QUICK COUPLER
	SWING CHECK VALVE
	CONTROLLER, SEE SPECS AND DETAILS
	POINT-OF-CONNECTION
	WATER METER
	DOUBLE-CHECK VALVE, SEE CIVIL
	MASTER VALVE/FLOW SENSOR
	MAINLINE, SCH. 40 PVC, 2.5" OR AS NOTED
	IRRIGATION SLEEVE, SCH. 40 PVC, 4" OR AS NOTED
	LATERAL LINE, CLASS 200 PVC, SIZE AS NOTED
	ELECTRICAL CONDUIT
	GALLONS PER MINUTE
	VALVE SIZE
	ZONE NUMBER

IRRIGATION ZONES

ROTOR ZONE

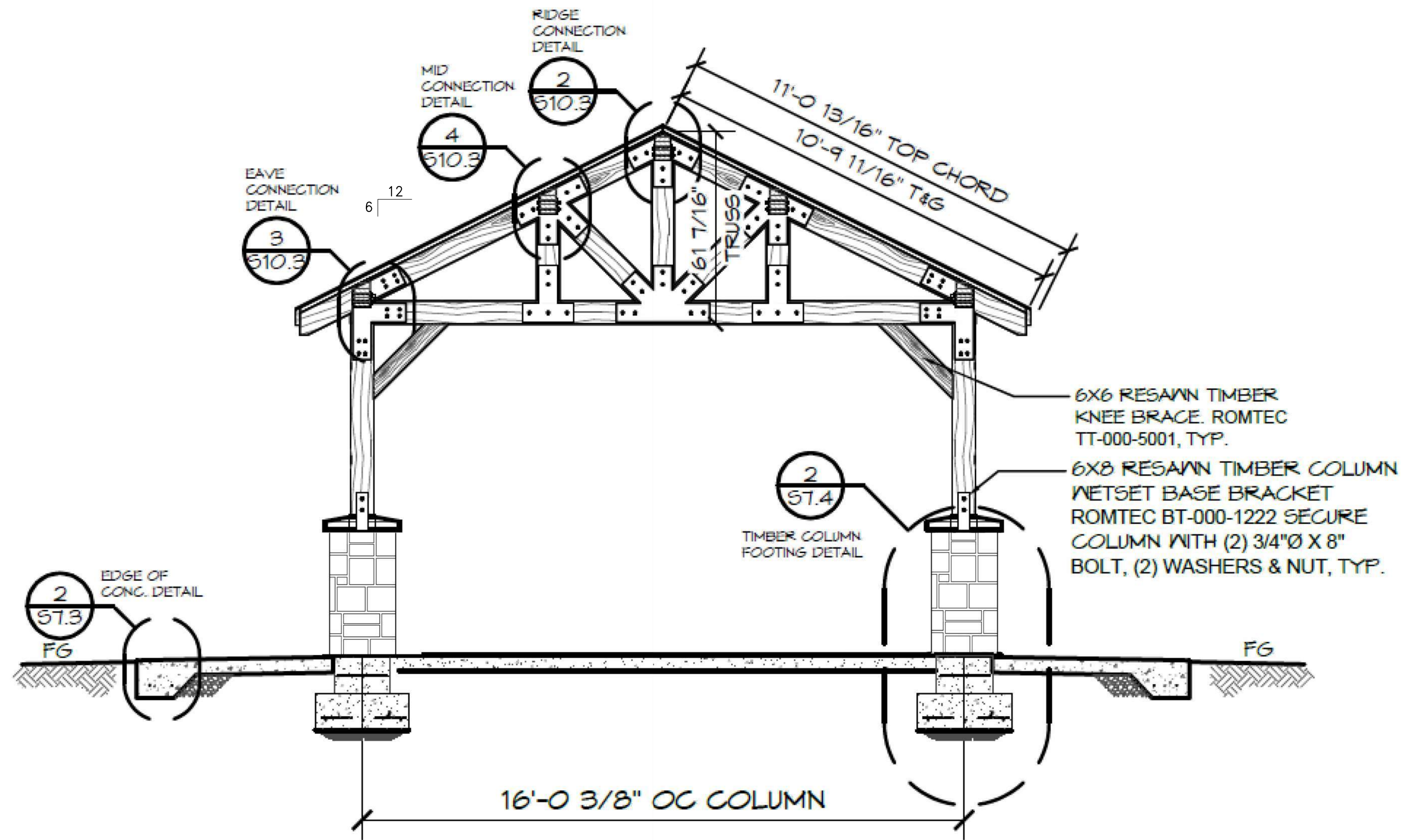
ROTATOR ZONE





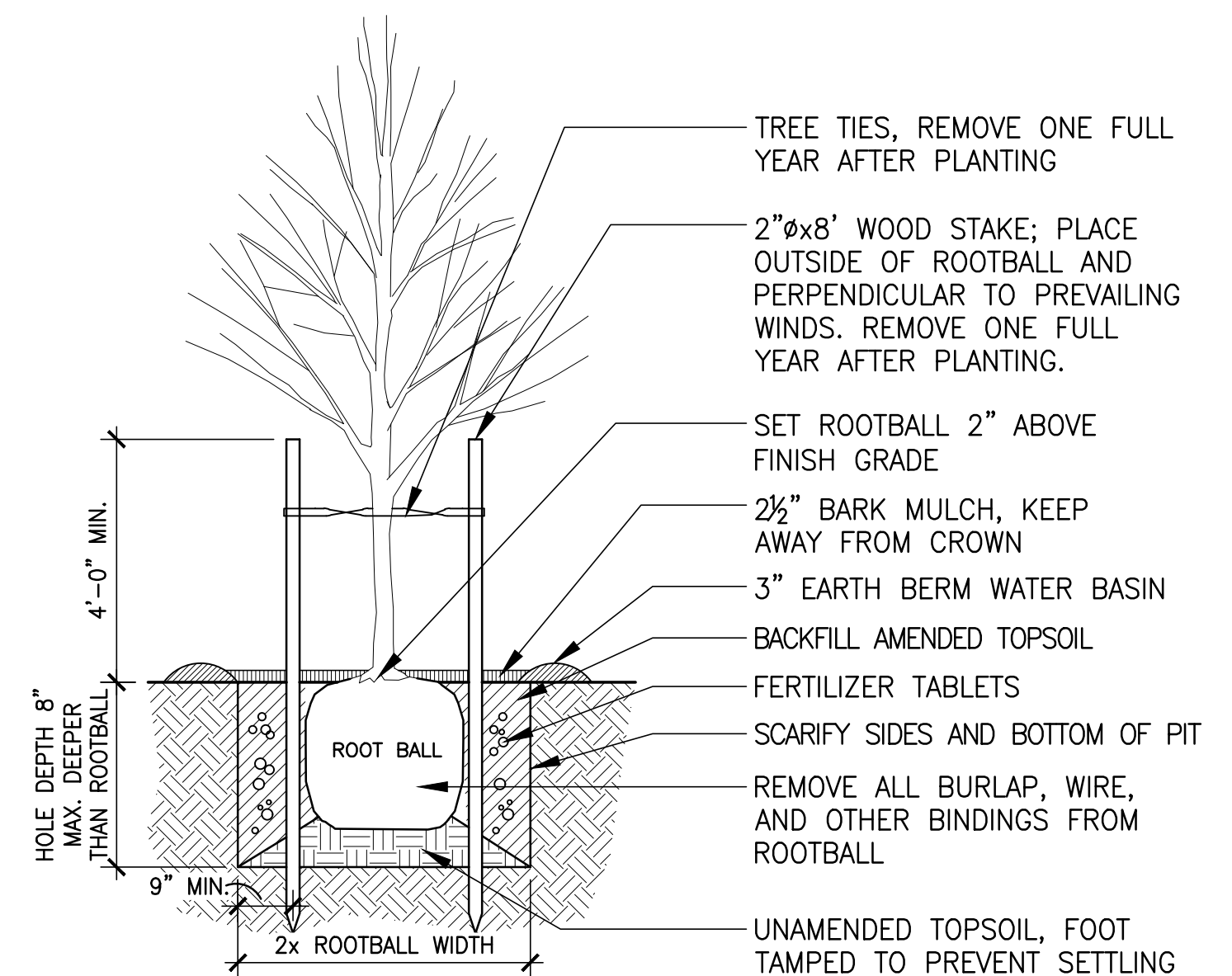
1 PICNIC SHELTER SIDE ELEVATION

Elevation
1/2"=1'-0"

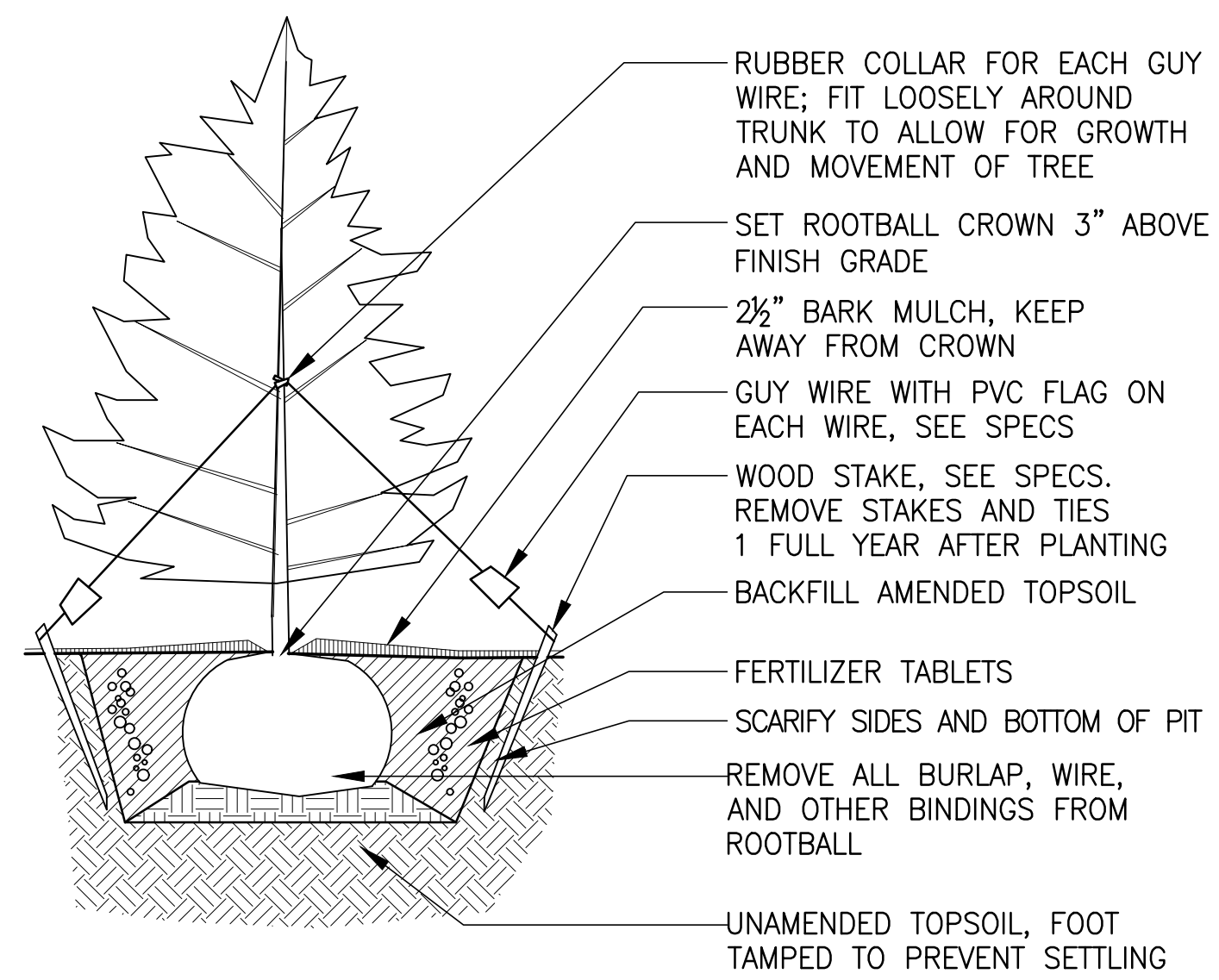


2 PICNIC SHELTER FRONT ELEVATION

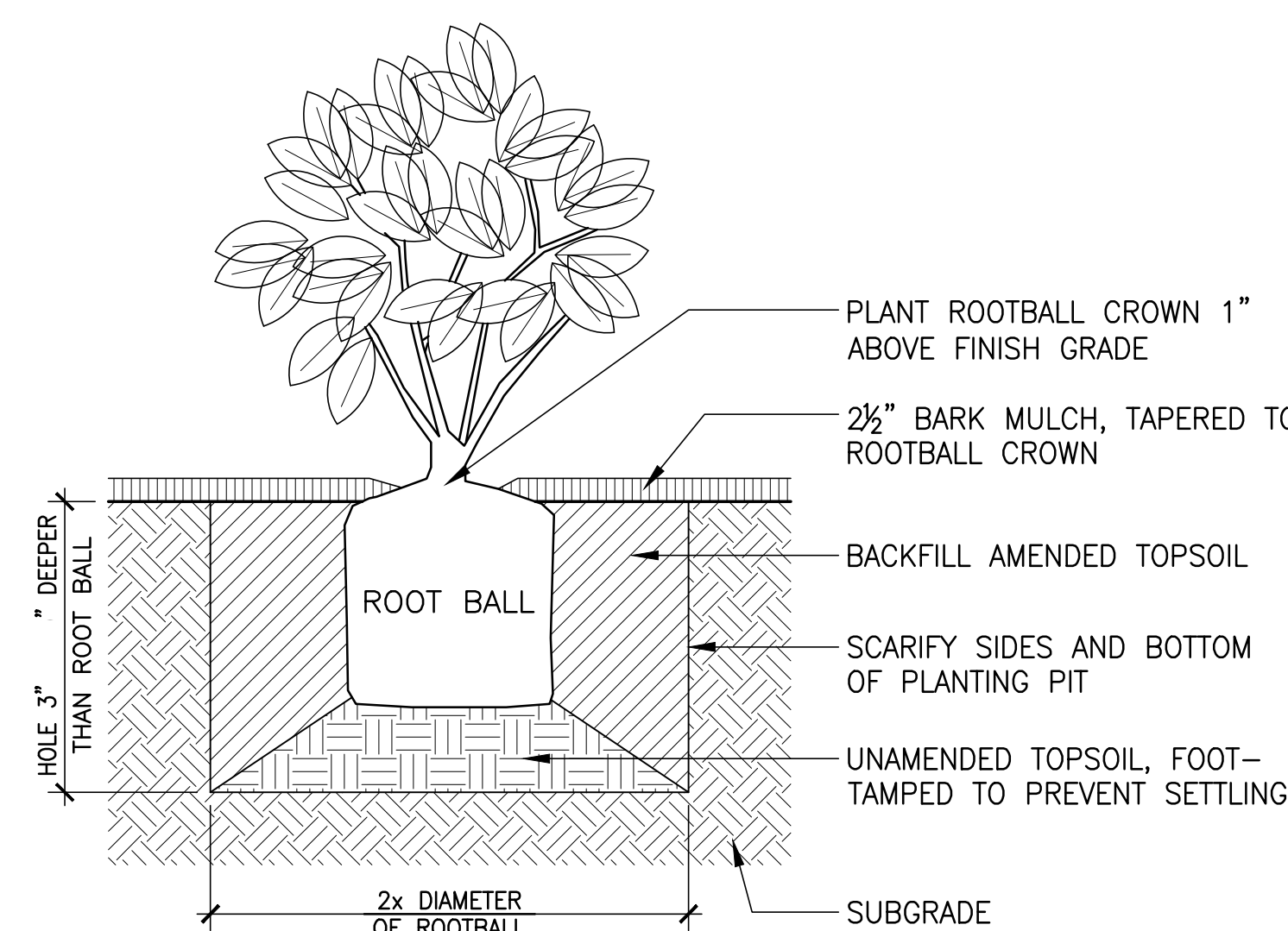
Elevation
1/2"=1'-0"



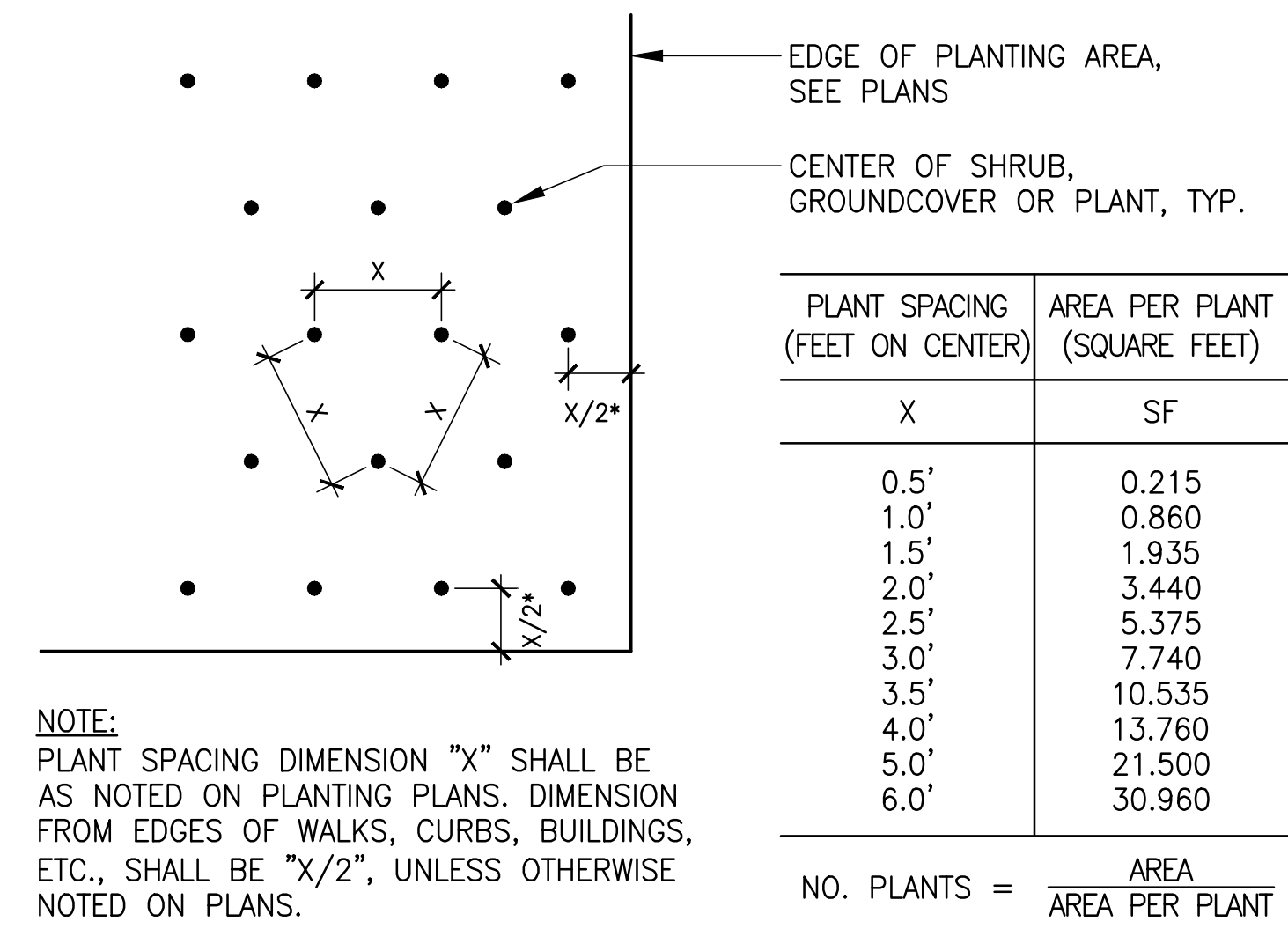
1 DEC. TREE PLANTING WITH STAKES Section 1/2"=1'-0"



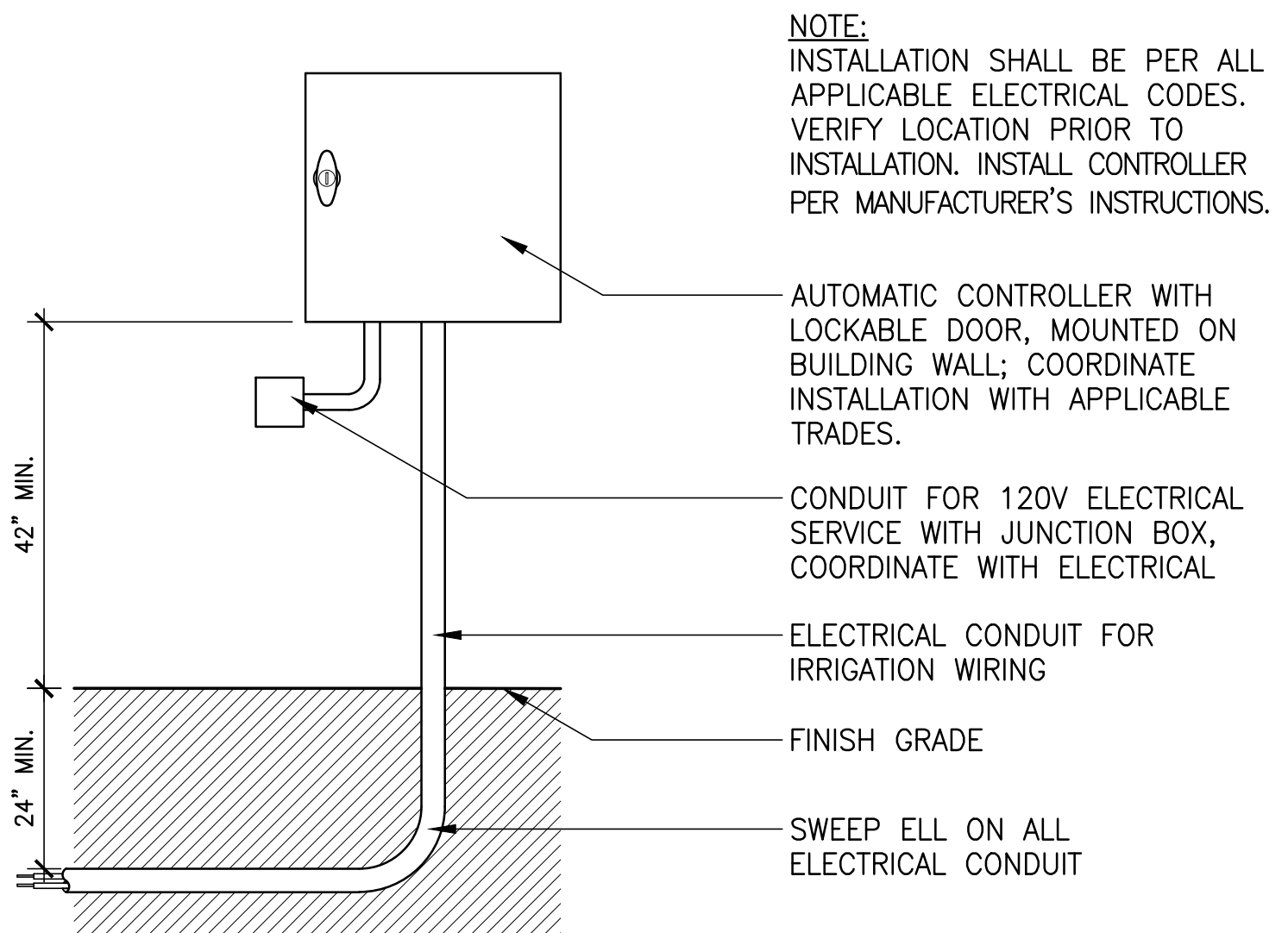
2 CONIFEROUS TREE PLANTING Section 1/2"=1'-0"



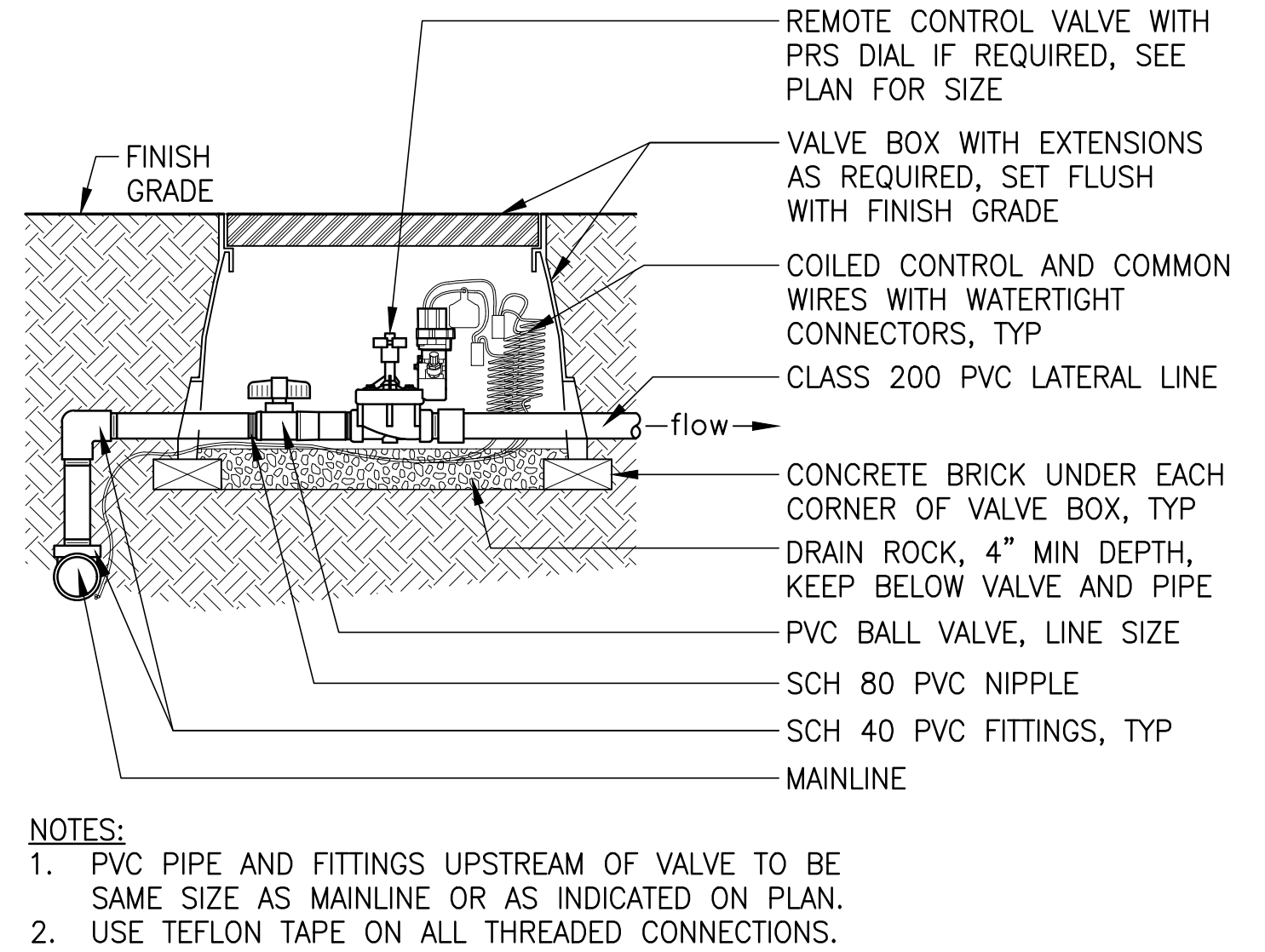
3 SHRUB PLANTING Section 3"=1'-0"



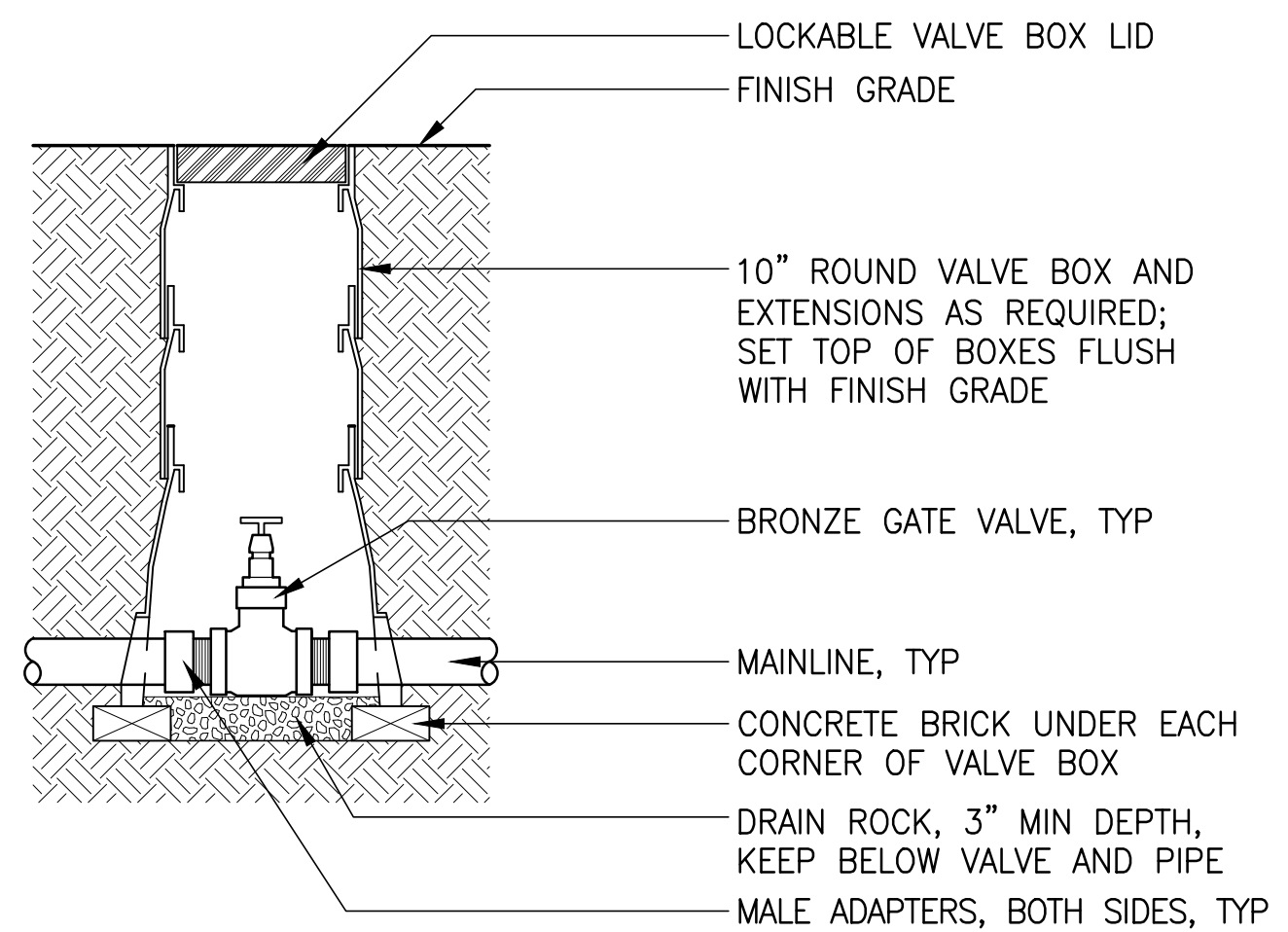
4 PLANT SPACING Section 1/2"=1'-0"



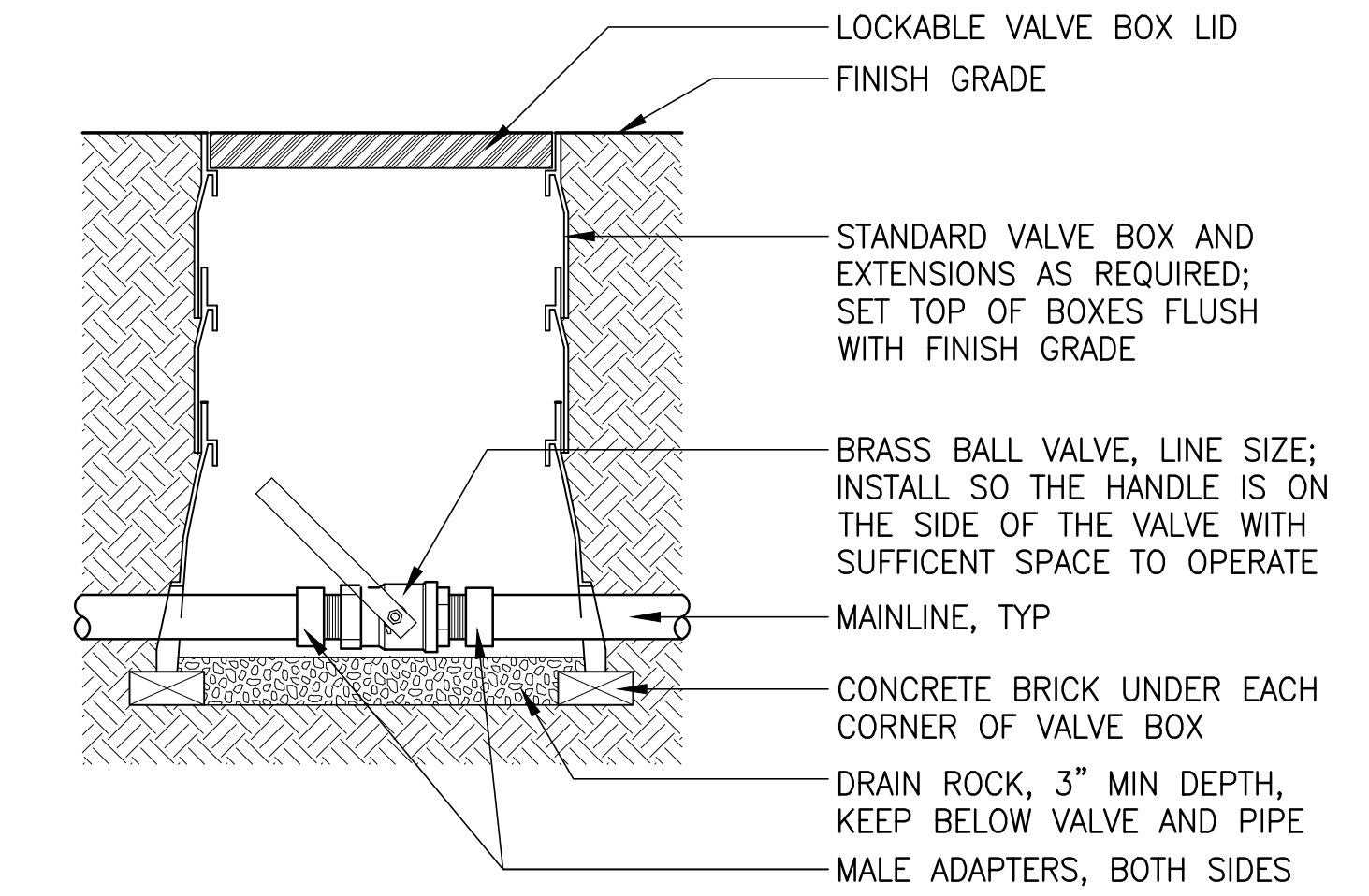
4 IRRIGATED CONTROLLER, WALL MOUNTED Section NTS



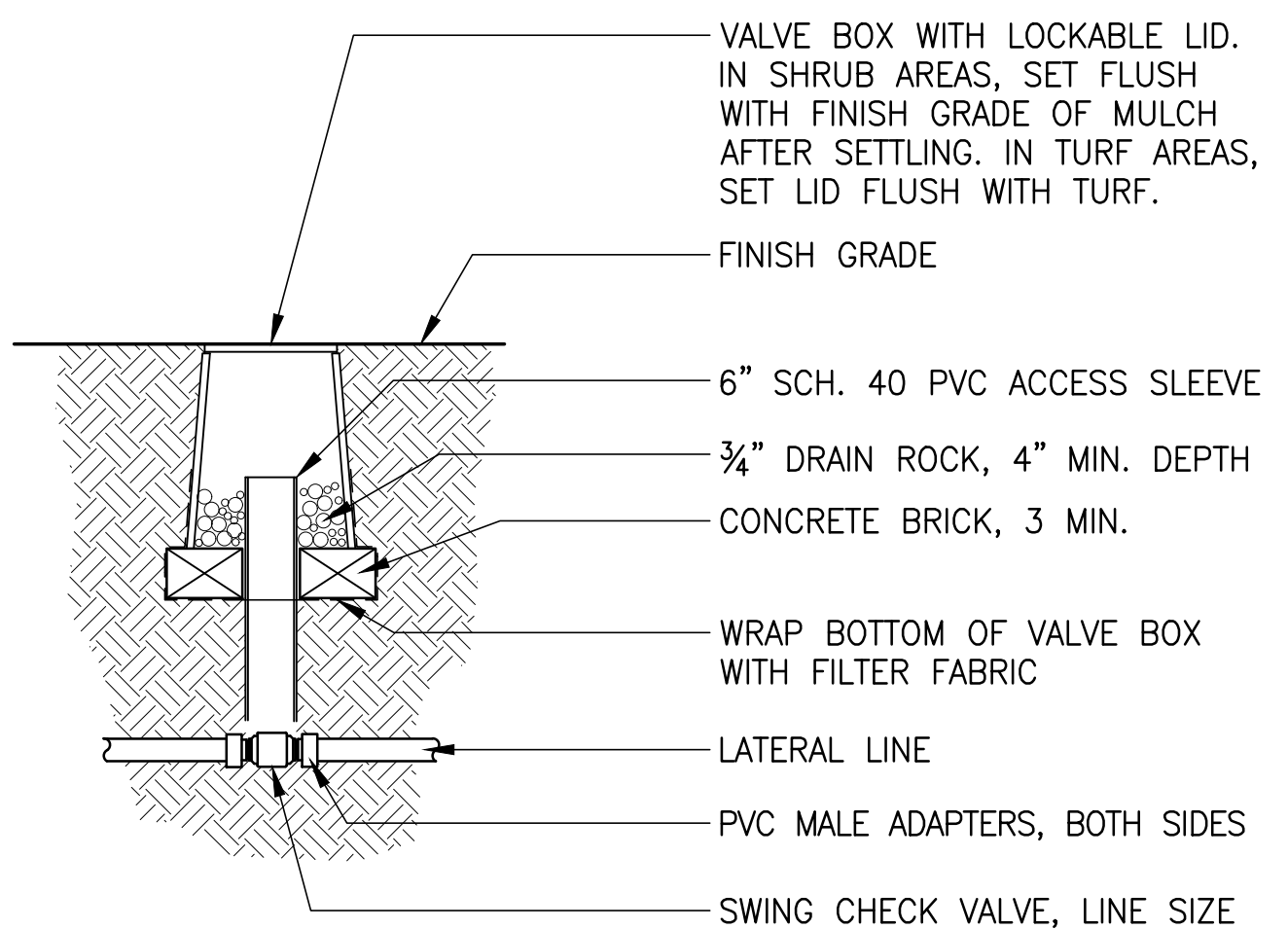
5 REMOTE CONTROL ZONE w/ BALL VALVE Section NTS



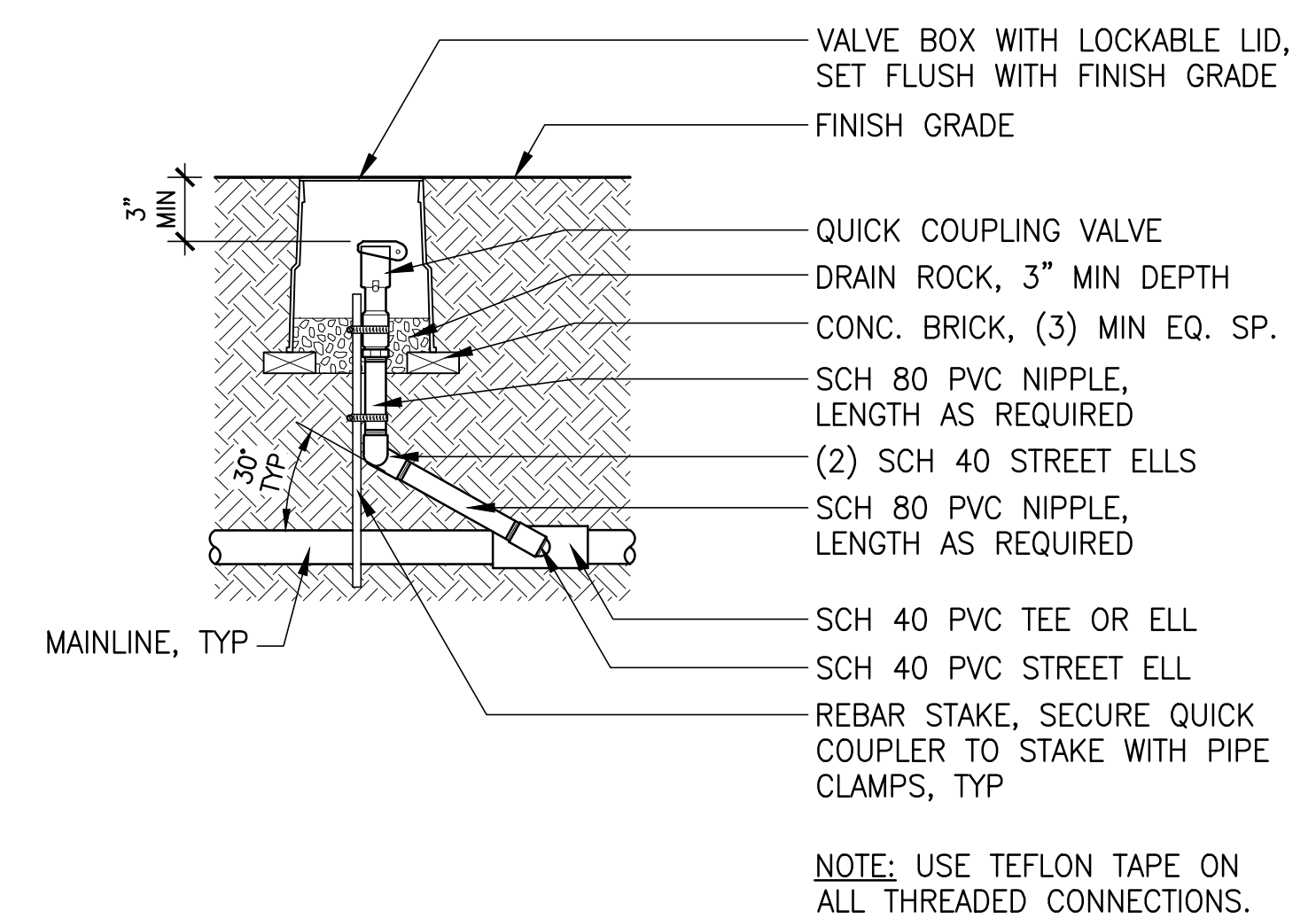
6 GATE VALVE Section NTS



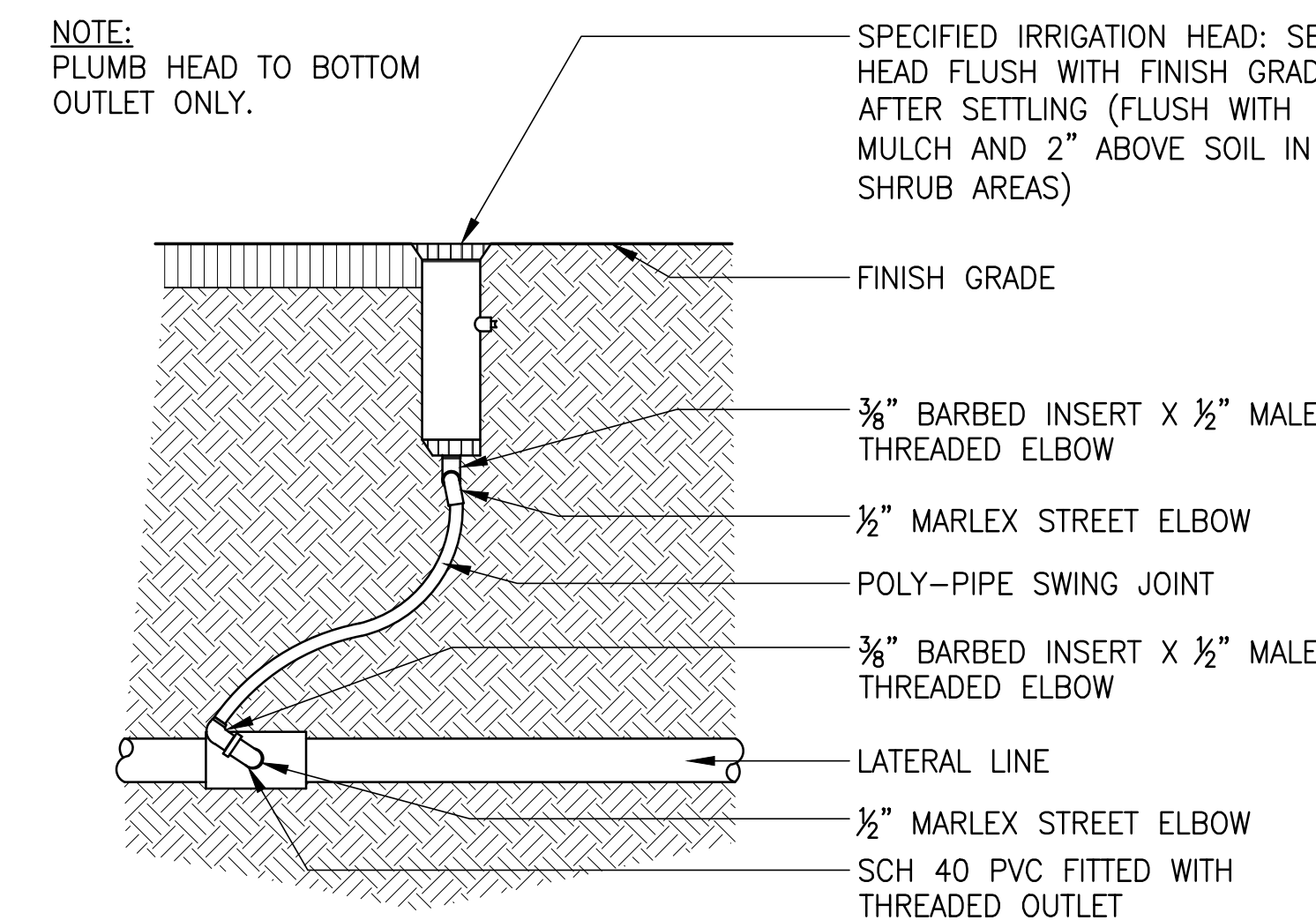
7 BALL VALVE Section NTS



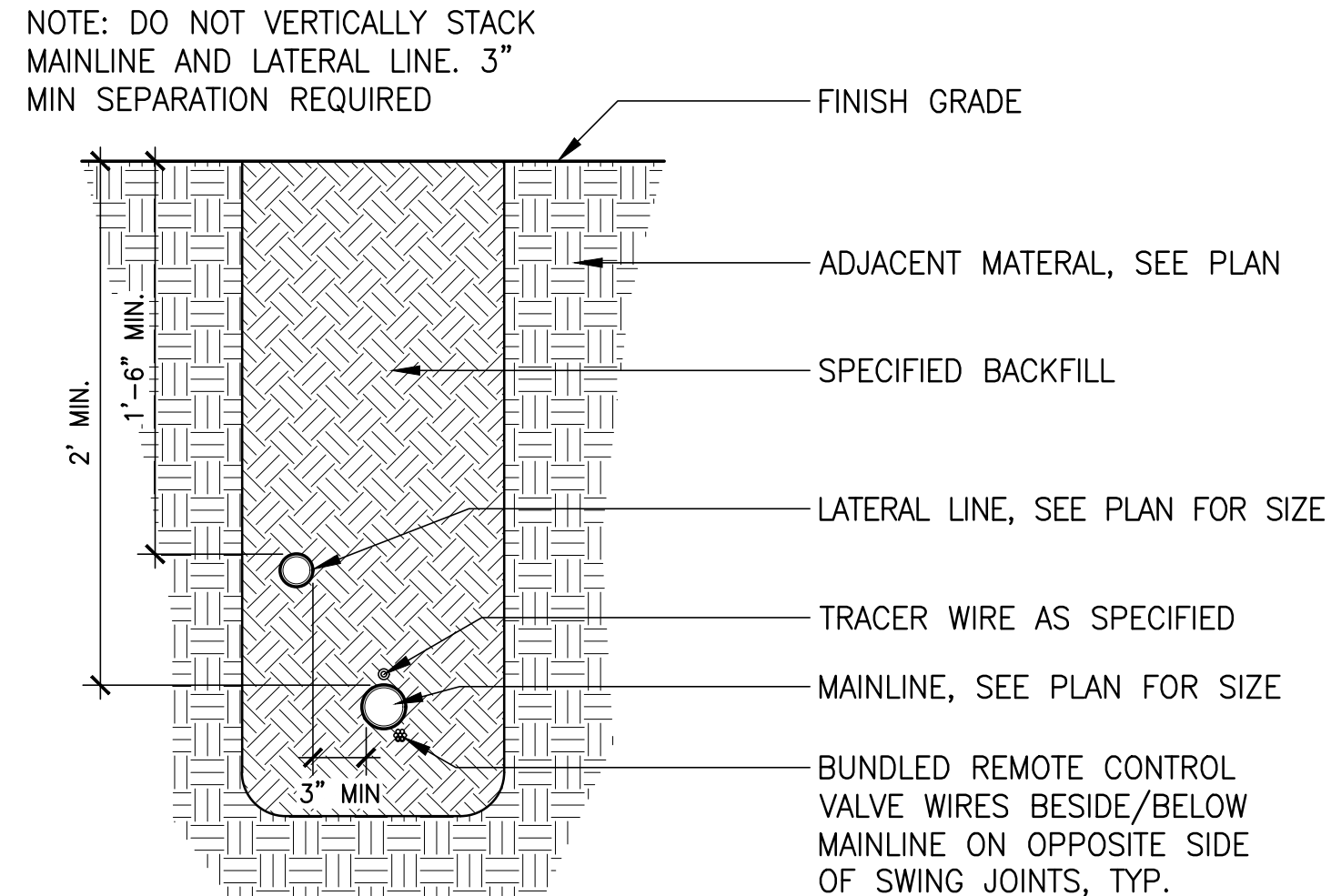
8 SWING CHECK VALVE Section NTS



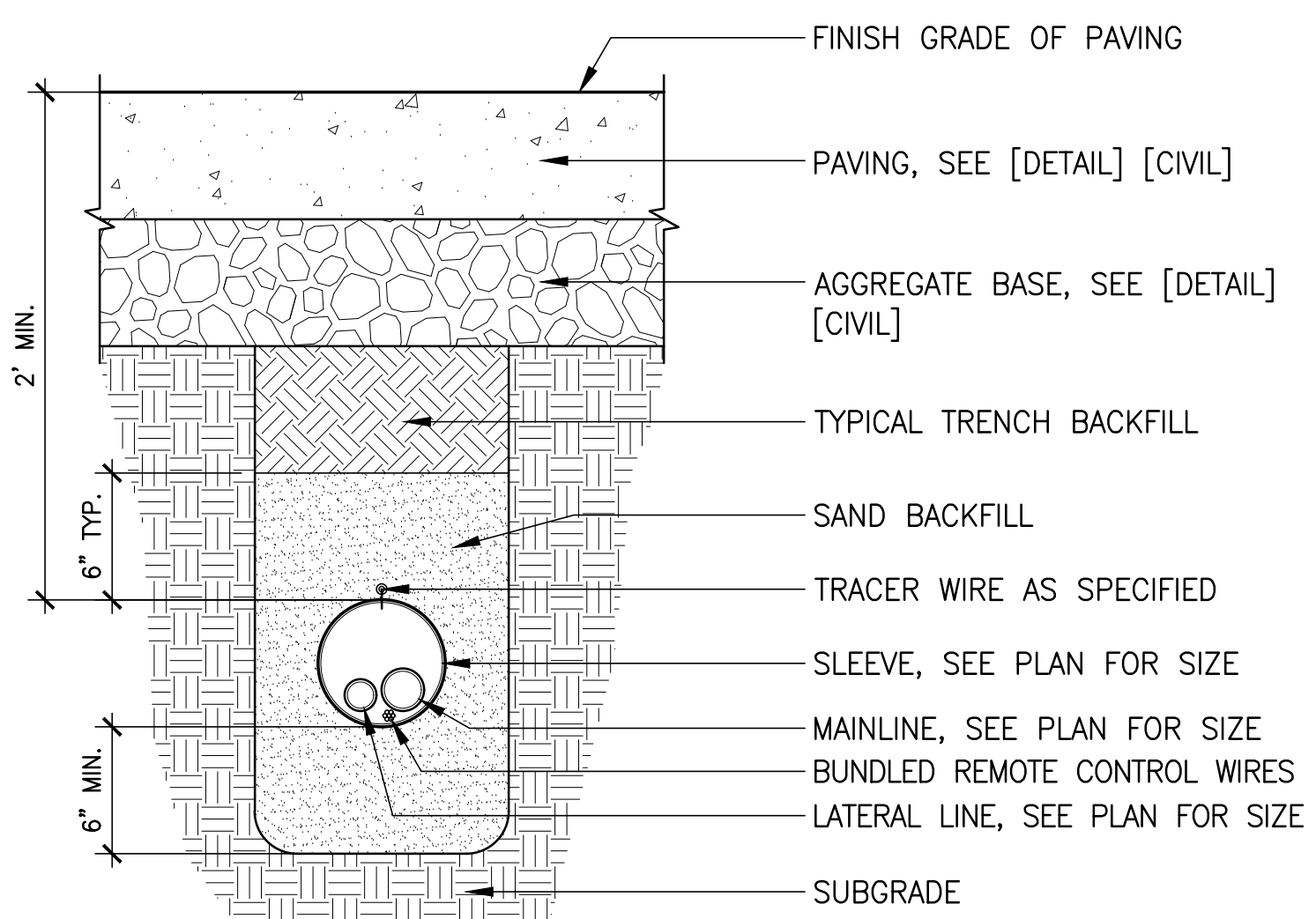
9 QUICK CUPLER Section NTS



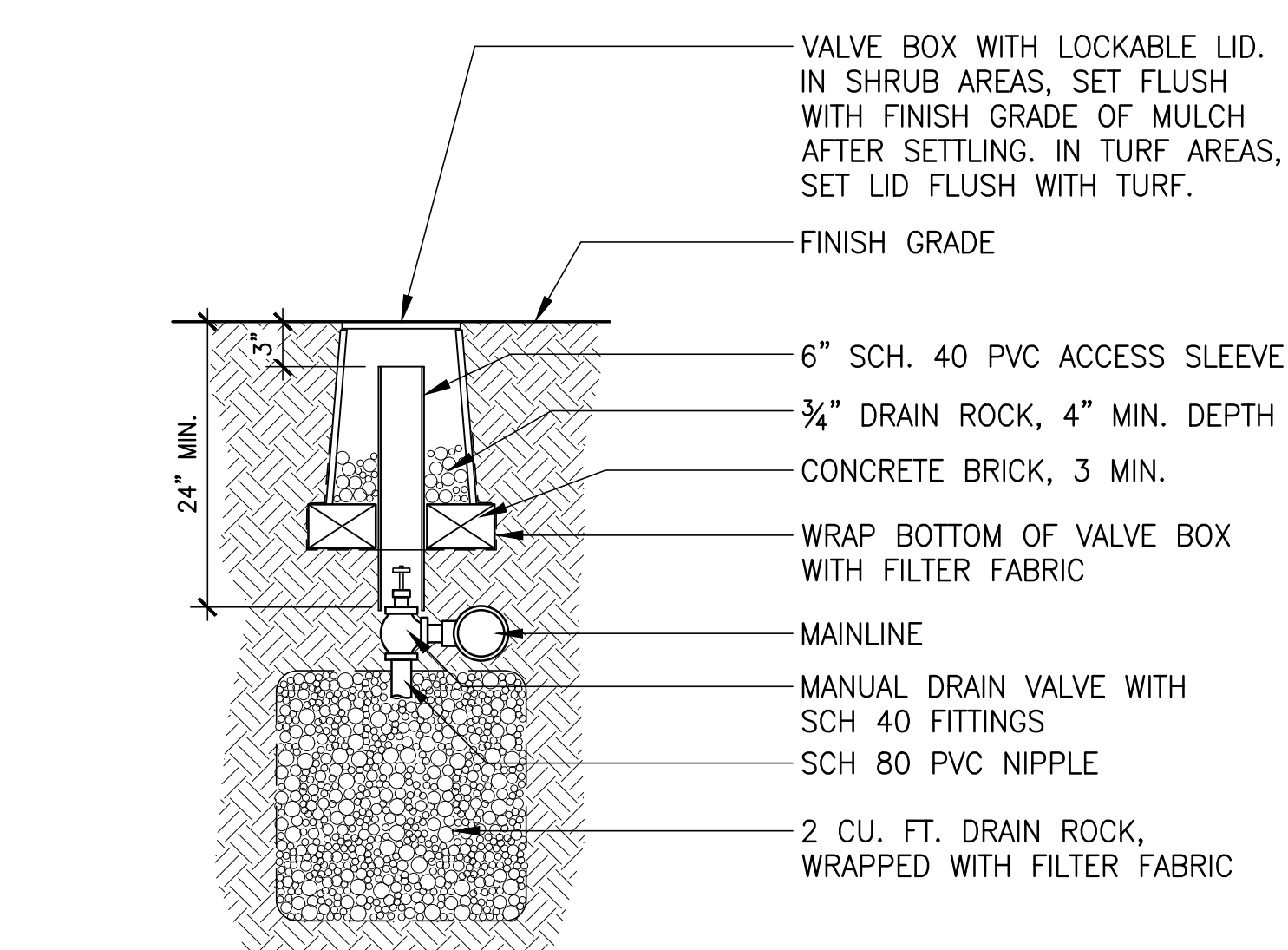
10 SPRAY HEAD Section NTS



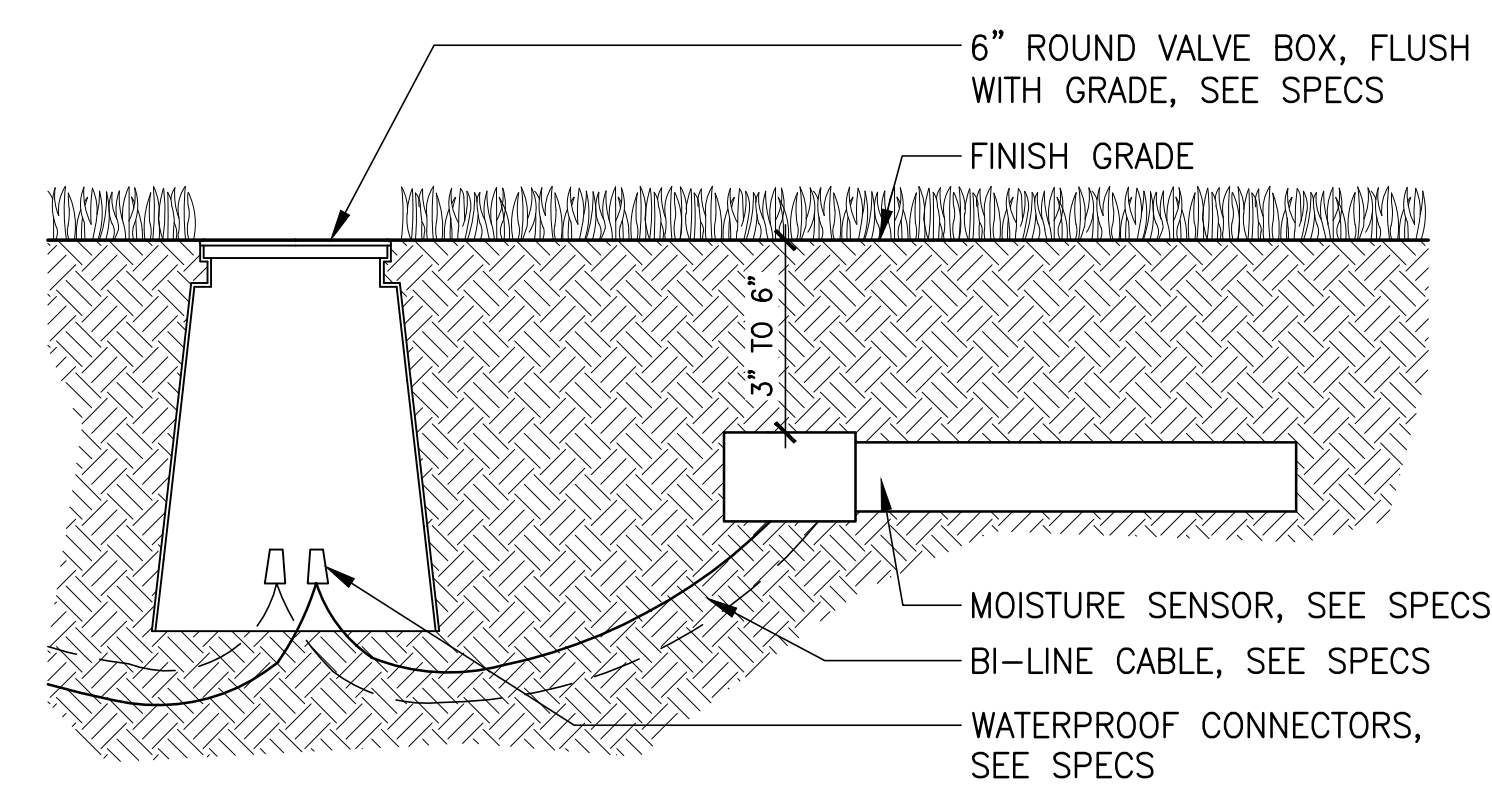
11 IRRG TRENCH Section NTS



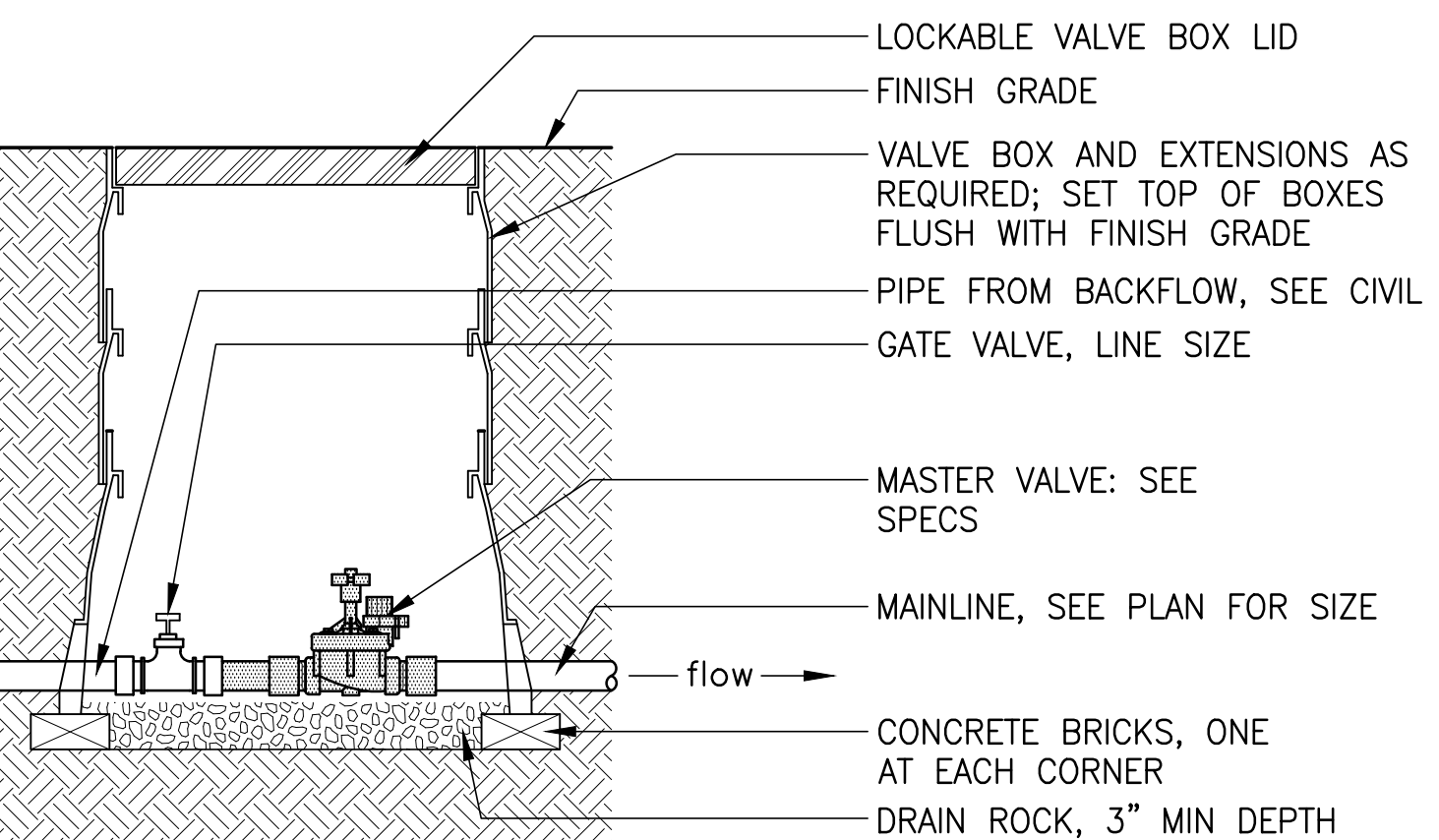
12 IRRG SLEEVE Section NTS



13 MANUAL DRAIN VALVE Section NTS



14 SOIL MOISTURE SENSOR Section NTS



15 POC/ MASTER VALVE Section NTS

DEER POINTE PARK

CITY OF SANDY PARKS AND RECREATION

CITY OF SANDY
MEADOW AVE.
SANDY, OR 97055

LAND USE

REVISIONS

SCALE AS NOTED
DRAWN BY XX
DATE 10.29.24
PROJECT NO. 2345

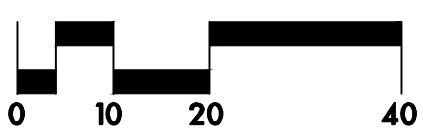
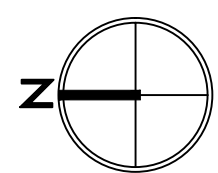
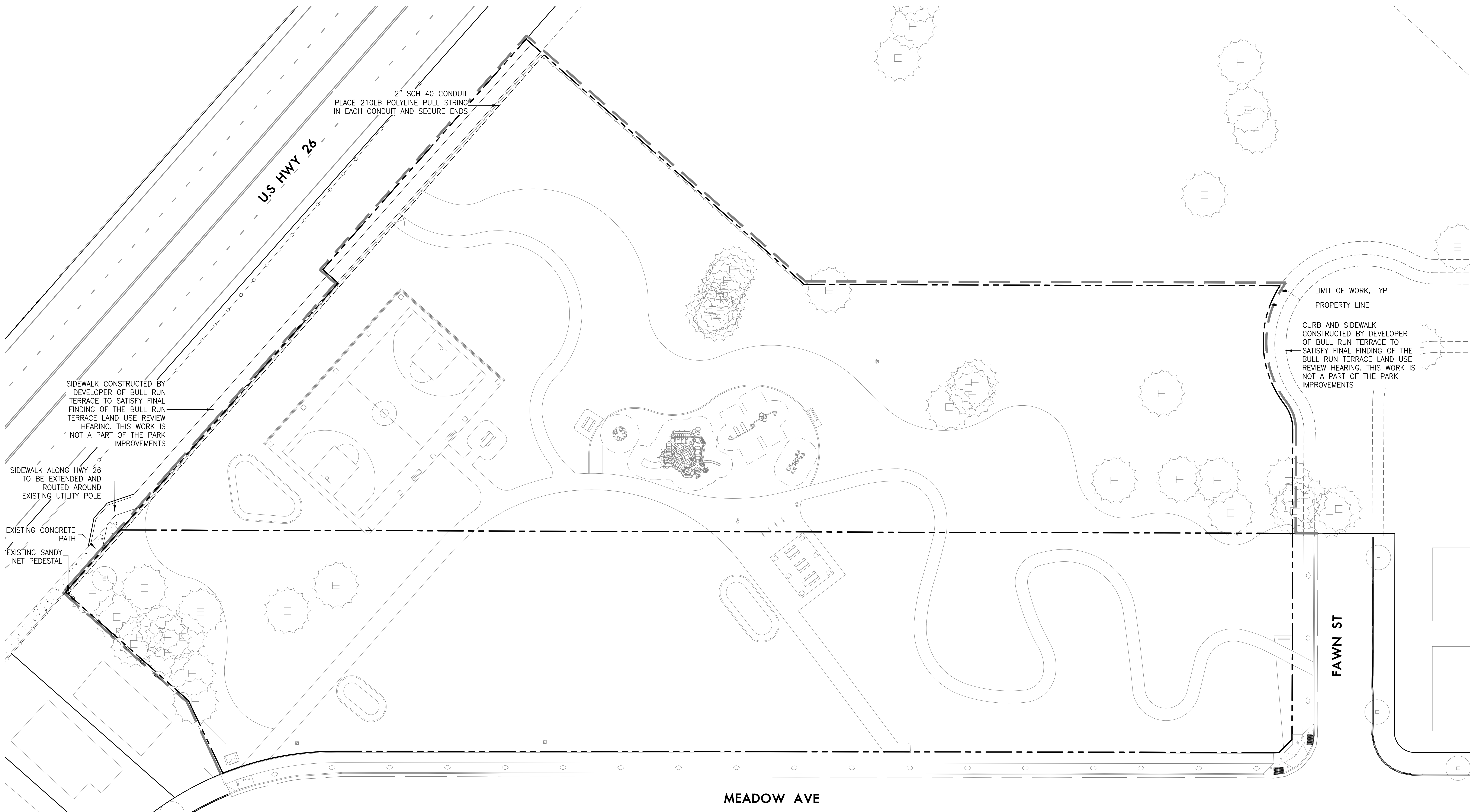
DETAILS

L6.03

LANDSCAPE ARCHITECTS PC

tango.hansen

1100 nw glisan #3A portland OR 97209 T 503 295,2437



DEER POINTE PARK
CITY OF SANDY PARKS AND RECREATION

CITY OF SANDY
MEADOW AVE
SANDY, OR 97055

LAND USE

REVISIONS

SCALE	AS NOTED
DRAWN BY	XX
DATE	10.29.24
PROJECT NO.	2345

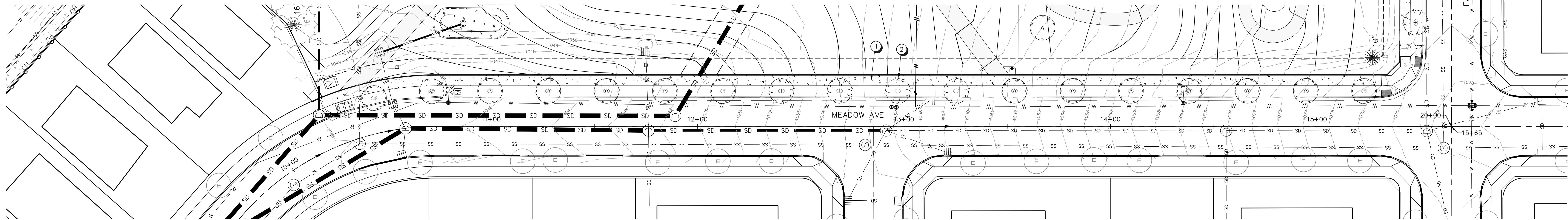
OFFSITE
IMPROVEMENTS

L7.01

lango.hansen

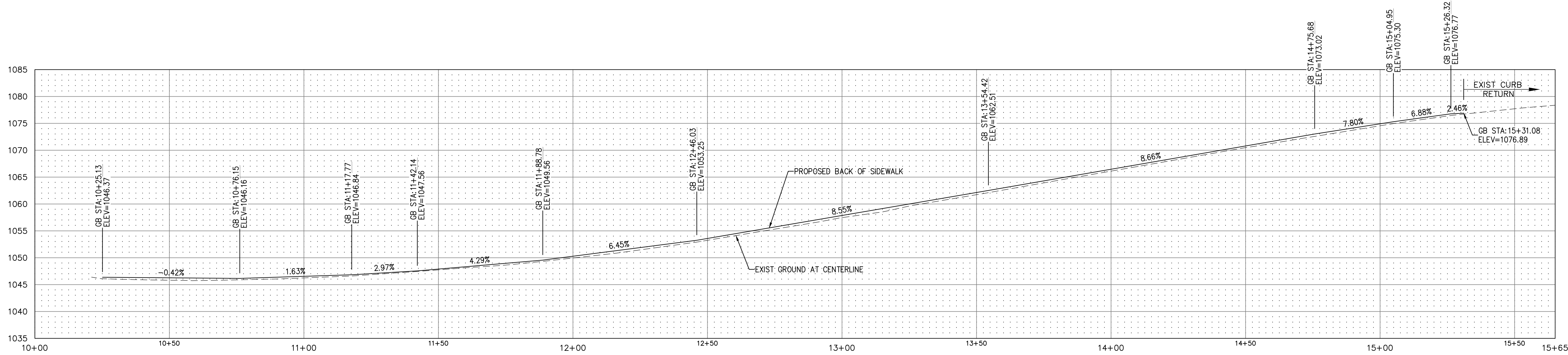
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1100 NW Gilman #3A, Portland OR 97209 T 503 295 2437

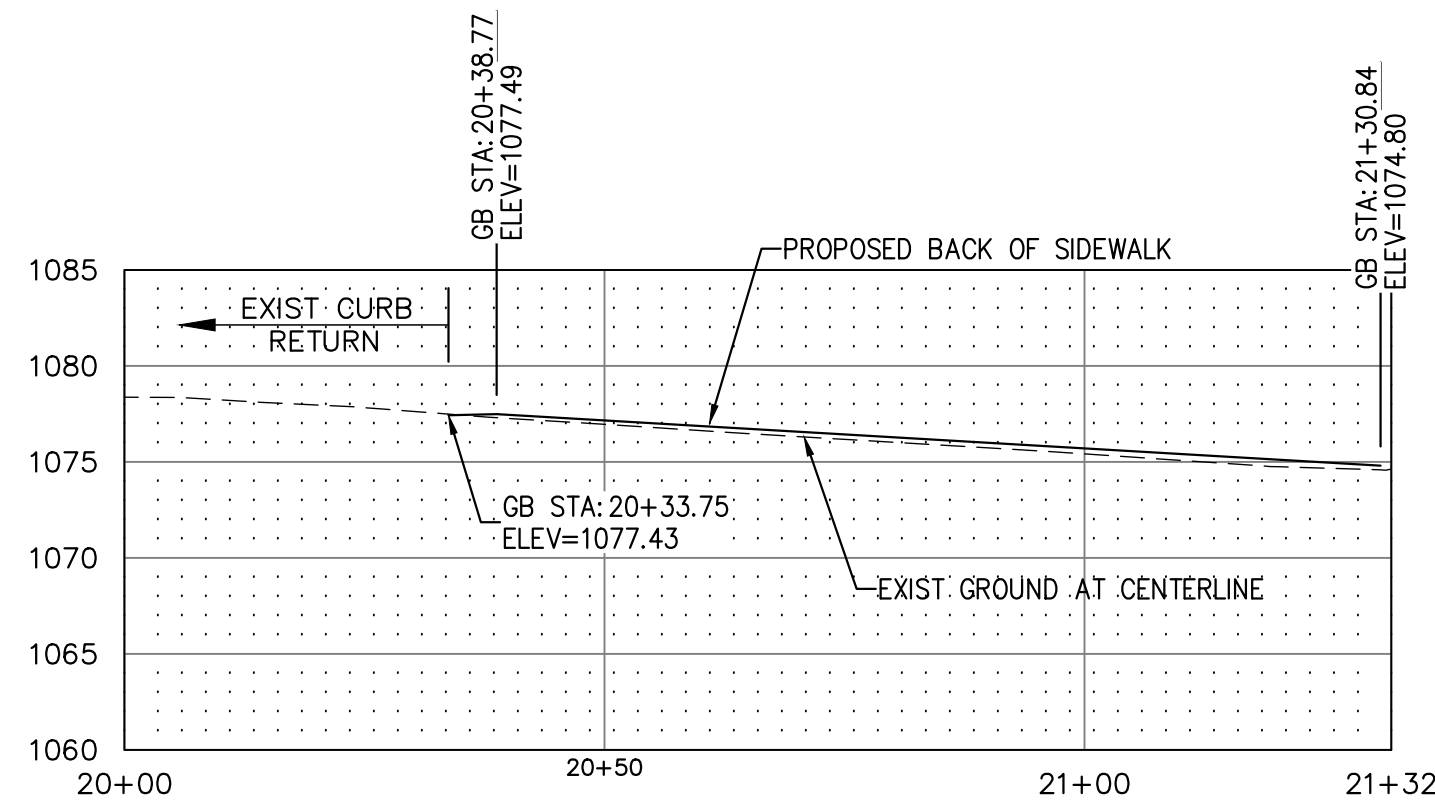


WILLOW AVENUE AND FAWN STREET

SCALE: SEE SCALE BAR

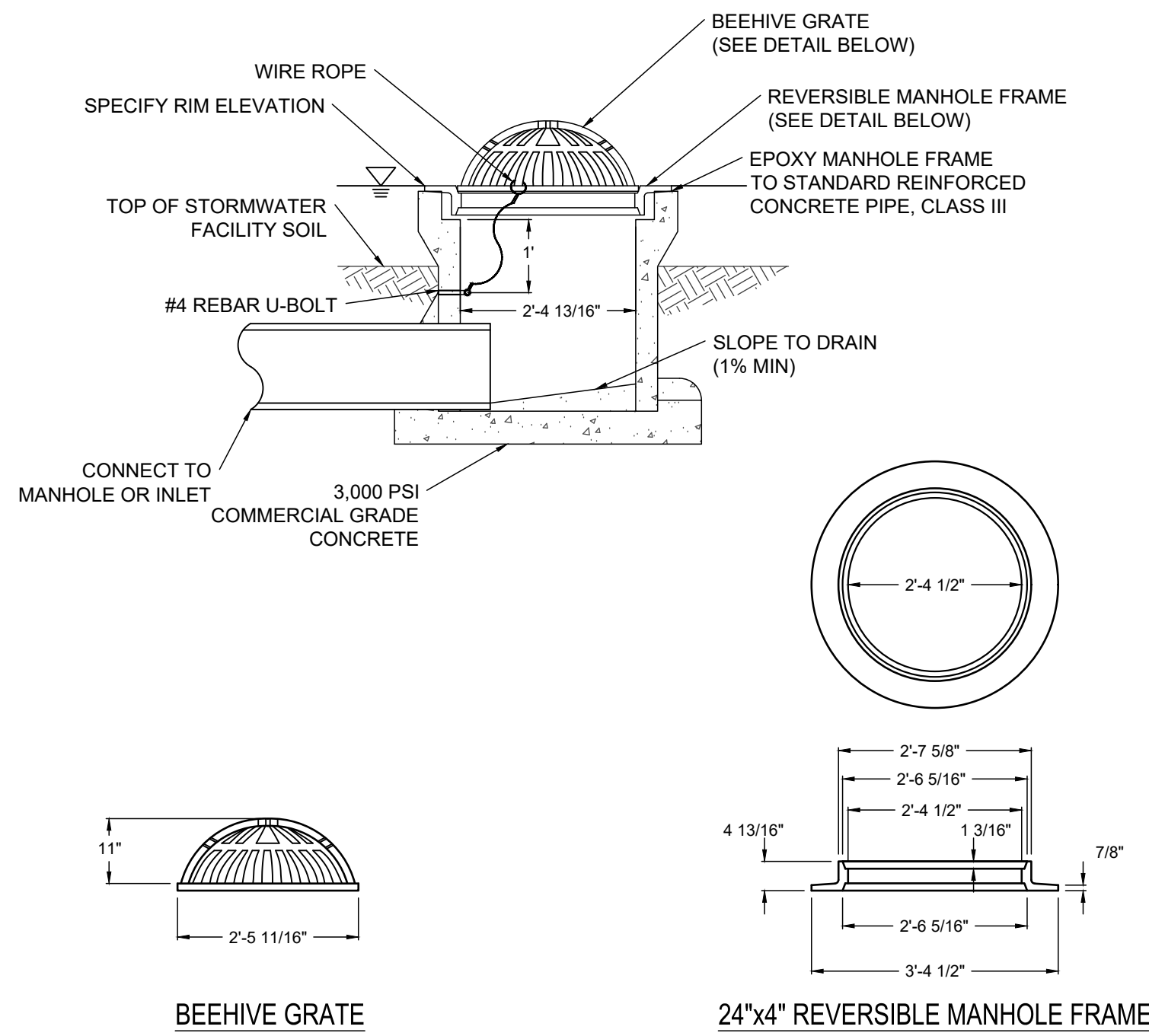


MEADOW AVENUE CENTERLINE PROFILE
SCALE: SEE SCALE BAR



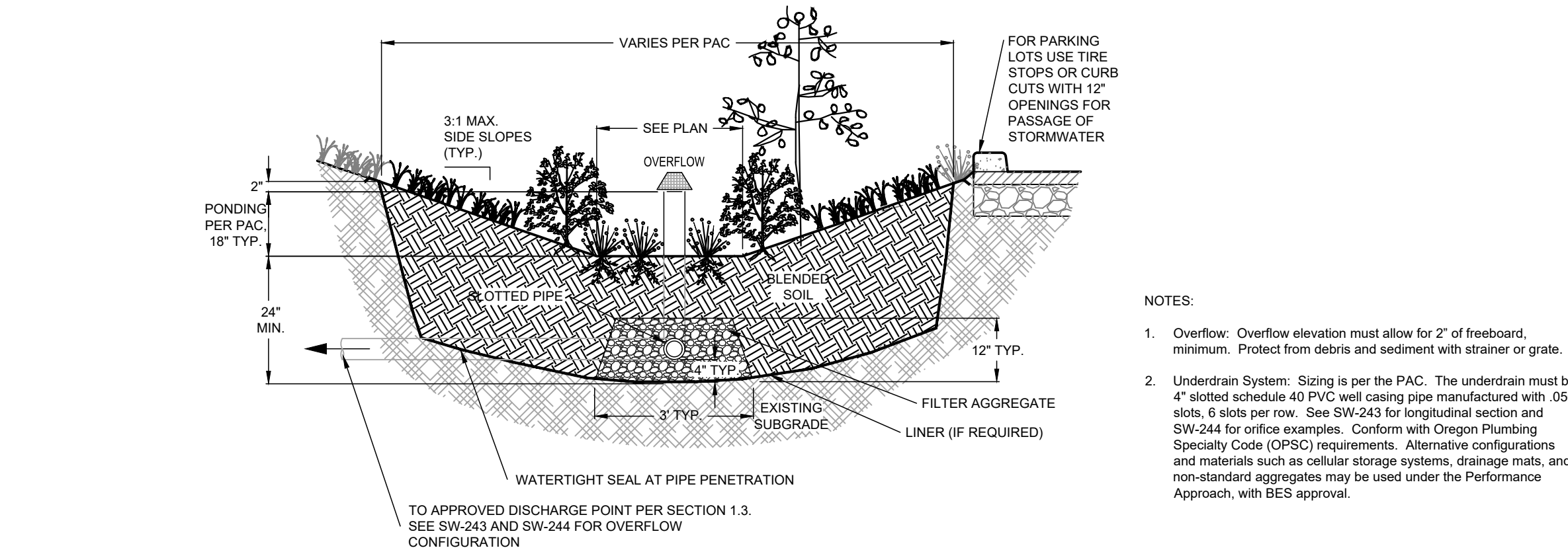
FAWN STREET CENTERLINE PROFILE
SCALE: SEE SCALE BAR

- KEY NOTES
- 5' PLANTER WITH 5' SIDEWALK AT EXIST TOP OF CURB, TYPICAL, SEE PROFILES THIS SHEET
 - STREET TREE IN PLANTER STRIP, TYPICAL

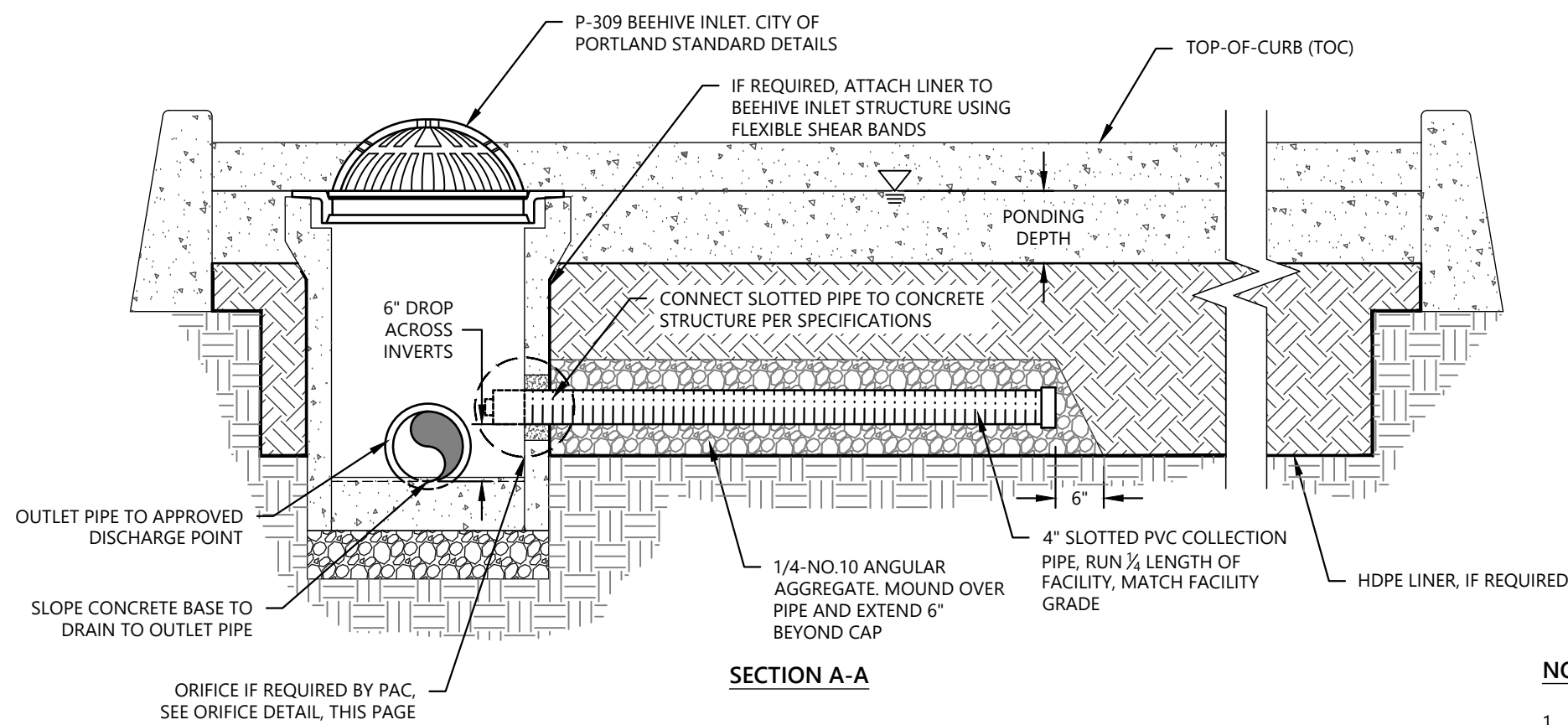
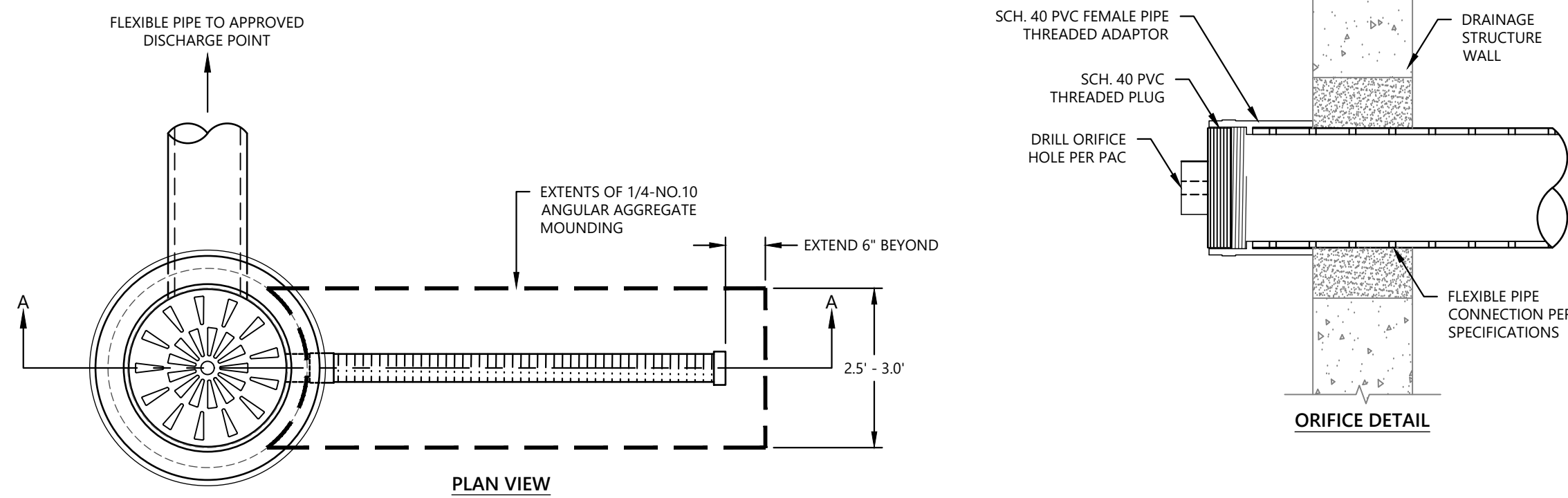


- DESIGNER INFORMATION**
- If connecting to a combination sewer manhole installation of a "swing-check type backwater valve" or approved equal is required to prevent odor emissions.
 - Size inlet based on calculated flows & manufacturers recommendations.
- CONSTRUCTION NOTES**
- Secure grate in place with 5/4" of wire rope. Loop ends of wire rope around U-bolt and grate. Crimp each end of wire rope with ferrule.
 - Drill 2" deep holes into pipe and epoxy #4 rebar U-bolt (2"x 4") in holes.
 - Grate to be cast iron, ASTM A48 CL30.
 - Beehive rim elevation to be 1" lower than sidewalk notches, top of planter wall, top of slope, outlet 'notch or upstream notch, whichever is lowest.
 - Wire rope between 1/8"-3/16" diameter, stainless steel, 7 strands of 19 wires.

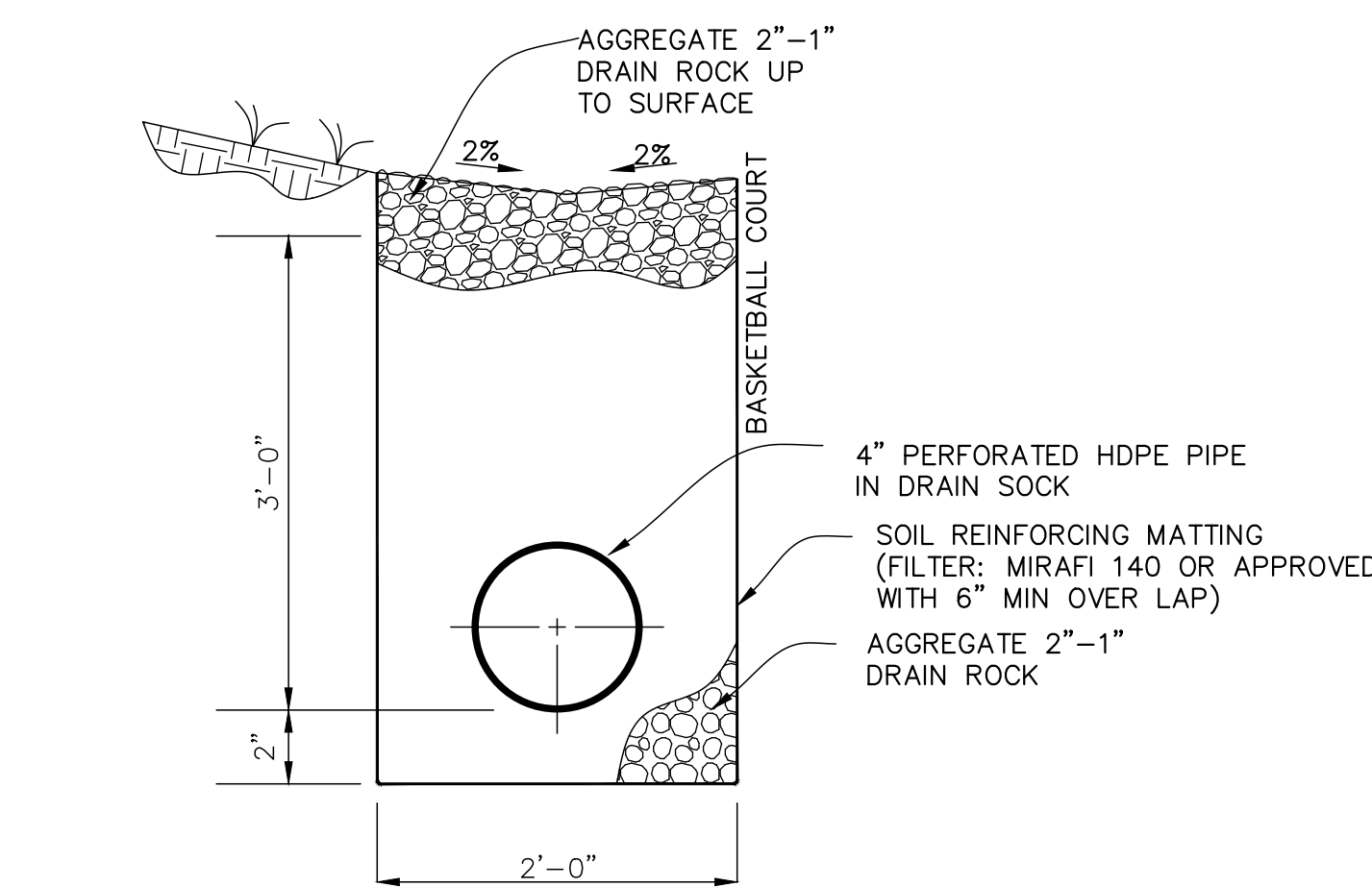
STORMWATER FACILITY WITH BEHIVE GRATE OVERFLOW
SCALE: NTS



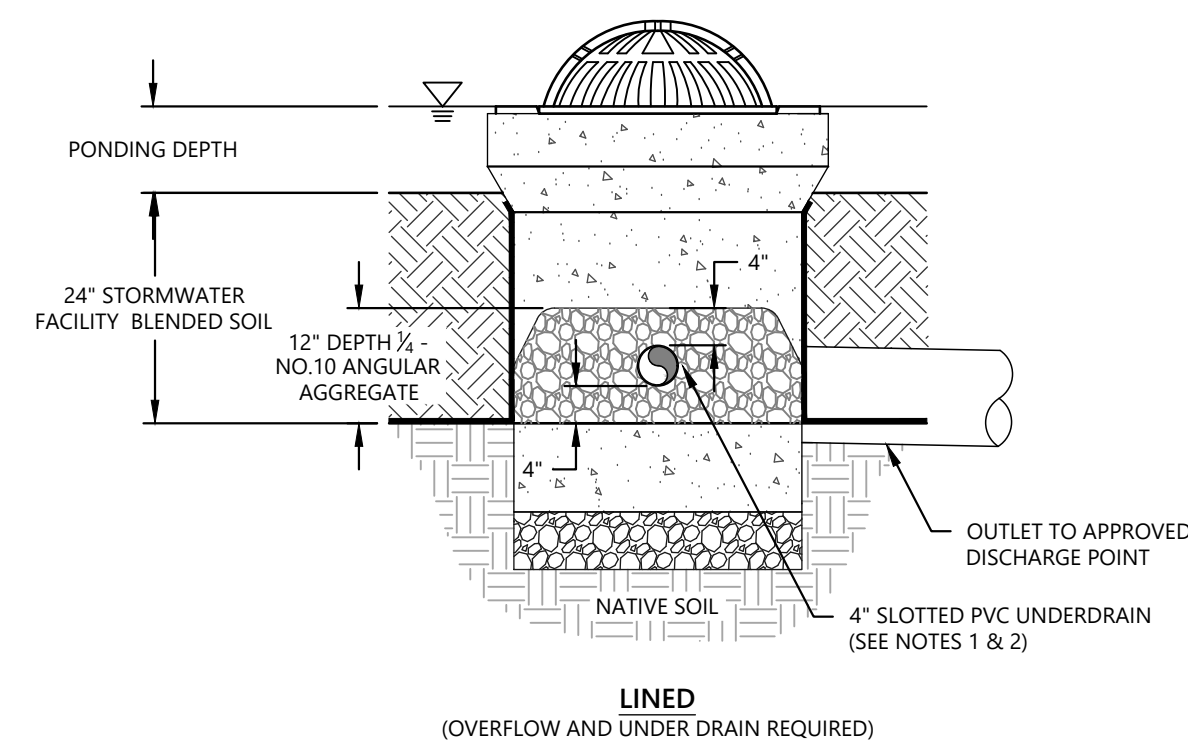
STORMWATER FACILITY WITH BEHIVE GRATE OVERFLOW. (SEE DETAILS THIS SHEET)
SCALE: NTS



BEHIVE GRATE WITH ORIFICE CONCEPT DETAIL 2
SCALE: NTS



INTERRUPTION TRENCH EXTERNAL TO BASKETBALL COURT
SCALE: NTS



BEHIVE GRATE AND UNDERDRAIN CONCEPT DETAIL 2
SCALE: NTS

- DESIGNER INFORMATION:**
- SET THE 4-IN SLOTTED PVC UNDERDRAIN PIPE 4" ABOVE THE LINER OR THE BOTTOM OF EXCAVATION, AND COVER WITH 4" OF AGGREGATE.
 - RUN UNDERDRAIN PIPE A MAXIMUM OF 1/2 THE LENGTH OF THE FACILITY.
 - SEE DETAILS SW-317/318 BEEHIVE OVERFLOW CONFIGURATION AND UNDERDRAIN WITH CLEANOUT FOR ADDITIONAL DESIGN GUIDANCE.
 - HYBRID FACILITIES MUST BE REGISTERED AS A UIC.

DEER POINTE PARK
CITY OF SANDY PARKS AND RECREATION
CITY OF SANDY
MEADOW AVE
SANDY, OR 97055

LAND USE

REVISIONS

SCALE AS NOTE
DRAWN BY XX
DATE 10.17.24
PROJECT NO. 2345

C-3

SCALE: SEE SCALE BAR